

CITY OF WEST TORRENS



Notice of Panel Meeting

Notice is Hereby Given that a Meeting of the
COUNCIL ASSESSMENT PANEL

will be held in the George Robertson Room, Civic Centre
165 Sir Donald Bradman Drive, Hilton

on

**TUESDAY, 9 NOVEMBER 2021
at 5.00pm**

**Hannah Bateman
Assessment Manager**

City of West Torrens Disclaimer

Council Assessment Panel

Please note that the contents of this Council Assessment Panel Agenda have yet to be considered and deliberated by the Council Assessment Panel therefore the recommendations may be adjusted or changed by the Council Assessment Panel in the process of making the formal Council Assessment Panel decision.

Note: The plans contained in this Agenda are subject to copyright and should not be copied without authorisation.

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1 MEETING OPENED**1.1 Acknowledgement of Country****1.2 Evacuation Procedures****2 PRESENT****3 APOLOGIES****4 CONFIRMATION OF MINUTES****RECOMMENDATION**

That the Minutes of the meeting of the Council Assessment Panel held on 12 October 2021 be confirmed as a true and correct record.

5 DISCLOSURE STATEMENTS

In accordance with section 7 of the *Assessment Panel Members – Code of Conduct* the following information should be considered by Council Assessment Panel members prior to a meeting:

A member of a Council Assessment Panel who has a direct or indirect personal or pecuniary interest in a matter before the Council Assessment Panel (other than an indirect interest that exists in common with a substantial class of persons) –

- a. must, as soon as he or she becomes aware of his or her interest, disclose the nature and extent of the interest to the panel; and
- b. must not take part in any hearings conducted by the panel, or in any deliberations or decision of the panel, on the matter and must be absent from the meeting when any deliberations are taking place or decision is being made.

If an interest has been declared by any member of the panel, the Assessment Manager will record the nature of the interest in the minutes of meeting.

6 REPORTS OF THE ASSESSMENT MANAGER

6.1 TRANSITIONAL APPLICATIONS

6.1.1 5-9 Palmyra Avenue, TORRENSVILLE

Application No 211/279/2021

Appearing before the Panel will be:

Representor: **Quy Phuoc Lam** of 4 Rawlings Avenue, Torrensville wishes to appear in support of the representation.

Applicant: **Charles Thompson** of New Creation Group wishes to appear in response to the representation.

DEVELOPMENT APPLICATION DETAILS

DESCRIPTION OF DEVELOPMENT	Demolition of existing buildings and construction of 19, two-storey dwellings with common driveway access and associated landscaping
APPLICANT	New Creation Group
APPLICATION NUMBER	211/279/2021
LODGEMENT DATE	11 March 2021
ZONE	Urban Corridor Zone
POLICY AREA	Transit Living Policy Area 36
APPLICATION TYPE	Merit
PUBLIC NOTIFICATION	Category 2
REFERRALS	Internal <ul style="list-style-type: none"> • City Assets • City Operations (Street Trees) • Waste Management External <ul style="list-style-type: none"> • Nil
DEVELOPMENT PLAN VERSION	Consolidated 21 May 2020
DELEGATION	<ul style="list-style-type: none"> • The relevant application is for a merit, Category 2 or Category 3 form of development, representations have been received and one or more representors wish to be heard on their representation.
RECOMMENDATION	Support with reserved matter and conditions
REPORT AUTHOR	Brendan Fewster

BACKGROUND

The application was lodged prior to 19 March 2021 therefore subject to the transitional provisions in the *Planning, Development and Infrastructure Act 2016* (PDI Act) and to be assessed against the Development Plan in accordance with Regulation 11(2) of the *Planning, Development and Infrastructure (Transitional Provisions) Regulations 2017*.

SUBJECT LAND AND LOCALITY

The subject land comprises two contiguous allotments that is commonly known as 5-9 Palmyra Avenue, Torrensville. The land is formally described as:

- Allotment 42 in Filed Plan 144270 in the area named Torrensville Hundred of Adelaide, Volume 5720 Folio 72.
- Allotment 43 in Filed Plan 144271 in the area named Torrensville Hundred of Adelaide, Volume 5798 Folio 608.

The subject site is regular in shape with a frontage of 57.73 metres (m), a depth of up to 66.29m and a total site area of approximately 3550 square metres (m²).

It is noted that there are no easements, encumbrances or Land Management Agreements on the Certificate of Title.

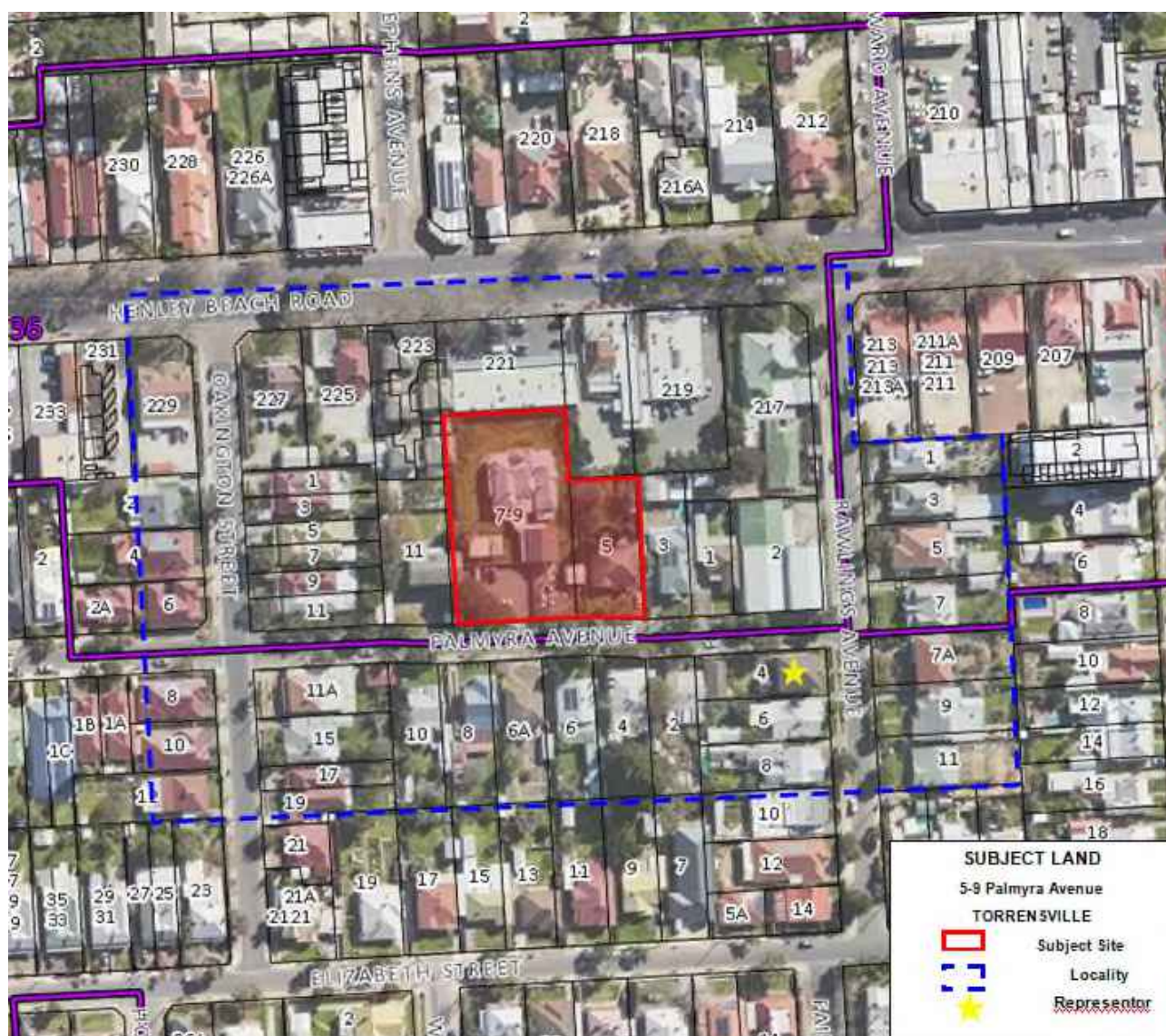
The site contains a large single storey building that is currently occupied as a dwelling having previously been used as a hostel. While the building appears to have been built in the early 1900's and exhibits historical features, the building is not identified in the Development Plan as having heritage status. There are also several outbuildings and a bitumen car parking area adjacent to the Palmyra Avenue frontage.

The land is naturally flat with and there are no Regulated trees on the site or on adjoining land that would be affected by the development.

The locality comprises an established residential area that interfaces with several commercial uses immediately to the north along Henley Beach Road. These commercial uses include small-scale offices and shops. Residential development on the northern side of Palmyra Avenue, which is situated within the Urban Corridor Zone comprises predominately detached and semi-detached dwellings. Land on the southern side of Palmyra Avenue is within the Cowandilla / Mile End West Character Policy Area of Residential Zone and is generally characterised by single storey villa and bungalow dwellings at low densities.

While the amenity in the vicinity of Palmyra Avenue is relatively high, the northern side of the subject land and surrounding properties are exposed to commercial buildings and traffic noise along Henley Beach Road, which have significant amenity impacts.

The subject land and locality are shown on the aerial imagery below.



RELEVANT APPLICATIONS

DA Number	Description of Development	Decision	Decision Date
211/564/2017	Demolition of single storey dwelling and associated structures	Approved	30/05/2017
211/214/2017	Construct five two and three storey residential flat buildings comprising 24 dwellings	Refused (non-supply of information)	09/10/2017
211/1179/14	Change of use from hostel to dwelling	Approved	22/07/2015

PROPOSAL

The application is for the construction of 19, two-storey 'group' dwellings with common driveway access and associated landscaping and fencing. The dwellings are designed in groups of four with wall to wall construction.

The dwellings have a linear layout with a common architectural style and form. The building design is modern, incorporating relatively simple facades that include flat roofs behind parapet walls, front fenestration, balconies to dwellings fronting the road and contrasting materials. External materials include horizontal Scyon Stria panels and rendered Hebel cladding (surfmist), glass balustrades and aluminium frame windows and doors (black).

The dwellings fronting Palmyra Avenue are setback a minimum of 3 metres from the road boundary while the rear dwellings are setback 4.0 metres from the northern (rear) boundary.

All dwellings will be accessed via a new common driveway that is located at the western end of the road frontage. A screened bin store will be located adjacent to a central garden area and a mix of landscaping is to be provided along the road frontage and perimeter boundaries, within courtyards and alongside the common driveway.

All existing buildings on the site are to be demolished.

The relevant plans and documents are contained in **Attachment 2**.

PUBLIC NOTIFICATION

The application is a Category 2 form of development pursuant to Schedule 9 of the *Development Regulations 2008*.

Properties notified	38 properties (owners and occupiers) were notified during the public notification process.
Representations	Two (2) representations were received, with one representation subsequently withdrawn.
Persons wishing to be heard	One (1) representor wishes to be heard. <ul style="list-style-type: none"> • Quy Phuoc Lam of 4 Rawlings Avenue, Torrensville
Summary of representations	Concerns were raised regarding the following matters: <ul style="list-style-type: none"> • Loss of privacy
Applicant's response to representations	Summary of applicant's response: <ul style="list-style-type: none"> • Dwellings 1 to 8 have been designed to front the road; • Based on the floor height and angle, overlooking would not be possible to 4 Rawlings Avenue.

A copy of the representations and the applicant's response is contained in **Attachment 3**.

INTERNAL REFERRALS

Department	Comments
City Assets	<ul style="list-style-type: none"> • The FFL's of the proposed development (99.60 minimum) have been assessed as satisfying minimum requirements (99.38) in consideration of street and/or flood level information. • Stormwater connection is in direct conflict with the common crossover servicing multiple dwellings at the rear. • The stormwater connection for Residence 5 and Residence 7 should be relocated to ensure that 2m offset from existing street tree. • The shape and material of stormwater connection has been assessed as satisfying minimum requirements. • The resident parking requirement would be satisfied by the provision of 2 garage spaces per dwelling. However there would be a parking shortfall of 4 to 5 spaces for visitor parking. It would be desirable, in my opinion, to provide 2 visitor spaces within the site. This would result in some loss of landscaping in the central garden area. The remaining visitor parking demand can be suitably accommodated by on-street parking. • The 10 bike parking racks shown around the central garden area would satisfy the Development Plan requirement. • Concerns relating to vehicle manoeuvrability and width of garage openings. • It is recommended that the width of the crossover servicing multiple unit is 5.5m with 0.3m flaring on each side (6.1m wide at the kerb line). • Letter boxes and services are currently located outside the driveway passing area. • The internal garage length is currently proposed as 5.6m. Although not specified in the relevant Australian Standards (AS/NZS 2890.1:2004), traffic engineering best practice guides that the minimum internal length of an enclosed garage or enclosed carport space should be a minimum of 5.8m. • The applicant has chosen to adopt the 'Alternate' approach for desired stormwater management for this site. • Stormwater quality for the site has been considered as satisfying requirements. <p>Initial concerns raised by City Assets have been resolved by way of amendments and imposition of appropriate conditions of consent.</p>

City Operations (Street Trees)	<ul style="list-style-type: none"> As a result of the proposed crossover for the development at 5 Palmyra Avenue, City Operations has considered the health, structure, form, useful life expectancy and age of the street tree and in this instance will support the removal.
Waste Management	<ul style="list-style-type: none"> The proposed development at 5 and 7-9 Palmyra Avenue, Torrensville exceeds the maximum number of bins (10) for a standard or shared Council waste service. The proposal outlined by MFY Pty Ltd meets the requirements for waste provision to residential dwellings through a commercial waste company.

A copy of the relevant referral responses is contained in **Attachment 4**.

RELEVANT DEVELOPMENT PLAN PROVISIONS

The subject land is located within the Urban Corridor Zone and, more specifically, is within Transit Living Policy Area 36 as described in the West Torrens Council Development Plan.

The relevant Desired Character statements are as follows:

Urban Corridor Zone - Desired Character:

This zone will contain an innovative mix of medium density (45-70 dwellings per hectare) and high density (70-200 dwellings per hectare) residential development, together with community and employment land uses, along the Port Road, Anzac Highway, Richmond Road and Henley Beach Road corridors. The combination of land uses will vary within these corridors. Some locations will contain a genuine land use mix with ground floor shops, restaurants and offices, and upper level residential, while other areas will give primacy to residential development. Other parts of the zone will have a strong employment focus.

The function of main roads in the zone, particularly Port Road, Richmond Road and Anzac Highway, as major transport corridors will be protected by providing access to allotments from secondary road frontages and rear access ways as much as possible. Parking areas will be consolidated, shared (where possible) and screened from the street or public spaces. Allotments with car parking fronting Port Road, Anzac Highway, Richmond Road and Henley Beach Road will be redeveloped with built form closer to the road and reconfigured car parking areas.

As one of the key zones in the City of West Torrens where there will be transformation in built form, new buildings will be recognised for their design excellence. These buildings will establish an interesting pedestrian environment and human-scale at ground level through careful building articulation and fenestration, verandas, balconies, canopies and landscaping. In general, the greatest height, mass and intensity of development will be focussed at the main road frontage. Buildings of 3 or more storeys will be the predominant built form. It is for these reasons that dwellings other than detached dwellings will be the predominant form of residential development.

Overlooking, overshadowing and noise impacts will be moderated through careful design. Impacts on adjoining zones where development is lower in scale and intensity will be minimised through transition of building heights and setbacks, judicious design and location of windows and balconies, and the use of landscaping. The transition of building heights and setbacks, and judicious design is especially important adjacent Character Policy Areas, including those Character Policy Areas at Glandore and Ashford. The use of blank walls in these transitional areas, especially at the rear and side of allotments, will be avoided. Plant and service equipment will be enclosed and screened from view from the street and neighbouring allotments.

Where buildings are set back from main roads, landscaping will contribute to a pleasant pedestrian environment and provide an attractive transition between the public and private realm. Large scale development in the zone will facilitate the establishment of areas of communal and public open space, and create links with existing movement patterns and destinations in the zone. Front fencing in the zone will be kept low and/or visually permeable.

Some parts of the zone, including allotments in Thebarton and Keswick, are potentially contaminated because of previous and current industrial activities. In these circumstances, development is expected to occur on a precautionary basis if site contamination investigations identify potential site contamination, particularly where it involves sensitive uses such residential development.

The Thebarton brewery has potential to cause nuisance to future users and residents within this zone through noise and odour. To mitigate potential adverse impacts, residential development north of Smith Street that is likely to be sensitive to brewery operations should generally be avoided unless interface mitigation measures have been implemented (or will be implemented within an acceptable period) such that the anticipated impacts are within acceptable limits. Noise and air amenity with the zone is not expected to be equivalent to that expected from living in a purely residential zone.

Transit Living Policy Area 36 - Desired Character:

The policy area will contain primarily medium density residential development, together with some local shops, offices and community land uses to support the daily needs of residents. Larger retail formats may be appropriate on prominent or large-scale sites where proposed as part of a coordinated, mixed-use development with a residential focus. This includes the former TAFE site bound by Richmond Road, Sutton Terrace and Desmond Avenue at Marlestone. There will be a variety of building forms and design, creating housing opportunity for people of various life stages and accommodating a variety of small businesses that do not compromise residential amenity.

Development will take place at medium densities. This will result in the replacement of existing detached dwellings at low to very low density with row dwellings and residential flat buildings, possibly involving allotment amalgamation. Vehicle access will occur from side streets and new rear laneways where possible.

Safe and efficient pedestrian movement along arterial roads and associated transport networks and facilities will be supported by limiting vehicle access points to allotments from side streets and new rear laneways where possible. This will also support the retention/planting of street trees on arterial roads.

New buildings will contribute to a highly varied built streetscape, allowing multiple built form design responses that support innovative housing and mixed-use development. Buildings in the part of the policy area around Henley Beach Road will be up to 3 storeys west of Marion Road and 4 storeys east of Marion Road. Buildings in the part of the policy area along Richmond Road will be up to 6 storeys in height toward Richmond Road, transitioning down in height to provide a 2 to 3 storey building interface toward adjacent residential areas and local streets. Balconies and windows will face the street to provide passive surveillance. Parking and garages will be located behind the front façade of buildings. State heritage places and Local heritage places will be adapted, maintaining their heritage qualities with redevelopment occurring to the rear and behind the front facades. Buildings adjacent to these heritage buildings will contain design elements and building materials that are complementary to such buildings.

Development will be interspersed with landscaping, particularly behind the main street frontage, to soften the appearance of buildings from the street and reduce heat load in summer.

Additional provisions of the Development Plan which relate to the proposed development are contained in **Attachment 1**.

QUANTITATIVE STANDARDS

The proposal is assessed for consistency with the quantitative requirements of the Development Plan as outlined in the table below:

DEVELOPMENT PLAN PROVISIONS	STANDARD	ASSESSMENT
NET RESIDENTIAL DENSITY <i>Urban Corridor Zone</i> <i>PDC 5</i>	45 dwellings per hectare (minimum)	54 dwellings per hectare Satisfies
PRIMARY STREET SETBACK <i>Urban Corridor Zone</i> <i>PDC 17</i>	Minimum setback where frontage is to Port Road, Anzac Highway or Henley Beach Road - No minimum at Port Road - 3m at Anzac Highway All other cases - 3m	3.0m Satisfies
SIDE SETBACK <i>Urban Corridor Zone</i> <i>PDC 19</i>	Side Frontage width 20m or less - no minimum up to 2 storeys and 3m above this height Frontage width >20m - 3m	0m – 8.1m Does not satisfy
REAR SETBACK <i>Urban Corridor Zone</i> <i>PDC 19</i>	0m (no minimum)	4.0m Satisfies
STORAGE <i>Residential Development</i> <i>PDC 31</i>	8m ³ (min.)	Approx. 8m ³ (under stairs, linen, WIR) Satisfies
BUILDING HEIGHT <i>Urban Corridor Zone</i> <i>PDC 13</i>	6 storeys and up to 24.5 metres	2 storeys or 7.6m Satisfies

<p>CARPARKING SPACES <i>Urban Corridor Zone</i> PDC 20</p>	<p>Residential Development (+ an additional 0.25 spaces per dwelling for visitors)</p> <ul style="list-style-type: none"> - 0.25 spaces per studio (no separate bedroom) - 1.0 space per 1 bedroom dwelling - 1.5 space per 2 bedroom dwelling - 2.0 spaces per 3+bedroom dwelling 	<p>2 spaces provided per dwelling 2 shared visitor spaces</p> <p>Does not satisfies (2 visitor space shortfall)</p>
<p>BICYCLE PARKING <i>WeTo/7 Off-street Bicycle Parking Requirements for Designated Areas</i></p>	<p>Employee / resident = 1 for every 4 dwellings Visitor / shopper = 1 for every 10 dwellings</p>	<p>10 rails</p> <p>Satisfies</p>
<p>LANDSCAPING Medium and High Rise Development (3 or more stories) PDC 23</p>	<p>Deep soil areas (min)</p> <p><300m² = 10m² with a min dimension of 1.5m</p> <p>300 - 1500m² = 7% site area with a min dimension of 3m</p>	<p>Satisfies</p>

ASSESSMENT

In assessing the merits or otherwise of the application, the proposed development is discussed under the following sub headings:

Form of Development and Desired Character

The subject land is situated within Transit Living Policy Area 36 of the Urban Corridor Zone. Objective 1 of the Policy Area envisages the following:

"A medium density residential area supported by local shops, offices and community land uses".

This Objective is supported by the Desired Character by encouraging the amalgamation of allotments and the replacement of existing detached dwellings with alternative dwellings types, such as group dwellings and residential flat buildings.

The proposal is an orderly and desirable form of development as it comprises the amalgamation of two existing allotments and the construction of group dwellings at medium densities.

Residential Density

PDC 5 of the Urban Corridor Zone is seeking a minimum net residential density of 45 dwellings per hectare for developments within Transit Living Policy Area 36.

As the subject land has a total area of approximately 3550m², the 'net' residential density of the development has been calculated at 54 dwellings per hectare. The proposed development is therefore within the medium density range and satisfies PDC 5.

As considered in more detail below, the proposed density of the development would not compromise the spatial and functional characteristics of the development and in particular the built form relationship with the street and adjoining properties, on-site car parking and vehicle manoeuvrability or the internal amenity for future occupants. It is noted that buildings up to 6 storeys in height are envisaged in this part of the Policy Area.

Accordingly, the proposed density is within the desired range for the Zone and Policy Area, which are expressly seeking medium density residential development.

Design, Scale and Appearance

The Development Plan provisions promote contemporary and innovative building designs. New development that *“contribute to a highly varied built streetscape, allowing multiple built form design responses”* is desirable within the Zone and Policy Area.

The building design is modern, incorporating relatively simple facades that include flat roofs behind parapet walls, front fenestration, balconies to dwellings fronting the road and contrasting materials. External materials include horizontal Scyon Stria panels and rendered Hebel cladding (surfmist), glass balustrades and aluminium frame windows and doors (black). While there is some building repetition, the street-facing facades of Dwellings 1 to 8 are reasonably-well articulated with balconies and horizontal cladding and are complemented by quality landscaping and low open-style fencing. All other dwellings (i.e. Dwellings 9 to 19) are situated toward the rear and will not be readily visible from the street.

The dwelling façades include windows to both the ground and upper floors that facilitate passive surveillance of the internal driveway and adjacent footpath while the dwelling entrances are readily identifiable and accessible from the road frontage and vehicle parking areas.

The internal floor areas would provide functional living environments with living rooms having an outlook to either front or rear yards.

PDC 13 of the Urban Corridor Zone envisages building heights of up to six storeys or 24.5 metres within Transit Living Policy Area 36 as the subject land does not adjoin Henley Beach Road. The proposed building height of only two storeys or 7.6 metres is well within the recommended height range. Furthermore, the relevant provisions do not require development in the Urban Corridor Zone to reference or provide a transition to existing development within the adjacent residential zone.

The design and appearance of the proposal is of a satisfactory standard and when considered against the intent of the Urban Corridor Zone, the proposed two-storey scale would provide an appropriate transition between the adjacent Residential Zone and the Urban Corridor Zone. Objective 2 and 3 and PDC 2 of Transit Living Policy Area 36 and Objective 1 and PDC 1 of the General Section (Design and Appearance) are therefore satisfied.

Boundary Setbacks

As recommended by PDC 17 of the Urban Corridor Zone, new buildings should be setback a minimum of 3.0 metres from road boundaries. The main front wall of Dwellings 1 to 8 are setback appropriately at 3.0 metres.

For side boundary setbacks, PDC 19 of the Urban Corridor Zone recommends a setback of 3.0 metres for allotments with a frontage of 20 metres or more. The side boundary setbacks range between 0m and 2.0 metres. While Dwellings 8, 9, 12 and 17 are setback less than 3.0 metres, the resulting impact of the reduced setbacks would not be significant given that:

- Dwelling 8 and 9 are setback 2.0 metres from the eastern side boundary, which is consistent with the typical setback requirement for a two-storey dwelling;
- The boundary wall of Dwelling 12 adjoins the rear car park of a commercial building;

- Dwelling 17 is located immediately adjacent to existing garages and the side wall of a two storey dwelling on the adjoining property; and
- The subject land has a north to south orientation and the proposed dwellings are not overly tall or bulky.

PDC 19 allows for no boundary setbacks from rear boundaries (i.e. boundary development). The rear boundary setbacks of 4.0 metres are therefore acceptable.

Vehicle Access and Car Parking

All dwellings will be accessed via a new common driveway that is located at the western end of the road frontage. City Operations has agreed to the removal of the existing street tree to accommodate the new crossover. A notation regarding the costs associated with the tree removal has been included. The access has been designed to achieve a pedestrian sight triangle between the driveway and Dwelling 1 to ensure safe traffic movements.

The applicant has amended the driveway and some garages following concerns raised by City Assets in relation to internal vehicle manoeuvrability.

Overall, the proposed access arrangements are considered safe and convenient in accordance with PDC 24 of the General Section (Transportation and Access).

In terms of on-site car parking, all proposed dwellings are provided with a double garage or carport, and two common visitor spaces will also be provided. PDC 20 of the Urban Corridor Zone requires car parking to be provided based on *Table WeTo/6 - Off-street Vehicle Parking Requirements for Designated Areas*. In Transit Living Policy Area 36, car parking should be provided as follows:

- 2.0 spaces per 3 + bedroom dwelling
- Plus 0.25 spaces per dwelling for visitors

Given that 19 dwellings are proposed, there is a shortfall of two visitor car parking spaces. While this shortfall is not ideal, Council's Traffic Engineer is satisfied that the *"remaining visitor parking demand can be suitably accommodated by on-street parking. I note that the subject frontage of the site can satisfactorily accommodate 6 or more on-street parking spaces, as the 8 dwellings that front Palmyra Avenue are designed with rear garage access"*.

While additional on-site visitor parking could be provided within the common garden area, it is considered more appropriate in this instance to maintain the current amount of landscaping given the existing on-street parking availability.

Accordingly, there is considered to be sufficient on-site car parking to meet the anticipated demand generated by the proposed development. PDC 20 of the Urban Corridor Zone and PDC 34 of the General Section (Transportation and Access) have been satisfied.

Landscaping

The applicant has provided a detailed landscaping proposal that includes a mix of trees, shrubs and ground covers along the road frontage and perimeter boundaries, within courtyards and alongside the common driveway.

The proposed landscaping would equate to 10 per cent of the site, possibly more, which satisfies PDC 4 of the General Section (Landscaping, Fences and Walls). The landscaping would enhance the internal amenity and external appearance of the development, as well as minimising heat loads in accordance with PDC 1 and 4 of the General Section (Landscaping, Fences and Walls).

Private Open Space

The proposed dwellings will be provided with at least 26m² of private open space. The amount of private open space for each dwelling is considered to satisfy PDC 19 of the General Section (Residential Development). The rear yards generally achieve the minimum dimension guidelines and would also be accessible from a living area. Suitable private open space for entertaining, clothes drying and other domestic functions would therefore be provided for occupants of the proposed dwellings.

Overlooking

The representor at 4 Rawlings Avenue has raised concerns with overlooking from the front dwellings into the rear yard of their property. The upper storey windows and balconies of the front dwellings (Dwellings 1 to 8) would have direct views onto the street, with only oblique and distant views likely to affect 4 Rawlings Avenue. The separation distance is sufficient such that direct overlooking is not considered to be of concern.

All side and rear upper level windows will have fixed obscure glazing or raised sills to a height of at least 1.7 metres above the floor level. Internally, it is not considered necessary for the front windows of Dwellings 9 to 19 to have privacy treatments given the design and layout of the front dwellings.

The proposed privacy measures and siting of the dwellings would prevent 'direct' views from the upper storey windows and balconies into the habitable room windows and yards areas of adjoining properties. The proposal therefore satisfies PDC 27 of the General Section (Residential Development).

Overshadowing

Given the two storey scale of the proposed buildings, it is reasonable to expect that some shadow would be cast over the adjoining land to the south, particularly during winter months.

As the land has a north to south orientation, the most significant shadowing would occur over the adjacent road at the front of the site rather than affecting the adjoining properties. The habitable room windows and yard areas of the adjoining properties will continue to receive at least two hours of natural light during the day in winter, as required under PDC 11 of the General Section (Residential Development).

The proposal is therefore considered to satisfy PDC 10, 11 and 12 of the General Section (Residential Development).

Stormwater and Flood Management

Stormwater runoff from each dwelling will be directed to a 3,000L rainwater retention tank and plumbed into all toilets and the laundry. Overflow from the rainwater tanks and hard paved surfaces will be discharged to the street water table in accordance with Council's standard requirements. City Assets Department has confirmed that the proposed stormwater management system is acceptable.

Waste Storage and Collection

Council's Waste Management Department has confirmed that the development exceeds the maximum number of bins (10) for a standard or shared Council waste service and therefore a private waste contractor will be required. The proposed bin store is to be located adjacent to a central garden area and the waste collection arrangements outlined by MFY Pty Ltd are considered to meet the requirements for waste provision. Conditions of consent relating to the bin enclosure and odour management have been included.

The proposal is consistent with Objective 2 of the General Section (Waste).

SUMMARY

Having considered all the relevant Objectives and Principles of the Development Plan, the proposal is not considered to be seriously at variance with the Development Plan.

When balanced against the existing site and locality characteristics and the Desired Character for the Urban Corridor Zone and Transit Living Policy Area 36, the proposed residential development is considered to be an orderly and desirable form of development.

The building size and scale and the residential density is consistent with the Desired Character for the Zone and Policy Area and compatible with the changing pattern and built form characteristics of the locality. The design of the proposed development is of a satisfactory standard.

Vehicle access is considered safe and convenient and sufficient car parking is to be provided.

On balance, the proposed development sufficiently accords with the relevant provisions contained within the West Torrens Council Development Plan Consolidated 21 May 2020 and warrants Development Plan Consent subject to conditions.

RECOMMENDATION

The Council Assessment Panel, having considered all aspects of the report and the application for consent to carry out development of land resolves to GRANT Development Plan Consent for Application No. 211/279/2021 by New Creation Group to undertake the demolition of existing buildings and construction of 19, two-storey dwellings with common driveway access and associated landscaping and fencing at 5-9 Palmyra Avenue, Torrensville (CT5720/72 & 5798/608) subject to the following reserved matter and conditions of consent:

Reserved Matters:

The following information shall be submitted for further assessment and approval by the City of West Torrens as reserved matters under Section 33(3) of the *Development Act 1993*:

1. A Construction Management Plan (CMP) for the proposed development. The CMP should identify potential issues and appropriate measures to minimise impacts and disruption to surrounding residents and business owners during the construction phase of the development. The plan shall also detail the types, volumes and distributions of traffic and how they will be managed.

Pursuant to Section 42(1) of the *Development Act 1993*, the Council reserves its decision on the form and substance of any further conditions of Development Plan Consent that it considers appropriate to impose in respect of the reserved matters outlined above.

Development Plan Consent Conditions:

1. The development must be undertaken, completed and maintained in accordance with the plans and information detailed in this Application except where varied by any conditions listed below:
 - Demolition Plan prepared by New Creation Group, Sheet No. A101 dated 17/02/21;
 - Site Plan prepared by New Creation Group, Sheet No. A100 dated 12/07/21;
 - Landscape Plan & Schedule prepared by New Creation Group;
 - Units 1-8 Plans prepared by New Creation Group, Sheet No. A101-A109 dated 17/08/21;
 - Unit 9 Plans prepared by New Creation Group, Sheet No. A101-A109 dated 17/08/21;

- Units 10, 13-16 Plans prepared by New Creation Group, Sheet No. A101-A109 dated 17/08/21;
 - Unit 11 Plans prepared by New Creation Group, Sheet No. A101-A109 dated 17/08/21;
 - Unit 12 Plans prepared by New Creation Group, Sheet No. A101-A109 dated 17/08/21;
 - Unit 12 Carport Plan prepared by New Creation Group, Sheet No. A101 dated 02/08/21;
 - Unit 17 Plans prepared by New Creation Group, Sheet No. A101-A109 dated 17/08/21;
 - Unit 17 Carport Plan prepared by New Creation Group, Sheet No. A101 dated 02/08/21;
 - Unit 18 Plans prepared by New Creation Group, Sheet No. A101-A109 dated 17/08/21;
 - Unit 19 Plans prepared by New Creation Group, Sheet No. A101-A109 dated 17/08/21;
 - Front Streetscape Plan prepared by New Creation Group, Sheet No. A106 dated 01/11/21;
 - Civil & Drainage Plan prepared by KP Squared, Drawing No. C2, Issue C dated 25/10/21;
 - Earthworks & Paving Details prepared by KP Squared, Drawing No. C4, Issue A dated 10/02/21;
 - Civil Details prepared by KP Squared, Drawing No. C5, Issue A dated 10/02/21;
 - Stormwater Calculations prepared by KP Squared, Issue A dated 10/02/21; and
 - Letter prepared by MFY dated 05/03/21.
2. All stormwater design and construction will be in accordance with Australian Standards and recognised engineering best practices to ensure that stormwater does not adversely affect any adjoining property or public road and, for this purpose, stormwater drainage will not at any time:
- a) Result in the entry of water into a building; or
 - b) Affect the stability of a building; or
 - c) Create unhealthy or dangerous conditions on the site or within the building; or
 - d) Flow or discharge onto the land of an adjoining owner; or
 - e) Flow across footpaths or public ways.
- Reason: To ensure that adequate provision is made for the collection and dispersal of stormwater*
3. All stormwater management measures for the development approved herein, including harvest tanks and supply mechanisms shall be installed and operational prior to the occupation of the development.
- Reason: To ensure that adequate provision is made for the management of stormwater.*
4. The rainwater tank for all dwellings shall be plumbed to deliver recycled water to all toilets and laundry cold water outlets and shall be connected prior to occupation of the dwellings.
- Reason: To ensure that adequate provision is made for the collection and dispersal of stormwater*
5. The stormwater connections for Dwellings 1 to 8 shall be offset a minimum of 2.0 metres from existing street trees that are to be retained.
- Reason: To minimise impacts on existing street trees.*
6. All driveways, parking and manoeuvring areas will be formed, surfaced with concrete, bitumen or paving, and be properly drained prior to occupation, and shall be maintained in reasonable condition at all times to the satisfaction of Council.
- Reason: To ensure safe and convenient vehicle access and to suppress dust*

7. All landscaping shall be planted in accordance with the approved plans and incorporate an appropriate irrigation system within three (3) months of the occupancy of the development or the next available planting season. Any person(s) who have the benefit of this approval will cultivate, tend and nurture the landscaping and shall replace any plants which may become diseased or die.

Reason: To enhance the amenity of the site and locality and to mitigate against heat loading

8. The side and rear upper storey windows of all dwellings shall be fitted with fixed obscure glass to the windows and balcony balustrades to a minimum height of 1.7 metres above the upper floor level to minimise the potential for overlooking of adjoining properties, prior to occupation of the building. The glazing in these windows shall be maintained to the satisfaction of Council at all times.

Reason: To maintain the privacy of neighbouring residents

9. No aboveground structures, such as letterboxes, service meters or similar are to be installed within the common driveway entrance and passing area.

Reason: To ensure safe and convenient vehicle access

10. Details of the bin store enclosure shall be submitted to the satisfaction of Council prior to the issue of Development Approval.

Reason: To ensure minimal disturbance to surrounding properties and to maintain the amenity of the locality

11. The bin storage area shall be kept clean and tidy at all times with bins cleaned regularly to minimise odour.

Reason: To minimise odour and to maintain the amenity of neighbouring properties

12. Collection of waste shall be carried out at least once a week by a private contractor. All solid waste shall be stored in bins having a close fitting lid. The bins shall be stored within the designated bin storage area identified on the approved plans.

Reason: To ensure residence are provided with waste management facilities and to maintain the amenity of the locality.

NOTES

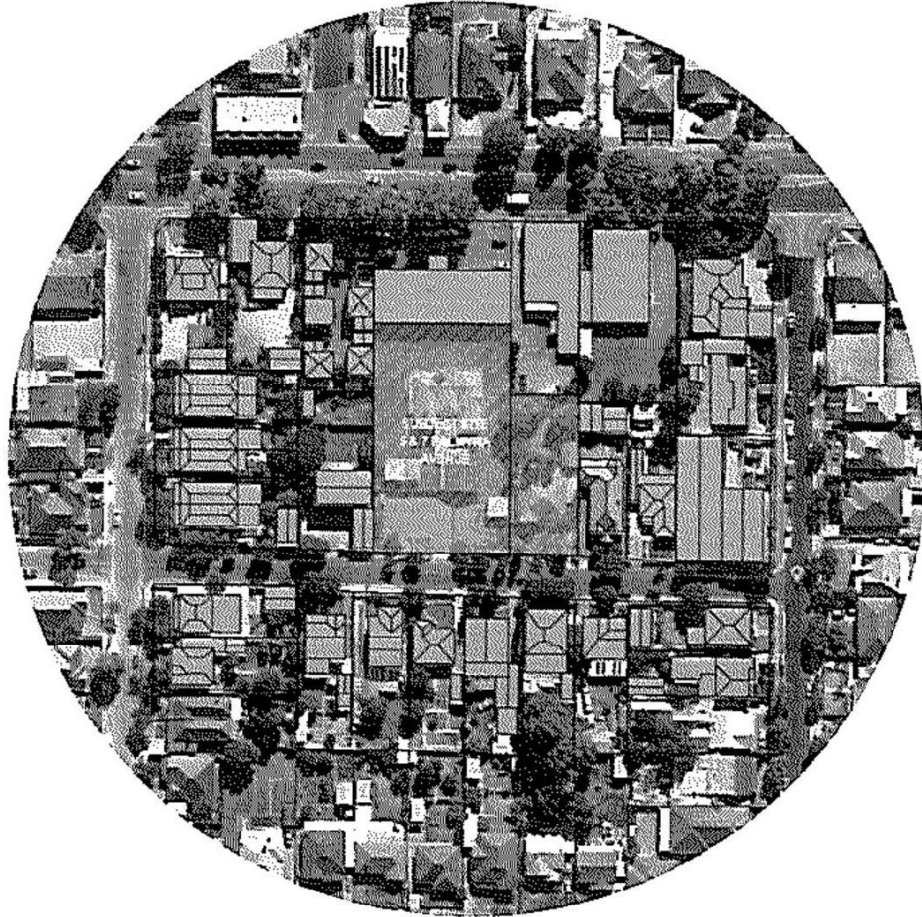
- City Operations has considered the health, structure, form, useful life expectancy and age of the street tree and in this instance will support the removal. Payment of a fee of \$750.00 will be required prior to the commencement of any work.
- The applicant is reminded that any boundary fencing, including a combination of retaining walls and fencing, that exceeds a height of 2.1 metres above ground level requires development approval under a separate application.

Attachments

1. **Relevant Development Plan Provisions**
2. **Proposal Plans & Documentation**
3. **Representation & Applicants Response**
4. **Internal Referral Responses**

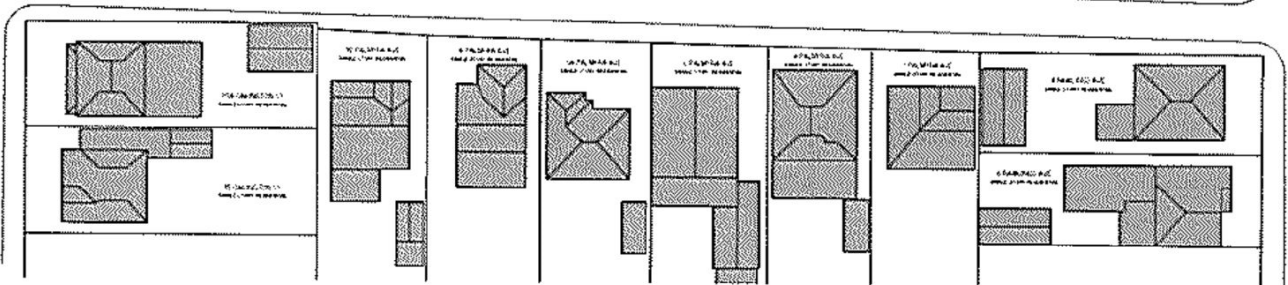
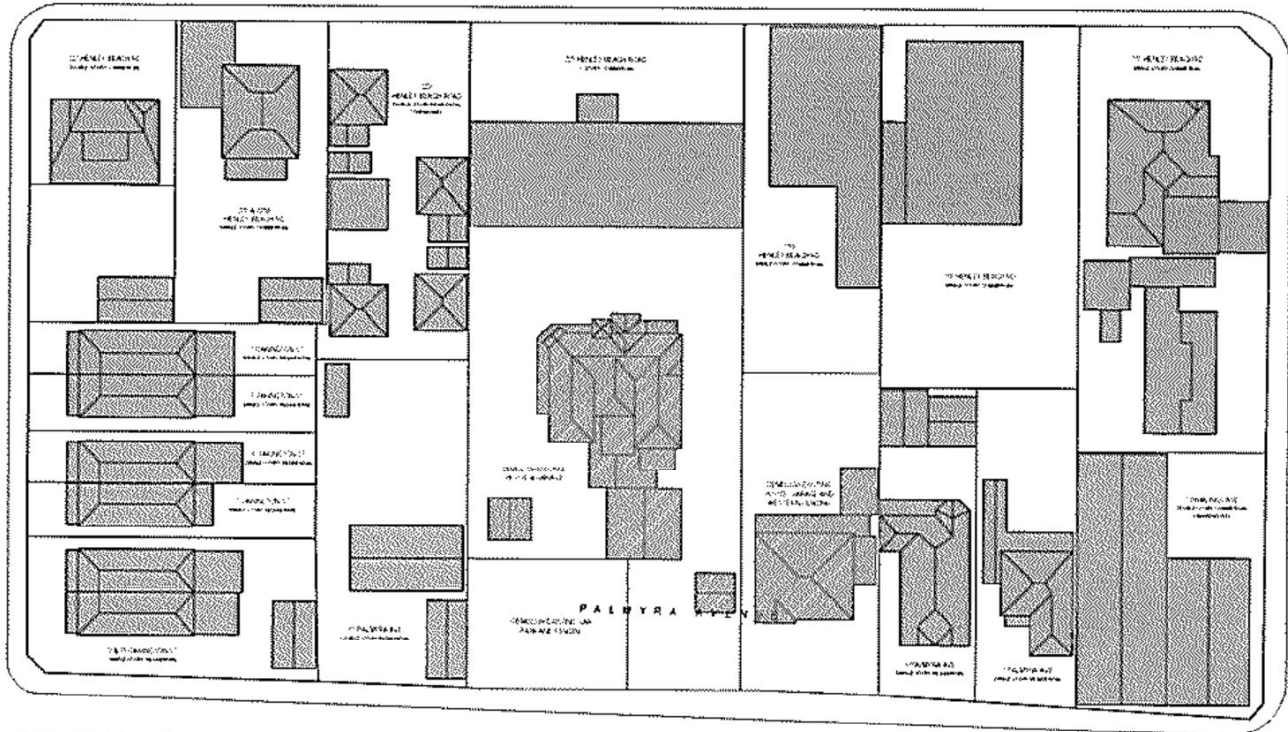
Relevant Development Plan Provisions

General Section		
<i>Crime Prevention</i>	<i>Objectives</i>	1
	<i>Principles of Development Control</i>	1, 2, 3, 6, 7 & 8
<i>Design and Appearance</i>	<i>Objectives</i>	1 & 2
	<i>Principles of Development Control</i>	1, 2, 3, 4, 5, 9, 10, 12, 13, 14, 15, 16, 21, 22 & 23
<i>Energy Efficiency</i>	<i>Objectives</i>	1 & 2
	<i>Principles of Development Control</i>	1, 2 & 3
<i>Land Division</i>	<i>Objectives</i>	1, 2, 3 & 4
	<i>Principles of Development Control</i>	1, 2, 4, 5, 6 & 8
<i>Landscaping, Fences and Walls</i>	<i>Objectives</i>	1 & 2
	<i>Principles of Development Control</i>	1, 2, 3, 4, 6
<i>Orderly and Sustainable Development</i>	<i>Objectives</i>	1, 2, 3, 4 & 5
	<i>Principles of Development Control</i>	1 & 3
<i>Residential Development</i>	<i>Objectives</i>	1, 2, 3, 4 & 5
	<i>Principles of Development Control</i>	1, 4, 5, 7, 8, 9, 10, 11, 12, 13, 14, 16, 18, 19, 20, 21, 22, 28, 30, 31, 32 & 33
<i>Transportation and Access</i>	<i>Objectives</i>	2
	<i>Principles of Development Control</i>	1, 2, 8, 9, 11, 23, 24, 30, 34, 35, 36, 37 & 44



Location Plan

1 : 1000



Demolition Plan

1 : 1000

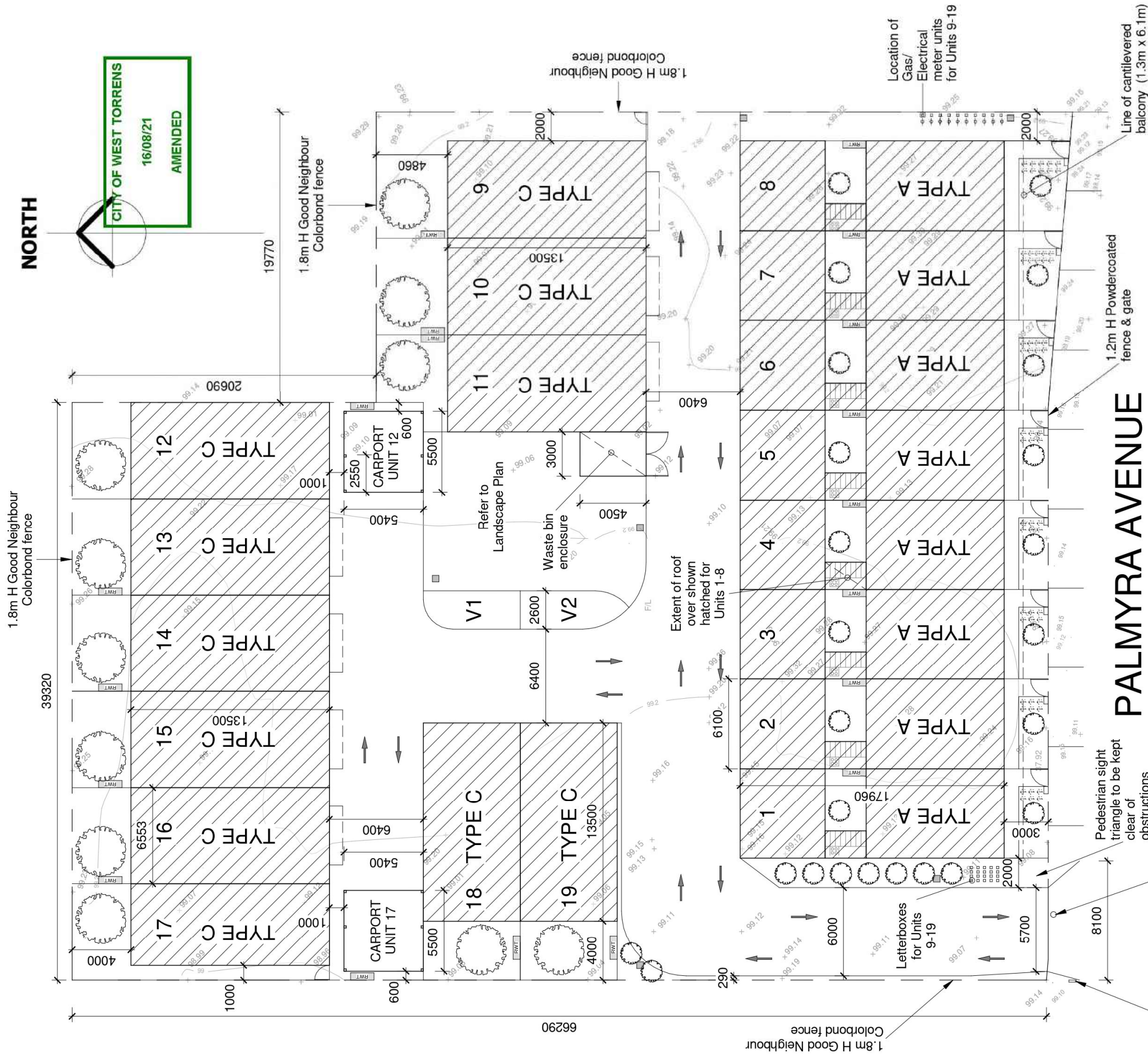
Mrs Tania Russell
 5-9 Palmyra Ave, Torrensville
 Palmyra Housing Development

Revision Date
 17.02.21
 Scale
 1 : 1000
 Sheet No.
 A101

CONTRACTOR NOTE:
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Site Plan

1 : 250

Total landscape Area 685m²

Common Area 263m²

PALMYRA AVENUE

LEGEND

■ Site lighting bollard

Mrs Tania Russell

5-9 Palmyra Ave, Torrensville

Palmyra Housing Development

Revision Date
12.07.21

Scale
1 : 250

Sheet No.
A100

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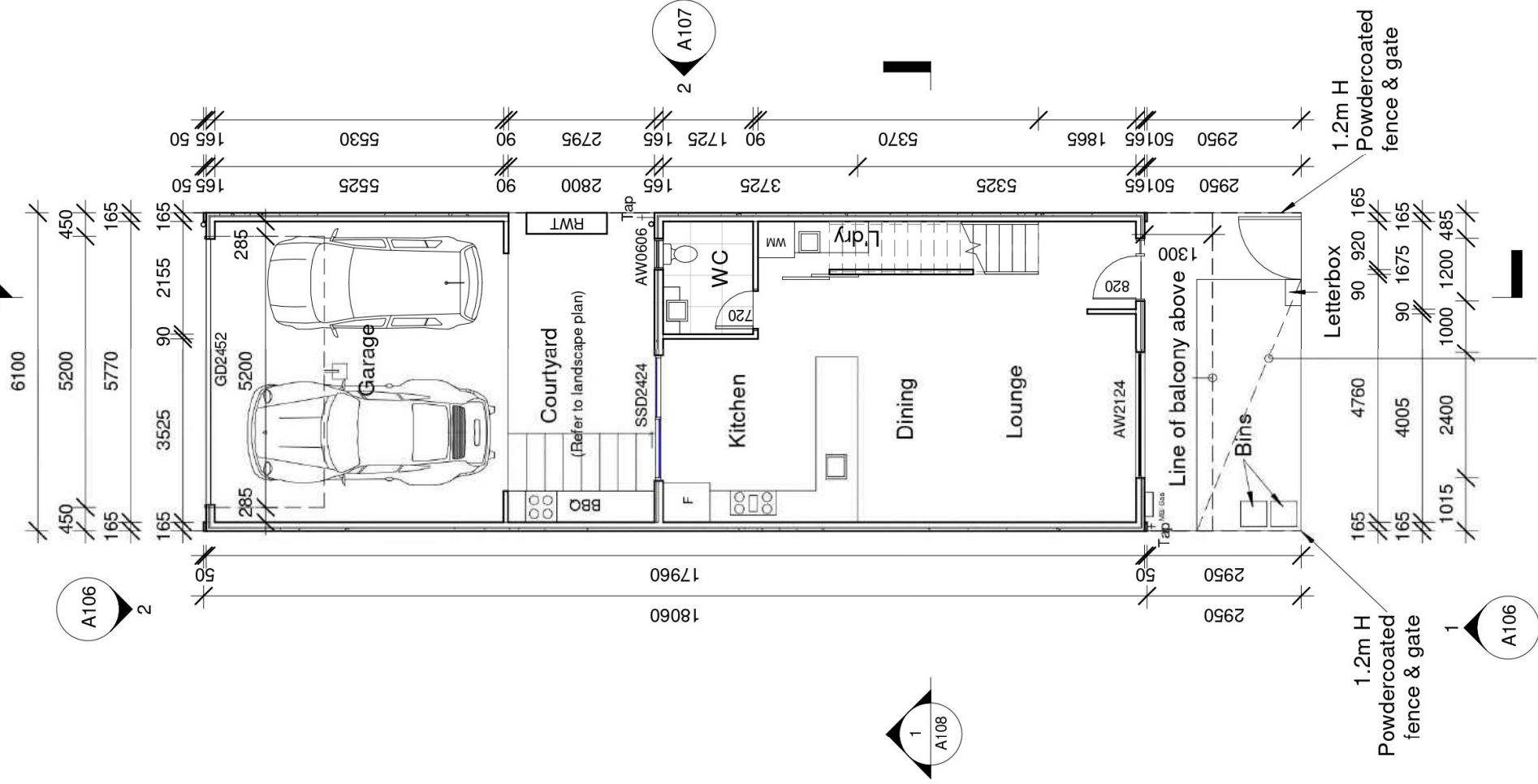


Palmyra St Torrensville

	Botanical Name	Common Name	Number	Size
Aae	<i>Adiantum aethiopicum</i>	Maidenhair Fern	14	140
Abl	<i>Asplenium bulbiferum</i>	Birds Nest Fern	2	140
Abu	<i>Anigozanthos 'Bush Gold'</i>	Dwarf yellow Kangaroo Paw	120	140
Aca	<i>Ajuga 'Caitlin's Giant'</i>	Bugle Flower	14	140
Ala	<i>Acacia lanigera</i>	Woolly Wattle	9	140
Ali	<i>Alternanthera 'Little Ruby'</i>	Alternanthera	40	140
Amo	<i>Acanthus mollis</i>	Bears Breeches	36	140
Aod	<i>Alocasia odora</i>	Elephants Ears	6	200
Bgi	<i>Blechnum 'Silver Lady'</i>	Silver Lady Fern	12	140
Bsc	<i>BergeniaxSchmidtii</i>	Bergenia	14	140
Cfi	<i>Corymbia ficifolia c.v.</i>	Dwarf Grafted Flowering Gum	19	300
Cfr	<i>Cordyline fruticosa Rubra</i>	Cordyline	6	140
Cja	<i>Camellia japonica</i>	Camellia	2	200
Cmi	<i>Clivia miniata</i>	Clivia	6	140
Dan	<i>Dicksonia antarctica</i>	Soft Tree Fern	2	200
Dma	<i>Dracaena marginata</i>	Dracaena	6	200
Dre	<i>Dichondra repens</i>	Kidney Weed	56	140
Eni	<i>Eremophila nivea</i>	Native Fuchsia	31	140
Hcu	<i>Hibbertia cuneiformis</i>	Cut Leaf Guinea Flower	16	140
Hma	<i>Hydrangea macrophylla</i>	Hydrangea	2	200
Hgo	<i>Hymenosporum 'Gold Nugget'</i>	Dwarf Native Frangipani	40	140
Lli	<i>Lomandra 'Little Lime'</i>	Matt Rush	131	140
Llo	<i>Lomandra 'Lime Tuff'</i>	lily Turf	327	140
Llt	<i>Lomandra longifolia</i>	Matt Rush	24	140
Lsi	<i>Liriope 'Silver Lawn'</i>	Lily Turf	36	140
Mpa	<i>Myoporum parvifolium</i>	Creeping Boobialla	4	140

Nmo	Nandina 'Moonbay'	Dwarf Sacred Bamboo	6	200
Pli	Philodendron 'Little Phil'	Dwarf Philodendron	6	200
Pve	Plectranthus verticillus	Swedish Ivy	6	140
Pvi	Physostegia virginiana	Obedient Plant	2	140
Rco	Raphiolepis 'Cosmic White'	Indian Hawthorn	40	140
Spu	Scaevola 'Purple Dancer'	Fan Flower	149	140
Vhe	Viola hederaceae	Native Violet	20	140
Wst	Wahlenbergia stricta	Australian Bluebell	14	140
Total			1218	

Units 1-8



Refer to Landscape plan

Ground Floor

1 : 100

Area Schedule	
Name	Area

Carpport	35.26 m ²
Ground Floor Living	57.22 m ²
1st Floor	97.80 m ²
Balcony	8.00 m ²
Grand total	198.28 m²

Landscape Areas	
Name	Area

Courtyard Landscape	17.08 m ²
Front Landscape	18.30 m ²

- WC Door to be fitted with lift off hinges
- Stair & balustrade to comply with part 3.9.2.1 of BCA
- RWT Plumbed to WC & Laundry cold water tap

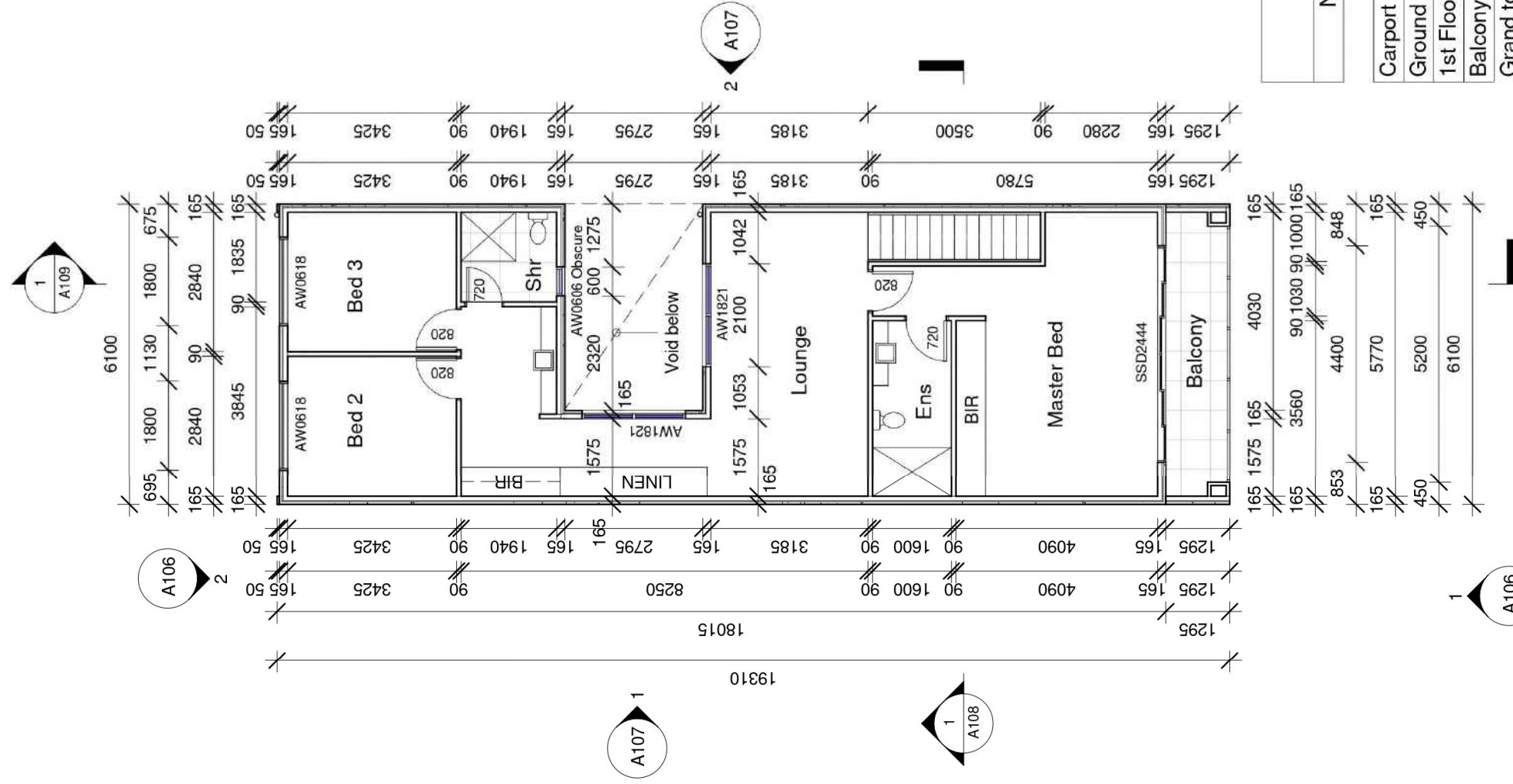


Mrs Tania Russell
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Revision Date: 17.08.21
 Scale: 1 : 100
 Sheet No.: A101

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Area Schedule	
Name	Area
Carport	35.26 m ²
Ground Floor Living	57.22 m ²
1st Floor	97.80 m ²
Balcony	8.00 m ²
Grand total	198.28 m²

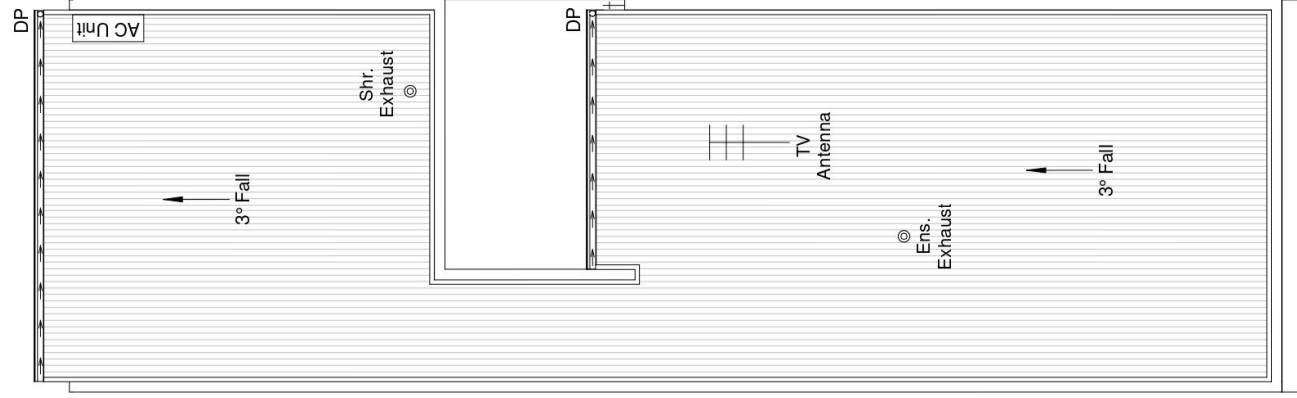
1st Floor
1 : 100



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Mrs Tania Russell
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Roof Plan

1 : 100

Mrs Tania Russell

5-9 Palmyra Ave, Torrensville

Palmyra Housing Development

Revision Date
17.08.21

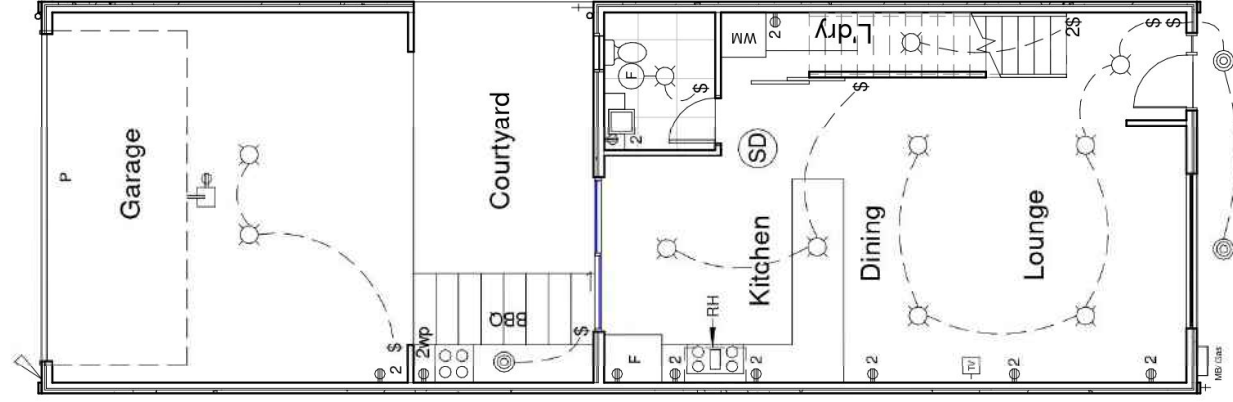
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A103

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Electrical Legend

- ⓈD Ceiling mounted smoke detector hard wired with battery back up
- ⊗ LED Downlight
- Ⓜ 240 volt power outlet
- 2Ⓜ 240 volt double power outlet
- \$ Wall switch
- Ⓢ Exhaust
- ⊙ External Downlight
- Ⓜ TV Point
- Ⓜ 240 volt double weather proof power outlet
- ⊗ Sensor light
- RH Rangehood
- MB/G Meter/ Gas box
- P Automated Panel Lift Door

Ground Floor Electrical Layout

1 : 100

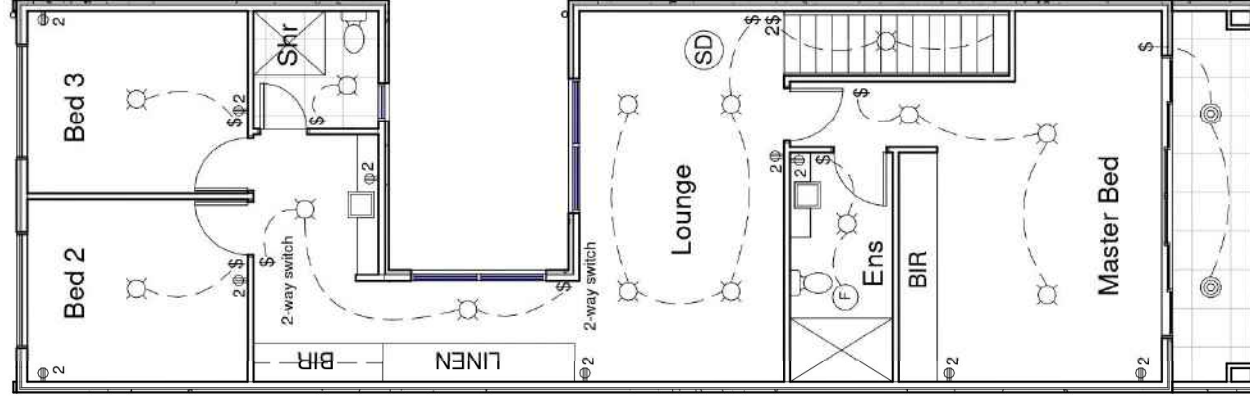
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 Sheet No.
 A104

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Electrical Legend

- ⓈD Ceiling mounted smoke detector hard wired with battery back up
- Ⓧ LED Downlight
- Ⓢ 240 volt power outlet
- 2Ⓢ 240 volt double power outlet
- Ⓢ Wall switch
- 2Ⓢ 2 Way Wall Switch
- Ⓢ External LED
- Ⓧ Exhaust

1st Floor Electrical Layout

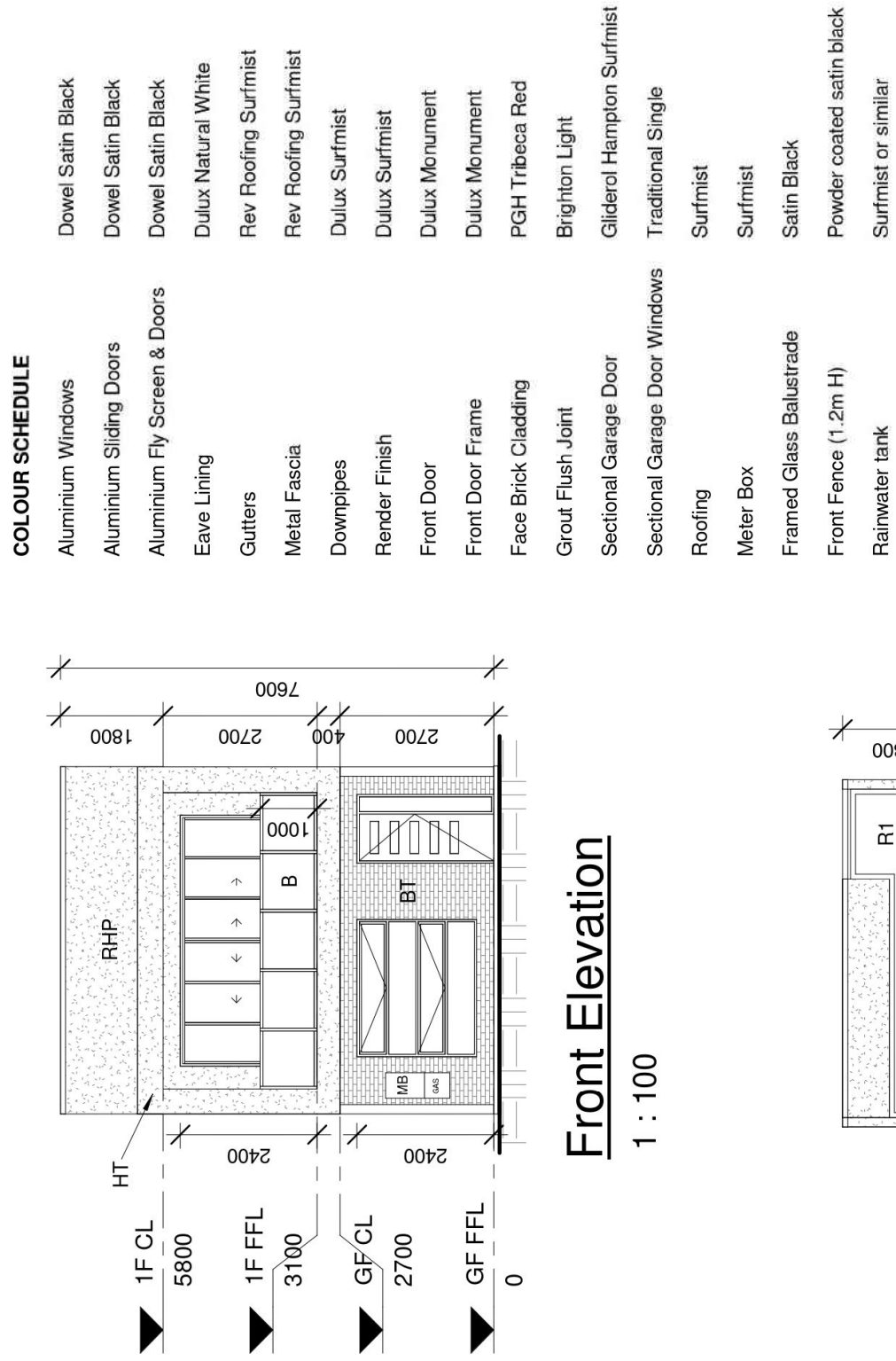
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Revision Date 17.08.21
 Scale 1 : 100
 Sheet No. A105

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COLOUR SCHEDULE

Aluminium Windows	Dowel Satin Black
Aluminium Sliding Doors	Dowel Satin Black
Aluminium Fly Screen & Doors	Dowel Satin Black
Eave Lining	Dulux Natural White
Gutters	Rev Roofing Surfmist
Metal Fascia	Rev Roofing Surfmist
Downpipes	Dulux Surfmist
Render Finish	Dulux Surfmist
Front Door	Dulux Monument
Front Door Frame	Dulux Monument
Face Brick Cladding	PGH Tribeca Red
Grout Flush Joint	Brighton Light
Sectional Garage Door	Gliderol Hampton Surfmist
Sectional Garage Door Windows	Traditional Single
Roofing	Surfmist
Meter Box	Surfmist
Framed Glass Balustrade	Satin Black
Front Fence (1.2m H)	Powder coated satin black
Rainwater tank	Surfmist or similar

LEGEND

RHP	Rendered 50mm Hebel Power Panel Cladding
M1	Scyon Stria Cladding
BT	Brick Tile Cladding (PGH Tribeca)
GD	2.4m x 5.2m Panel Lift Door
HT	Rendered Harditex Cladding
R1	Colourbond Roof @ 3° Pitch (min.)
B	1m H Glass Framed Balustrade
OB	Obscure Glazing

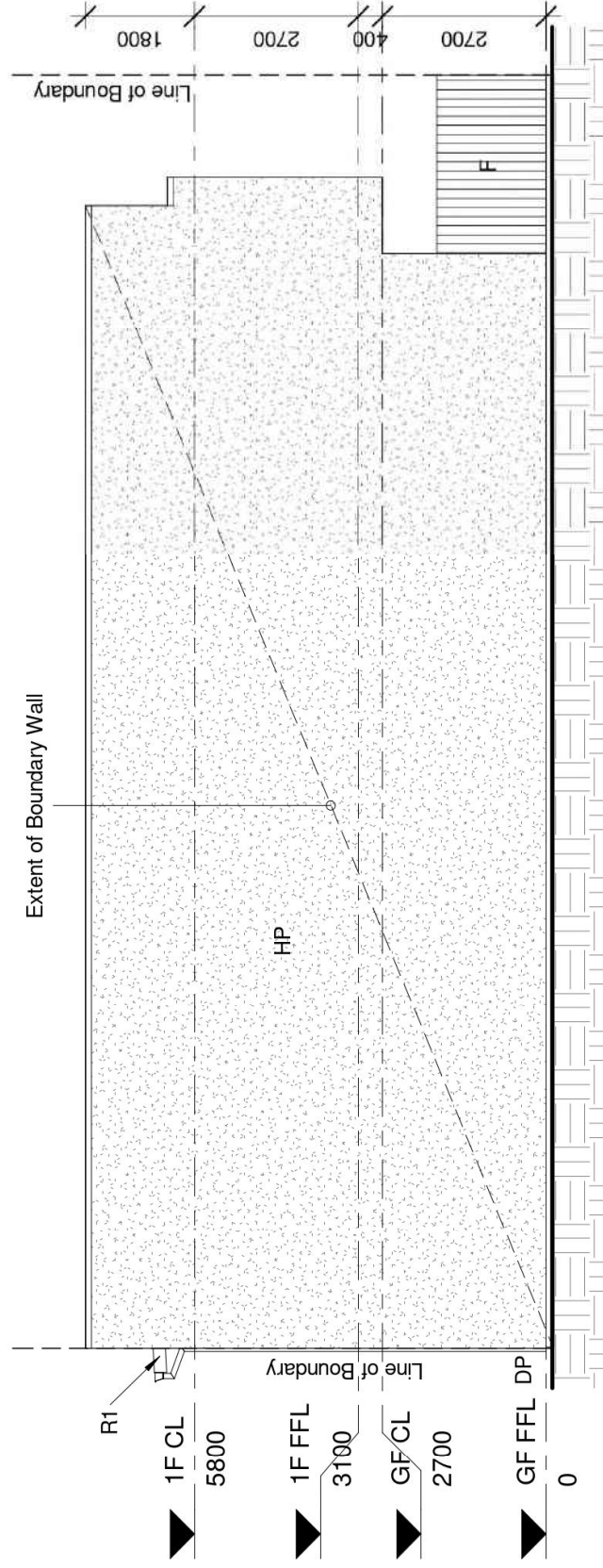


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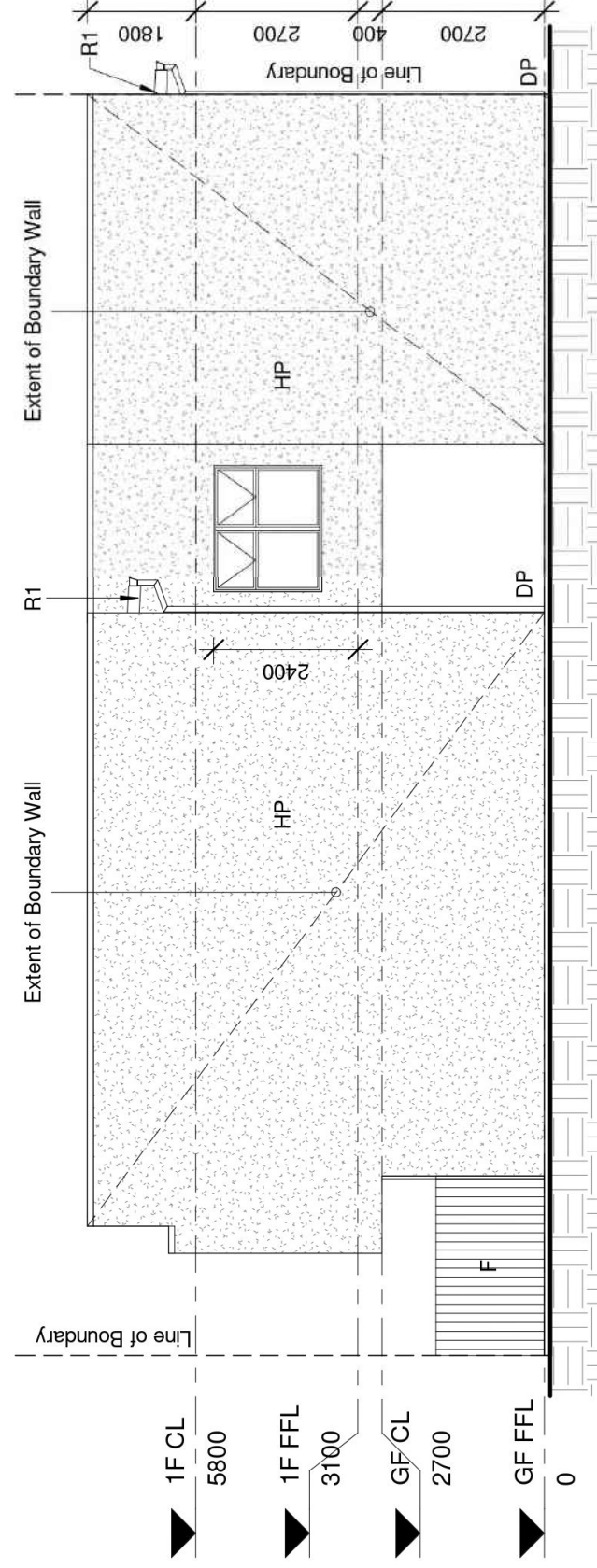
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Side Elevation 1

1 : 100



Side Elevation 2

1 : 100

COLOUR SCHEDULE

Aluminium Windows	Dowel Satin Black
Aluminium Sliding Doors	Dowel Satin Black
Aluminium Fly Screen & Doors	Dowel Satin Black
Eave Lining	Dulux Natural White
Gutters	Rev Roofing Surfmist
Metal Fascia	Rev Roofing Surfmist
Downpipes	Dulux Surfmist
Render Finish	Dulux Surfmist

COLOUR SCHEDULE

Front Door	Dulux Monument
Front Door Frame	Dulux Monument
Face Brick Cladding	PGH Tribeca Red
Grout Flush Joint	Brighton Light
Sectional Garage Door	Gliderol Hampton Surfmist
Sectional Garage Door Windows	Traditional Single
Roofing	Surfmist
Meter Box	Surfmist
Framed Glass Balustrade	Satin Black
Front Fence (1.2m H)	Powder coated satin black
Rainwater tank	Surfmist or similar

EXTERNAL FINISH SCHEDULE

RHP	Rendered 50mm Hebel Power Panel Cladding
F	1.8m H Good Neighbour Colorbond Internal parti fence. Colour: Woodland Grey or similar
R1	Colourbond Roof @ 3° Pitch
HP	50mm Hebel Power Panel Cladding

Mrs Tania Russell

5-9 Palmyra Ave, Torrensville

Palmyra Housing Development

Revision Date
17.08.21

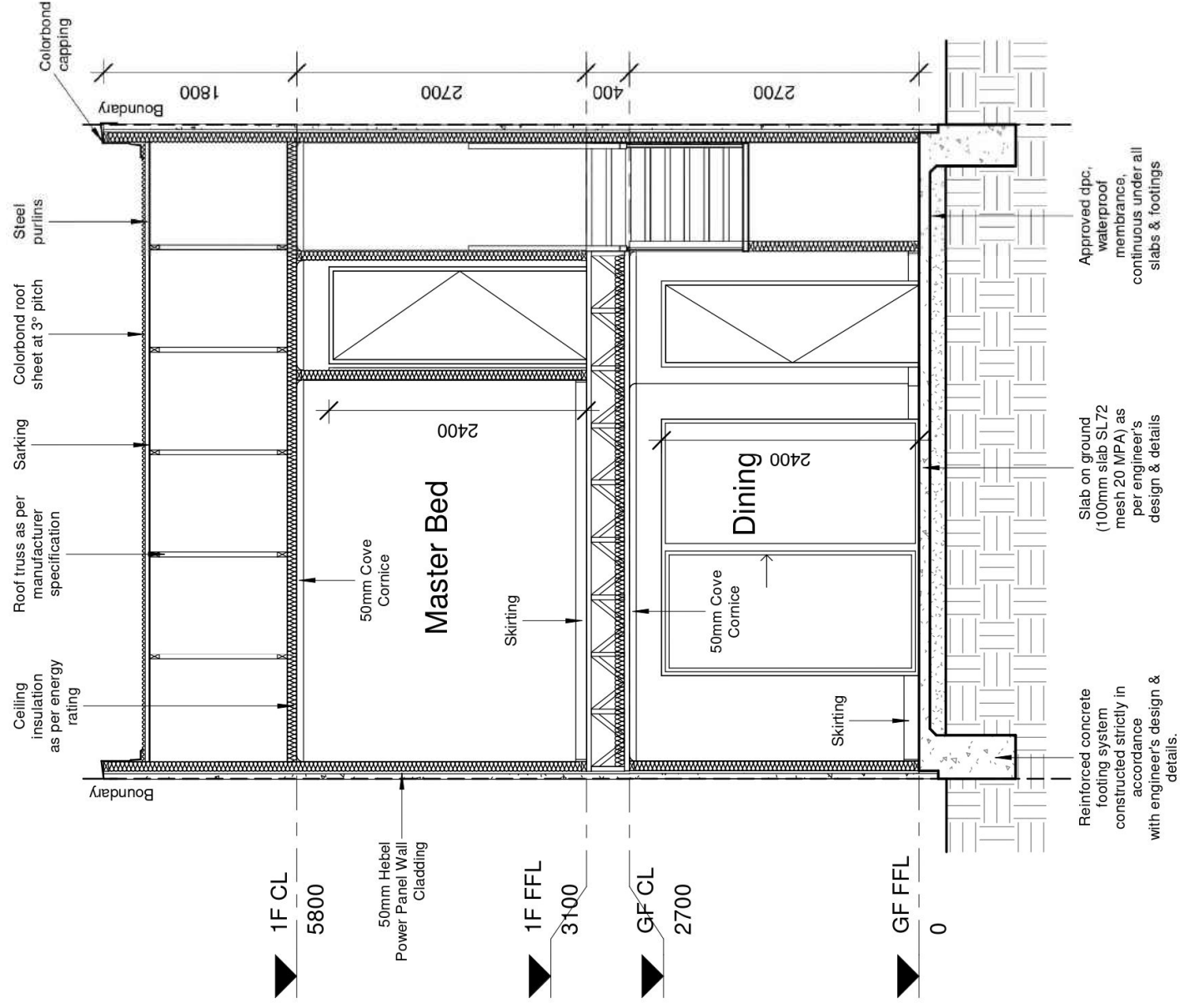
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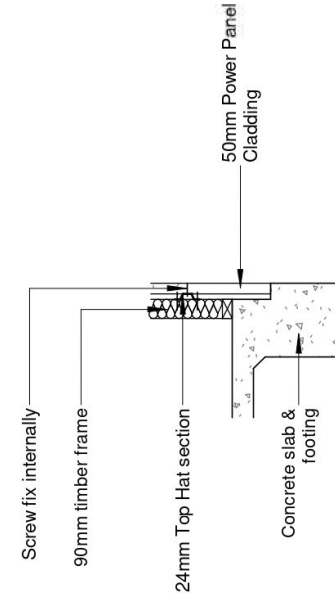
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Section 1
1 : 50



Boundary wall detail
1 : 30

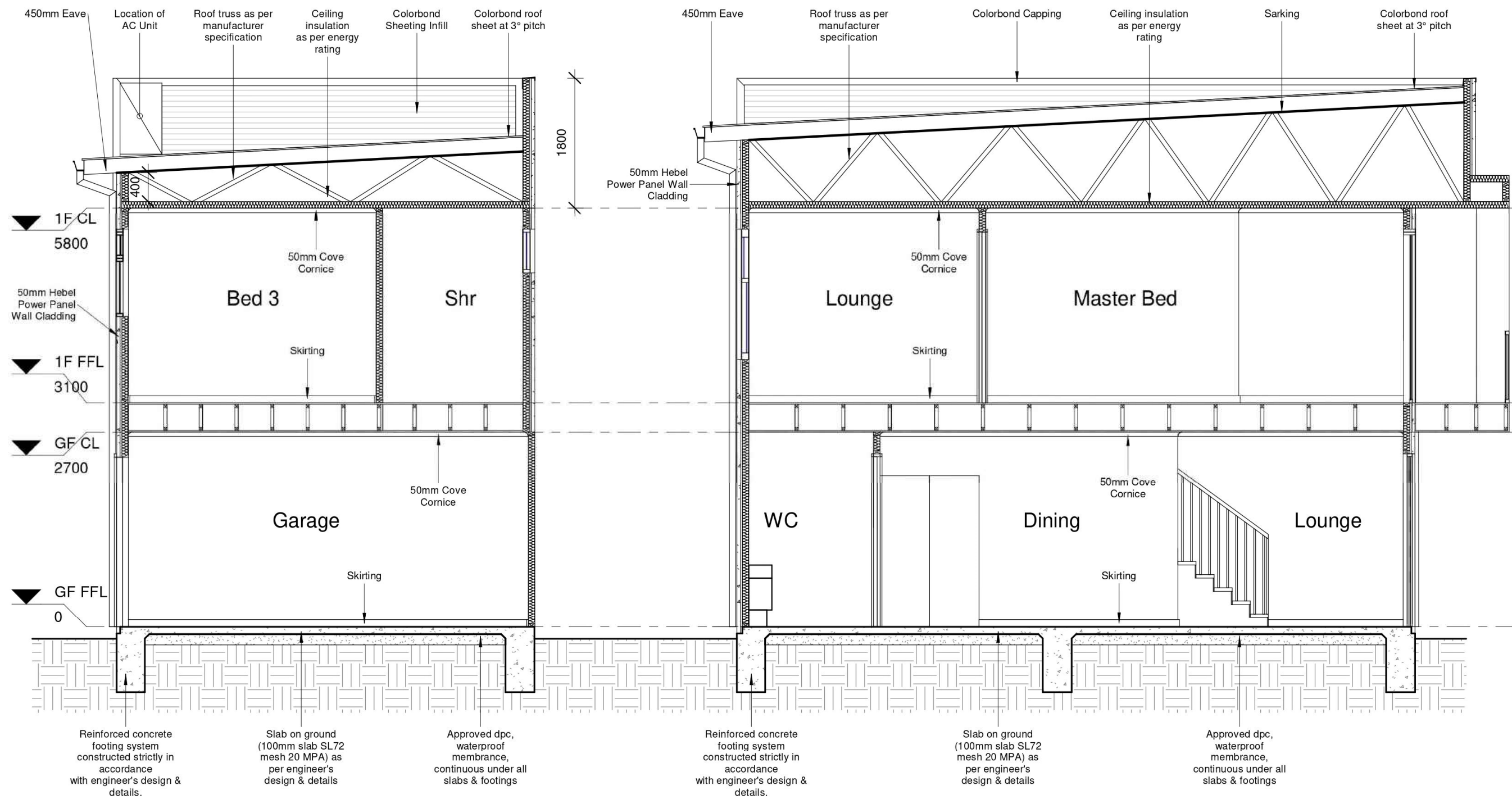
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Section 2

1 : 50

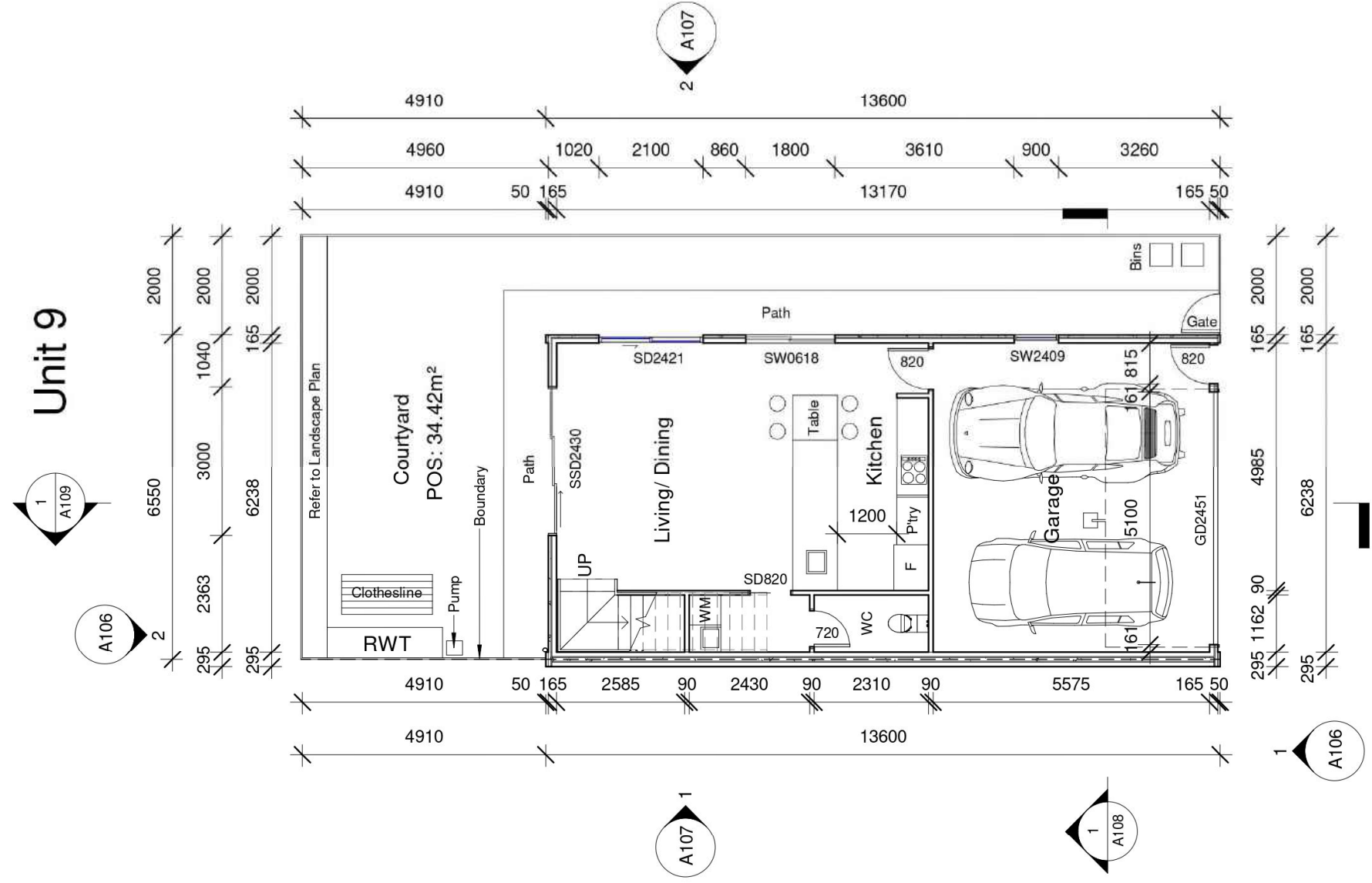
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 Sheet No.: A109

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Ground Floor

1 : 100

Area Schedule	
Name	Area

GF Living	50.83 m ²
Garage	37.60 m ²
1F Living	88.43 m ²
Balcony	3.60 m ²
Grand total	180.45 m²

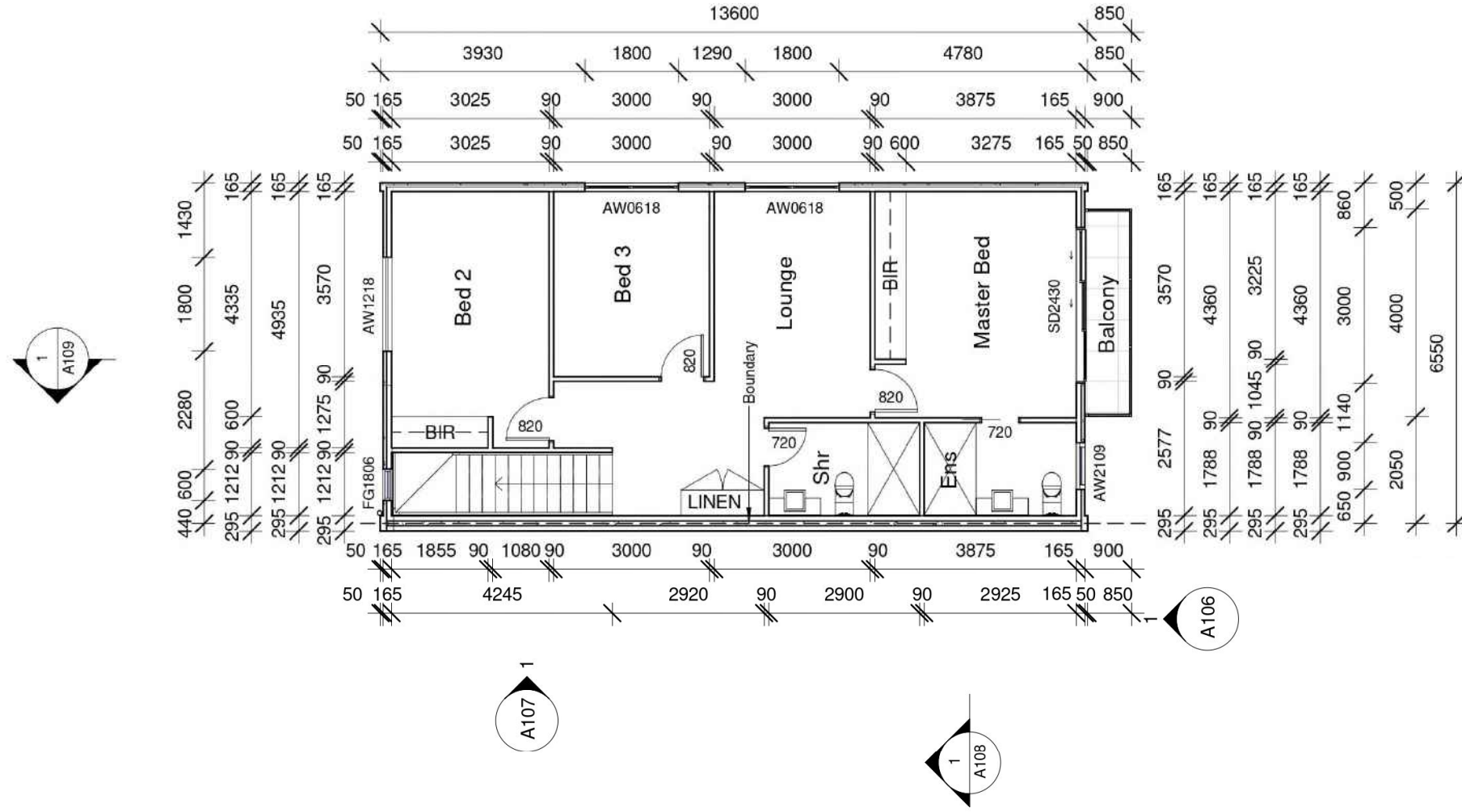
- WC Door to be fitted with lift off hinges
- Stair & balustrade to comply with part 3.9.2.1 of BCA



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Mrs Tania Russell
 5-9 Palmyra Ave, Torrensville
 Palmyra Housing Development



1st Floor
1 : 100

Area Schedule	
Name	Area

GF Living	50.83 m ²
Garage	37.60 m ²
1F Living	88.43 m ²
Balcony	3.60 m ²
Grand total	180.45 m²

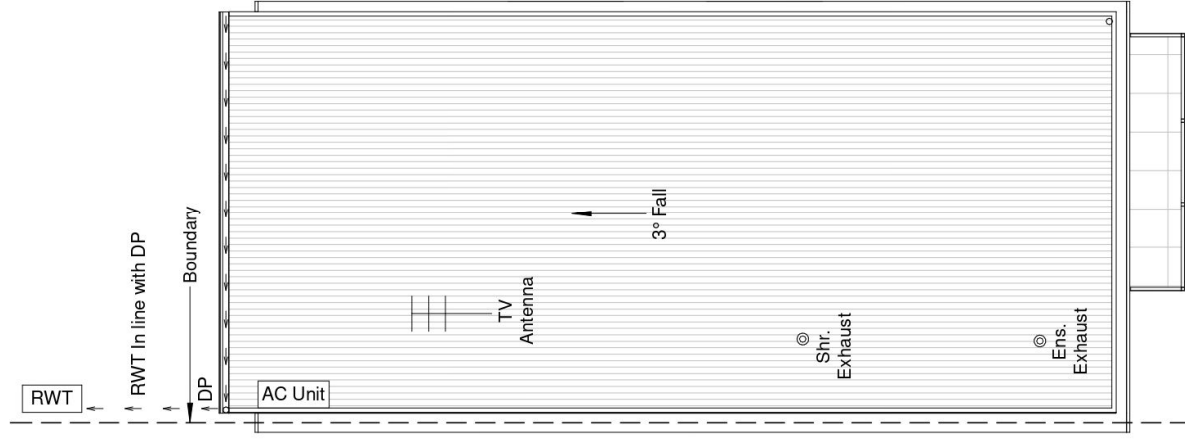
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Revision Date: 17.08.21
Scale: 1 : 100
Sheet No.: A102

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Roof Plan

1 : 100

Mrs Tania Russell

5-9 Palmyra Ave, Torrensville

Palmyra Housing Development

Revision Date
17.08.21

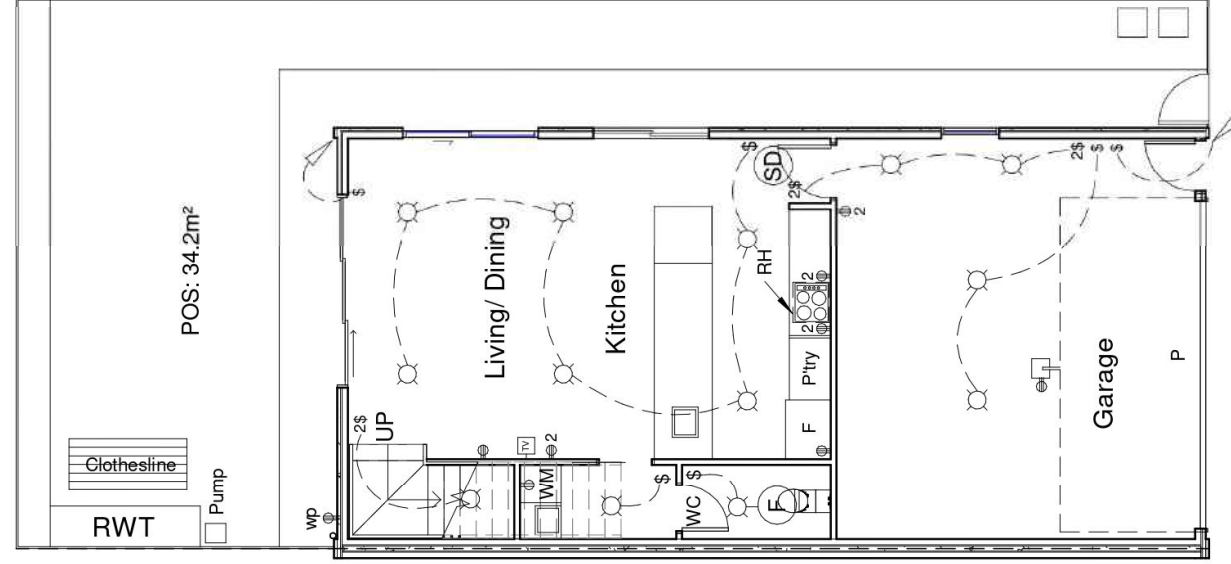
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Email: info@newcreationgroup.com.au





Electrical Legend

- (SD) Ceiling mounted smoke detector hard wired with battery back up
- ☒ LED Downlight
- ⊕ 240 volt power outlet
- 2⊕ 240 volt double power outlet
- \$ Wall switch
- (F) Exhaust
- TV TV Point
- wp 240 volt double weather proof power outlet
- P Automated Panel Lift Door
- RH Rangehood
- ☒ Sensor light

Ground Floor Electrical Layout

1 : 100

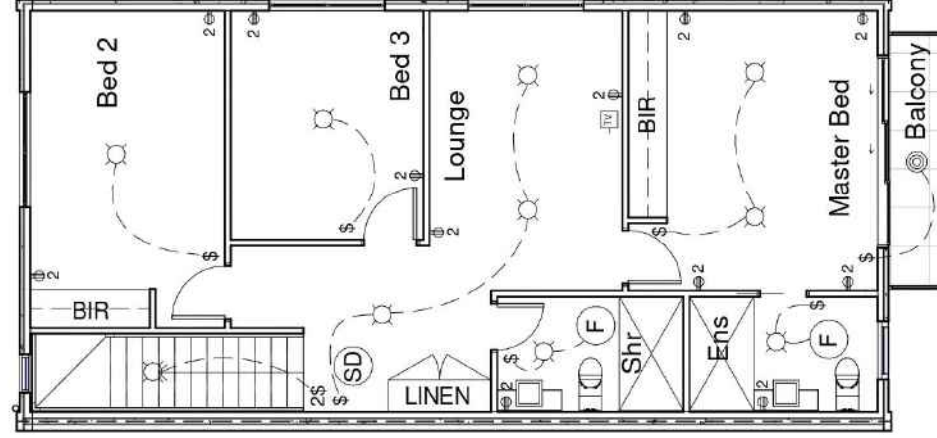
Mrs Tania Russell
 5-9 Palmyra Ave, Torrensville
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 309 North East Road, Hampstead Gardens
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 Fax: (08) 8367 5333
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Revision Date: 17.08.21
 Scale: 1 : 100
 Sheet No.: A104





Electrical Legend

- ⓈD Ceiling mounted smoke detector hard wired with battery back up
- ⊙ LED Downlight
- ⦿ 240 volt power outlet
- 2⦿ 240 volt double power outlet
- \$ Wall switch
- Ⓢ Exhaust fan

1st Floor Electrical Layout

1 : 100

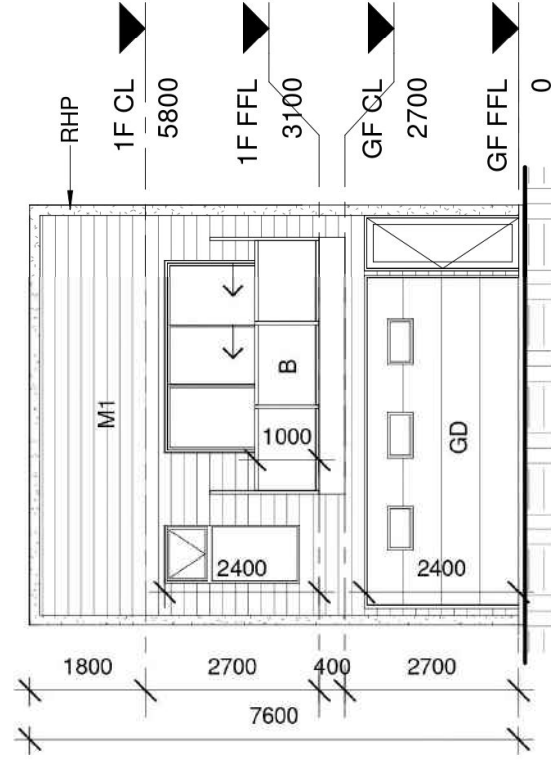
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 Sheet No.
 A105

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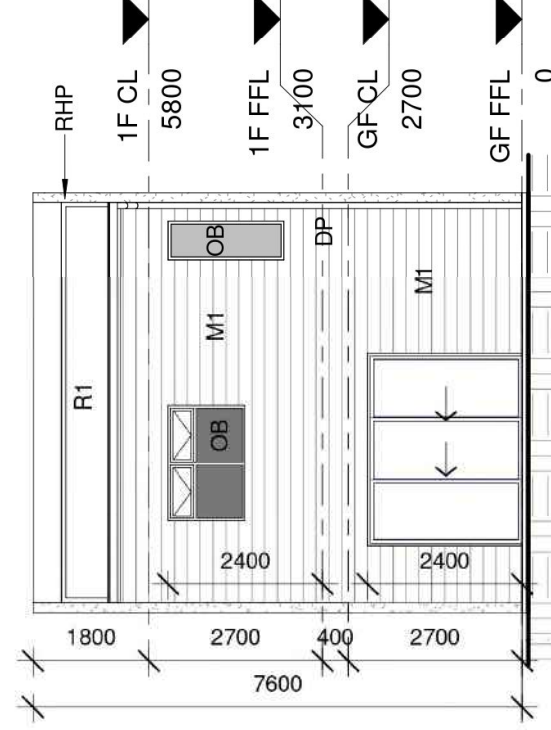
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Front Elevation

1 : 100



Rear Elevation

1 : 100

COLOUR SCHEDULE

Aluminium Windows	Dowel Satin Black
Aluminium Sliding Doors	Dowel Satin Black
Aluminium Fly Screen & Doors	Dowel Satin Black
Eave Lining	Dulux Natural White
Gutters	Rev Roofing Surfsmist
Metal Fascia	Rev Roofing Surfsmist
Downpipes	Dulux Surfsmist
Render Finish	Dulux Surfsmist
Front Door	Dulux Monument
Front Door Frame	Dulux Monument
Face Brick Cladding	PGH Tribeca Red
Grout Flush Joint	Brighton Light
Sectional Garage Door	Gliderol Hampton Surfsmist
Sectional Garage Door Windows	Traditional Single
Roofing	Surfmist
Meter Box	Surfmist
Framed Glass Balustrade	Satin Black
Front Fence (1.2m H)	Powder coated satin black
Rainwater tank	Surfmist or similar

EXTERNAL FINISH SCHEDULE

RHP	Rendered 50mm Hebel Power Panel Cladding
M1	Scyon Stria Cladding
GD	2.4m x 5.1m Panel Lift Door
DP	Downpipe
HP	50mm Hebel Power Panel Cladding

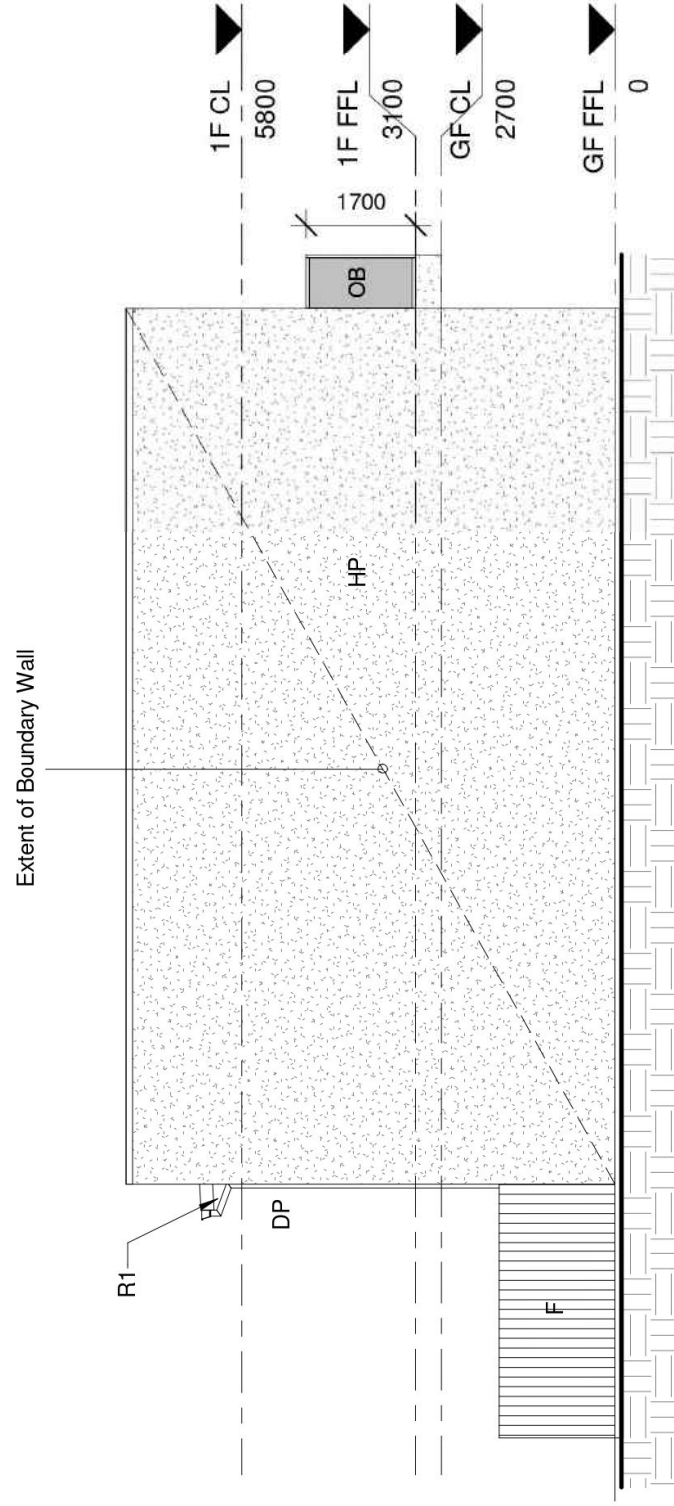
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 Sheet No.
 A106

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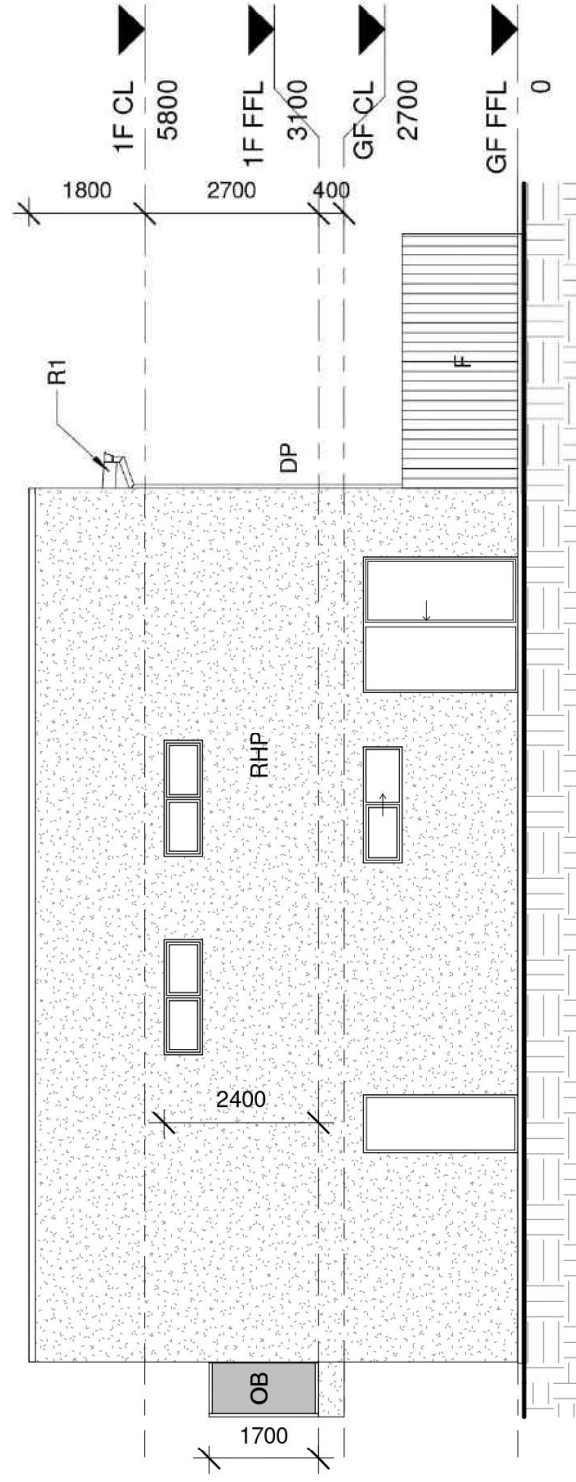
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Side Elevation 1

1 : 100



Side Elevation 2

1 : 100

COLOUR SCHEDULE	COLOUR SCHEDULE	EXTERNAL FINISH SCHEDULE
Aluminium Windows	Dowel Satin Black	RHP Rendered 50mm Hebel Power Panel Cladding
Aluminium Sliding Doors	Dowel Satin Black	OB Obscured Glazing
Aluminium Fly Screen & Doors	Dowel Satin Black	DP Downpipe
Eave Lining	Dulux Natural White	F 1.8m H Good Neighbour Colorbond Internal parti fence, Colour: Woodland Grey or similar
Gutters	Rev Roofing Surfmist	HP 50mm Hebel Power Panel Cladding
Metal Fascia	Rev Roofing Surfmist	
Downpipes	Dulux Surfmist	
Render Finish	Dulux Surfmist	
Front Door	Dulux Monument	
	Rainwater tank	

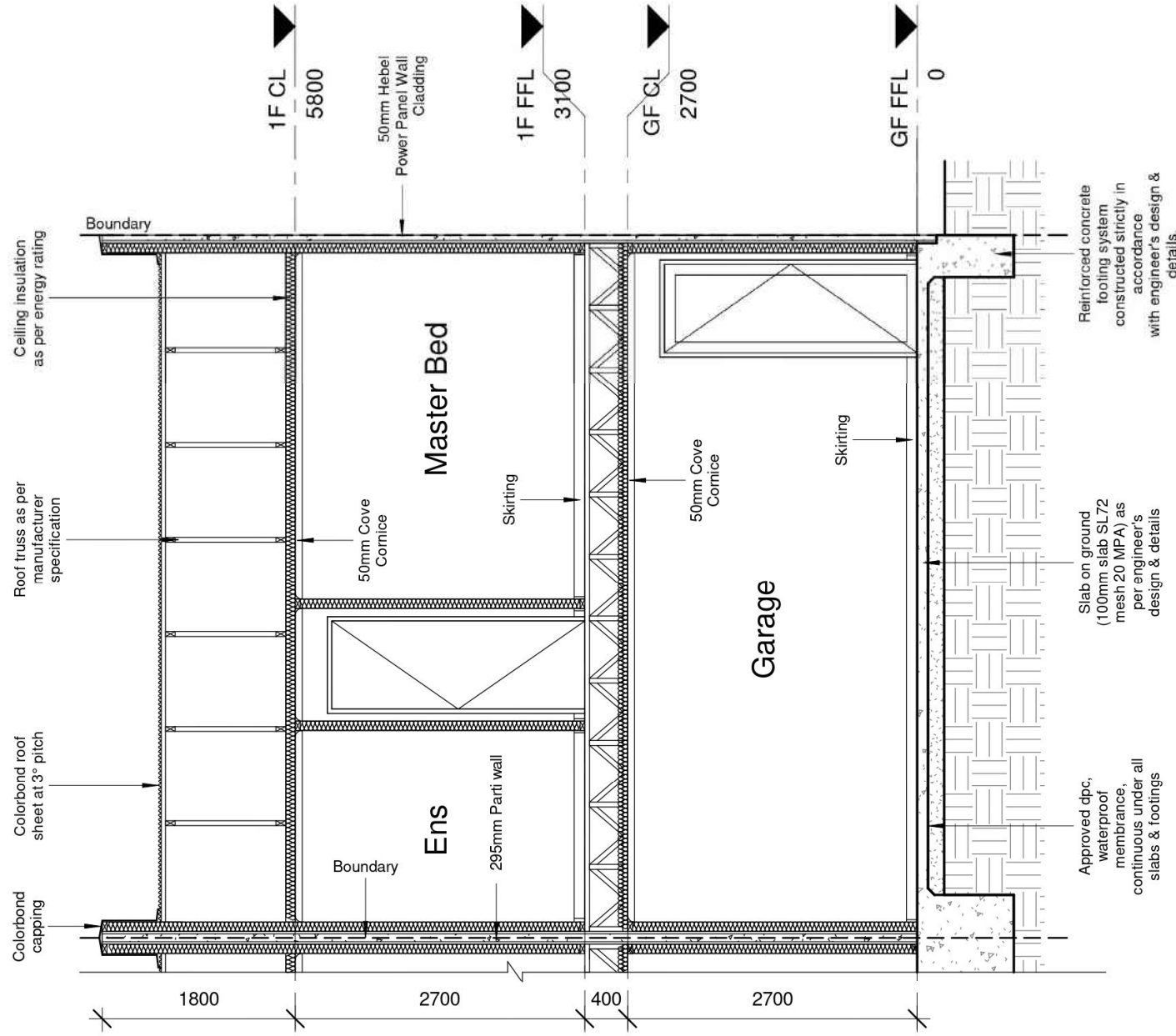
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 A107

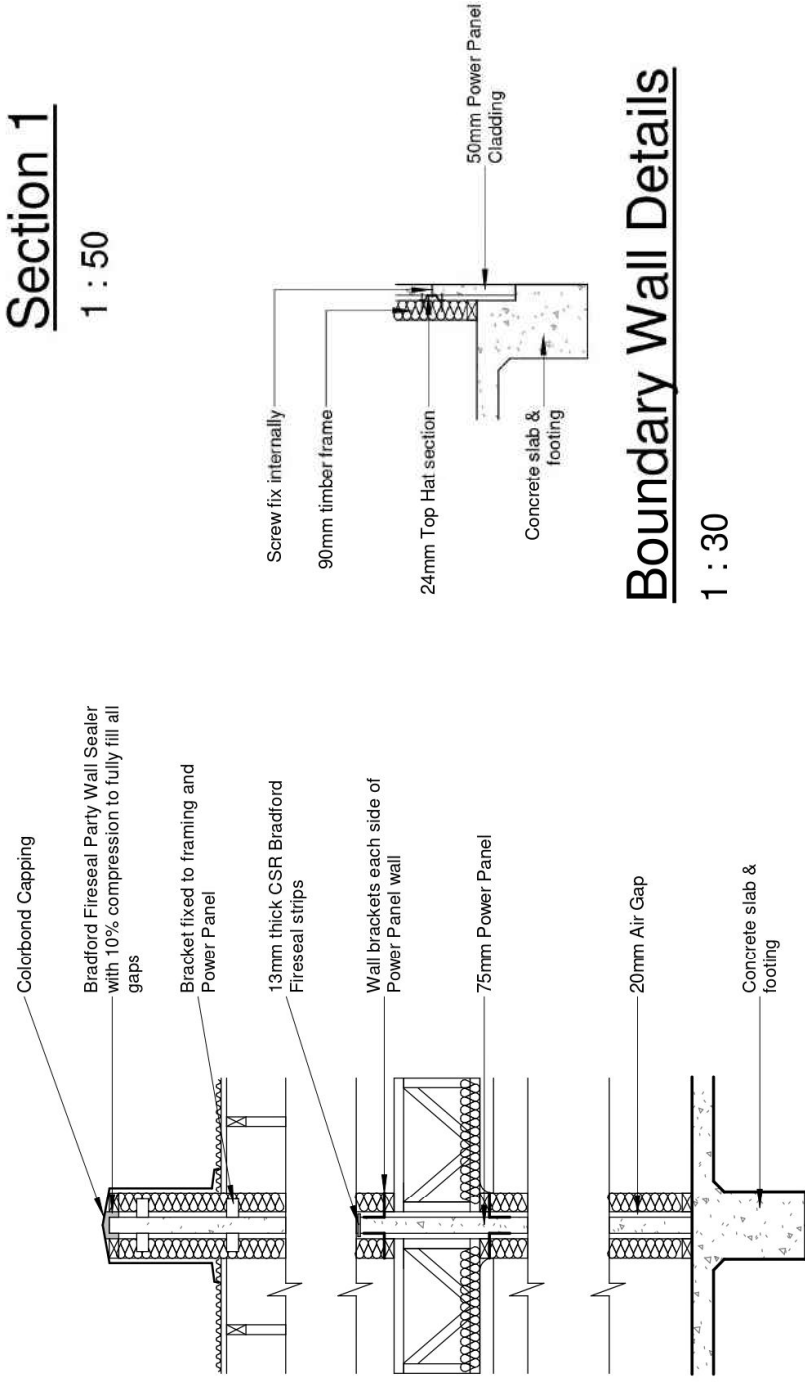
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Section 1
1 : 50



Parti Wall Details
1 : 30

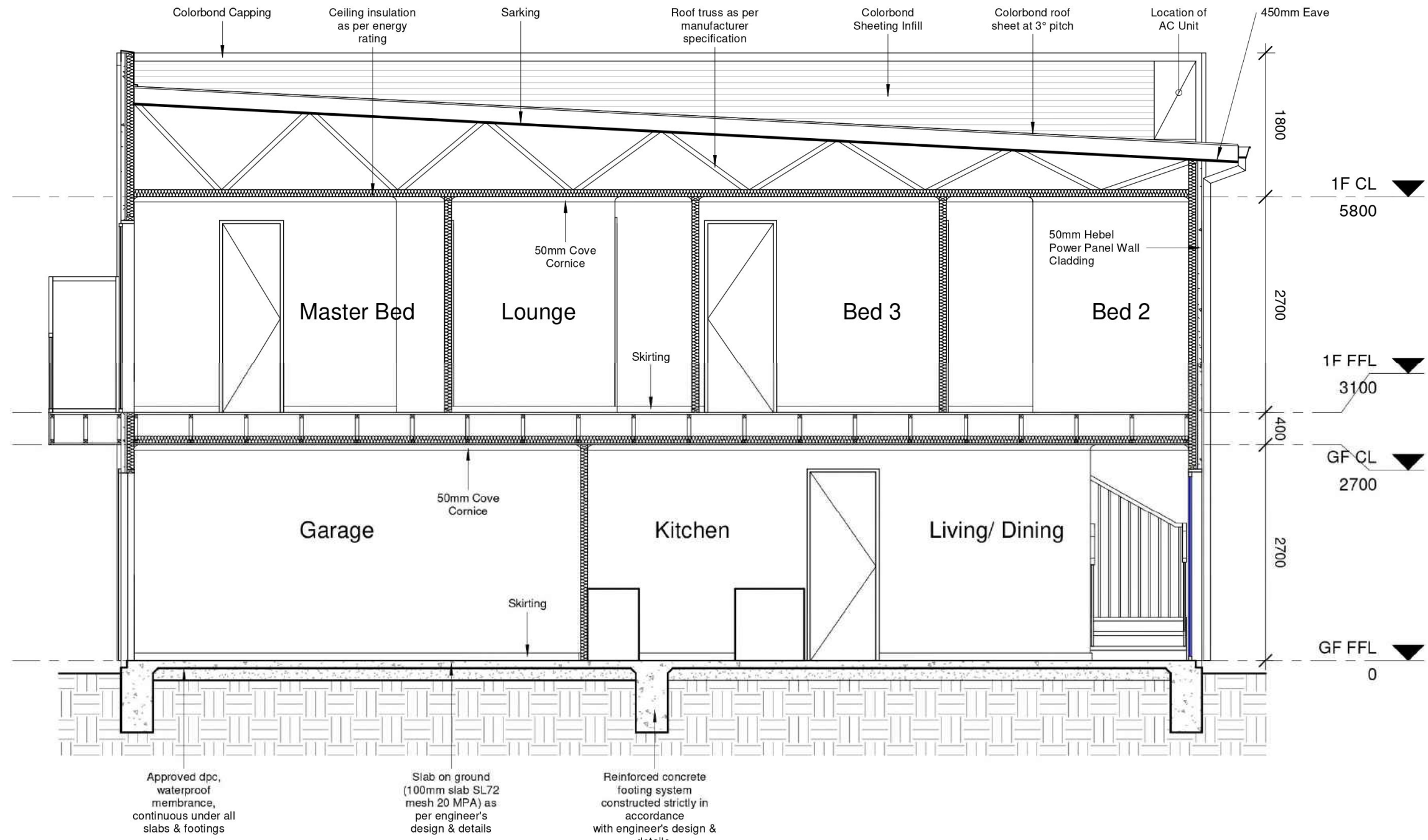
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Scale: As indicated
Sheet No.: A108

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Section 2

1 : 50

5-9 Palmyra Ave, Torrensville
Palmyra Housing Development

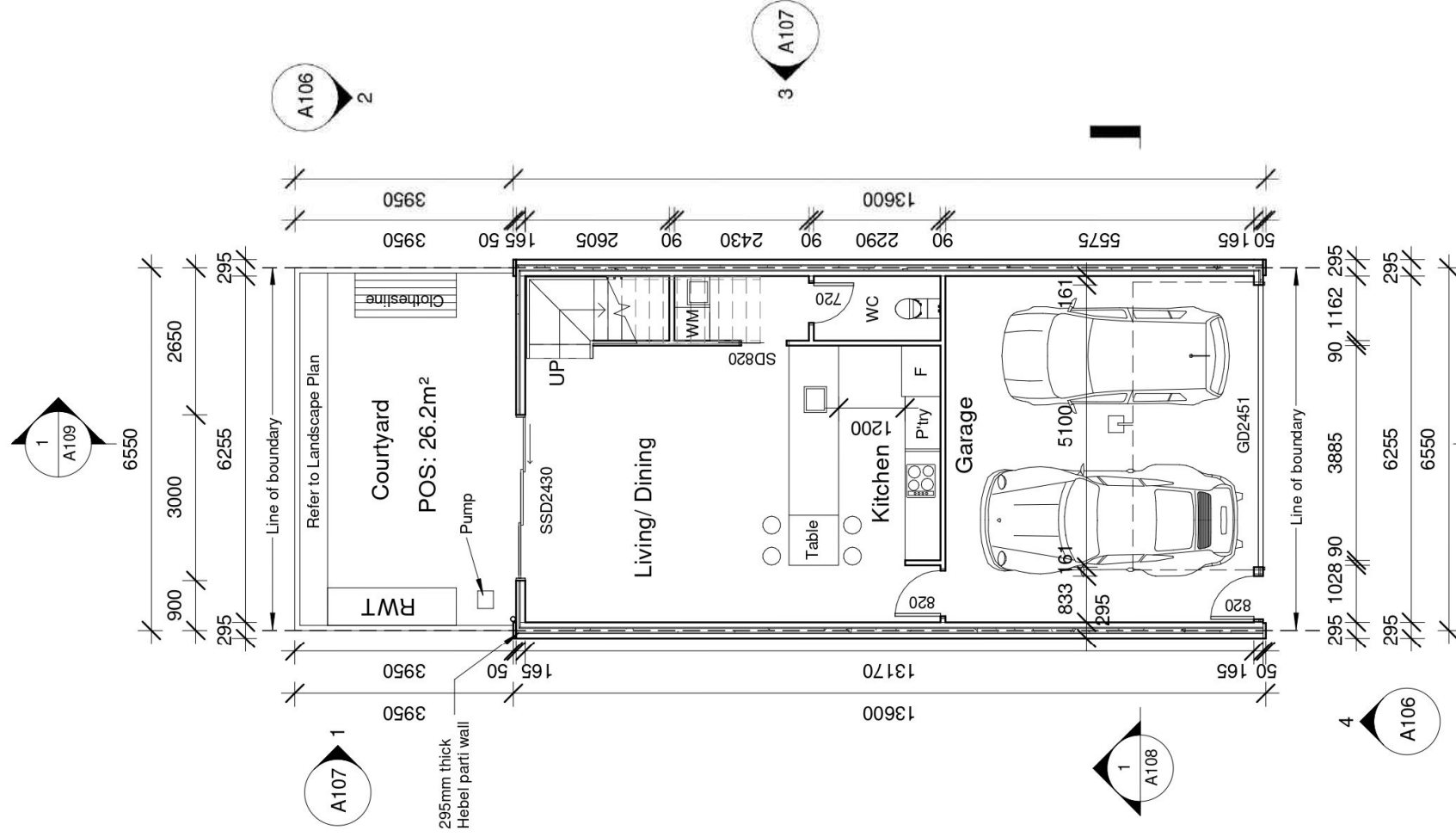
Revision Date
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1 : 50
Sheet No.
A109

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Units 10, 13-16



Ground Floor

1 : 100

- WC Door to be fitted with lift off hinges
- Stair & balustrade to comply with part 3.9.2.1 of BCA
- RWT to be plumbed to WC & laundry cold tap

Area Schedule	
Name	Area
GF Living	50.83 m ²
Garage	37.60 m ²
1F Living	88.43 m ²
Balcony	3.60 m ²
Grand total	180.45 m²

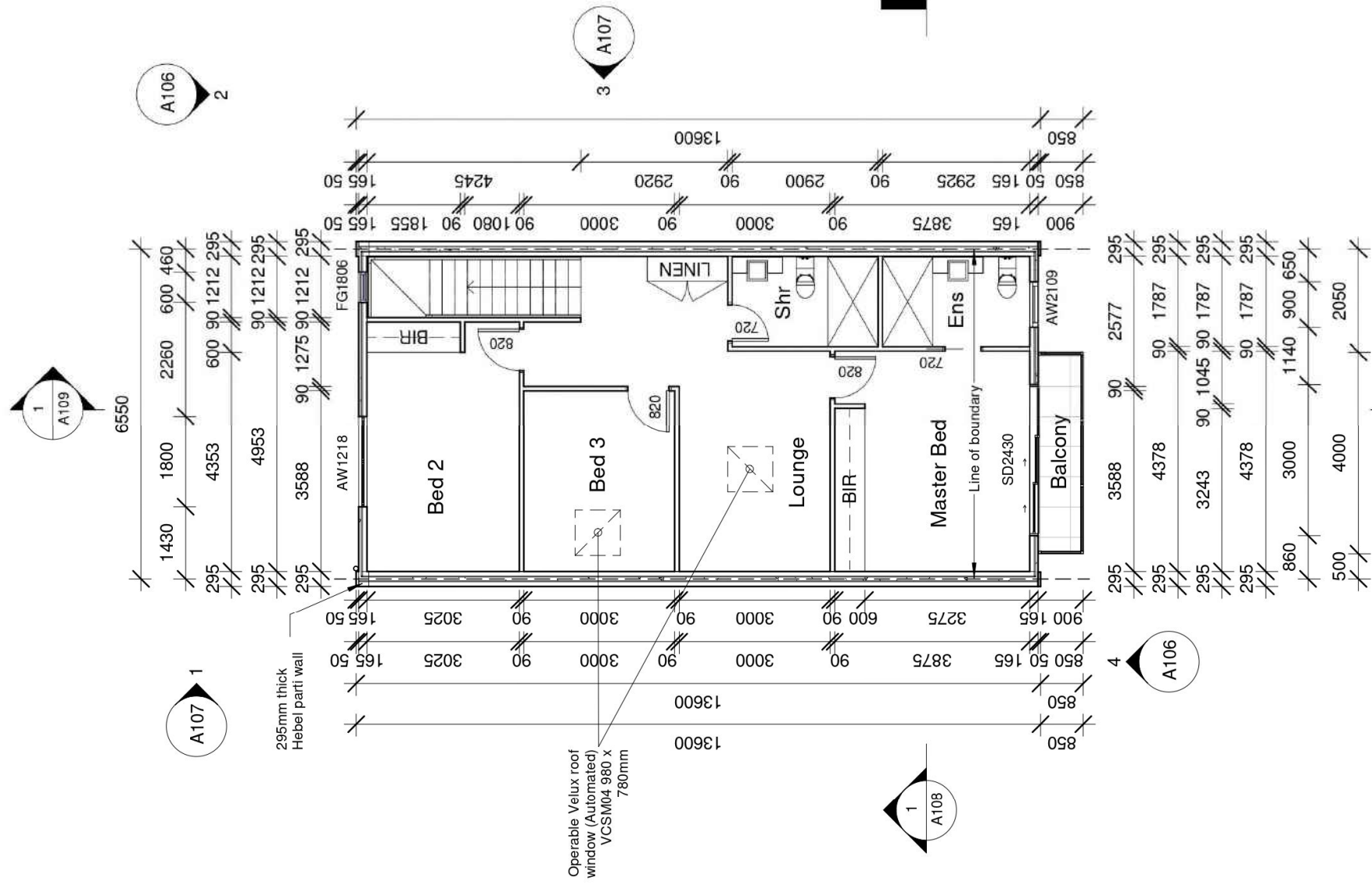
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Revision Date: 17.08.21
 Scale: 1 : 100
 Sheet No.: A101

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1st Floor
1 : 100

Area Schedule	
Name	Area

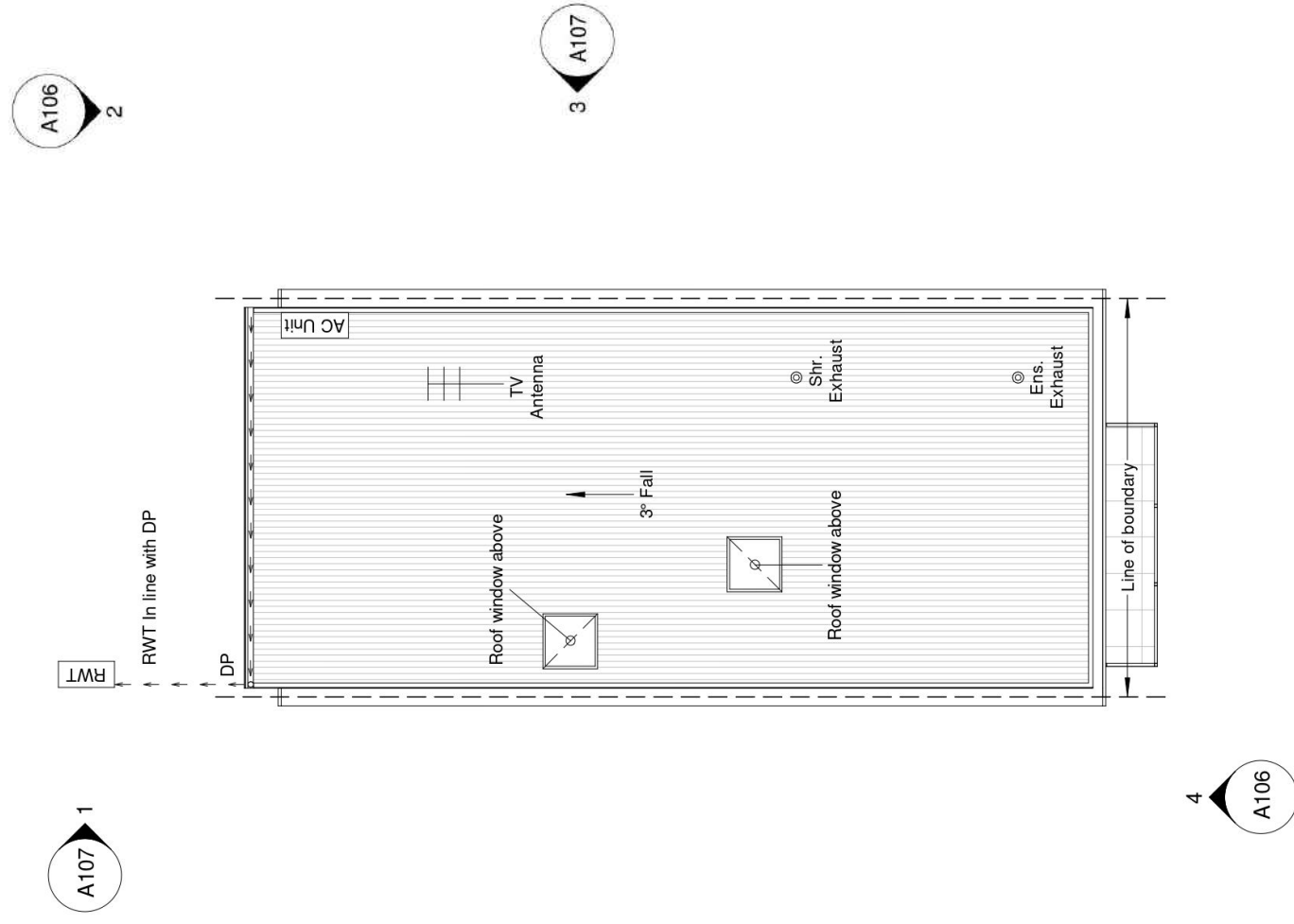
GF Living	50.83 m ²
Garage	37.60 m ²
1F Living	88.43 m ²
Balcony	3.60 m ²
Grand total	180.45 m²



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Roof Plan

1 : 100

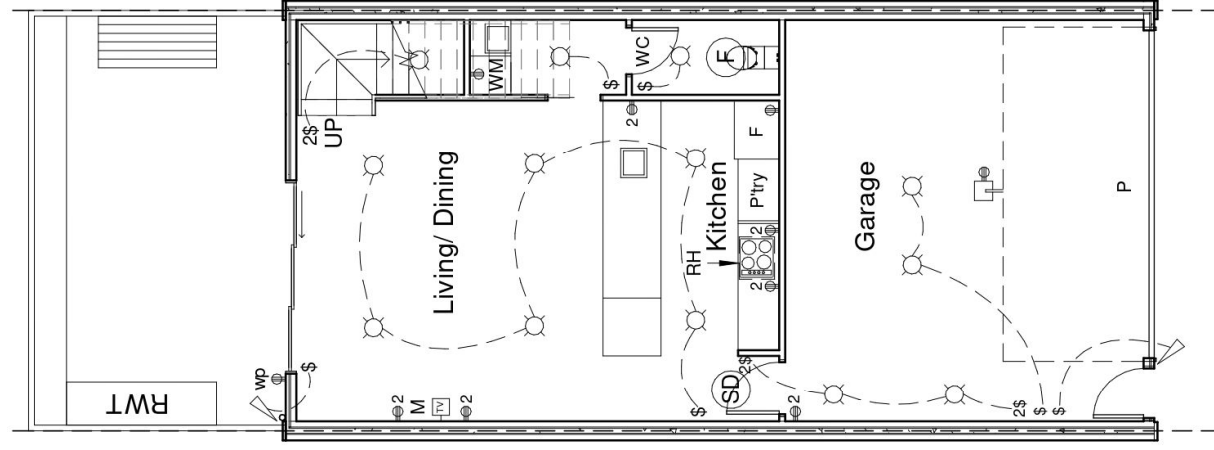
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 Sheet No.
 A103

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Electrical Legend

- ⊗ Ceiling mounted smoke detector hard wired with battery back up
- ⊗ LED downlight
- 2@ 240 volt power outlet
- 2@ 240 volt double power outlet
- \$ Wall switch
- 2\$ 2 Way wall switch
- (F) Exhaust
- M Modem
- TV TV Point
- wp 240 volt double weather proof power outlet
- ⊗ Sensor light
- RH Rangehood
- P Automated Panel Lift Door

Ground Floor Electrical Layout

1 : 100

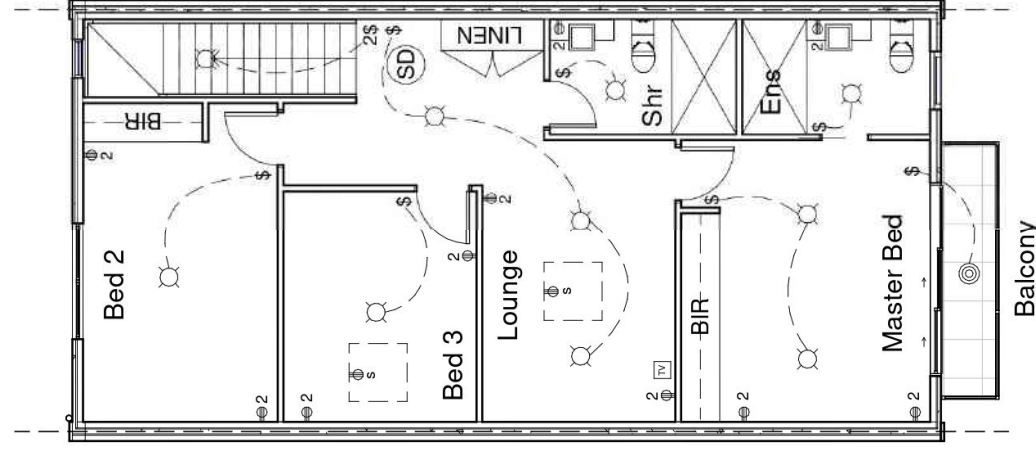
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Electrical Legend

- Ⓢ Ceiling mounted smoke detector hard wired with battery back up
- Ⓛ LED Downlight
- Ⓜ 240 volt power outlet
- 2Ⓜ 240 volt double power outlet
- \$ Wall switch
- Ⓢ Power to skylights
- Ⓞ External LED Downlight

1st Floor Electrical Layout

1 : 100

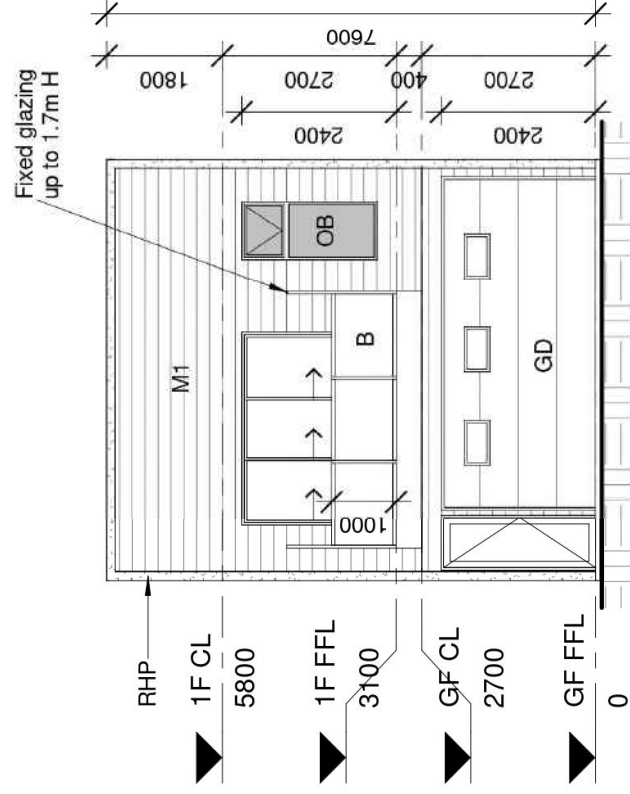
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 Sheet No.
 A105

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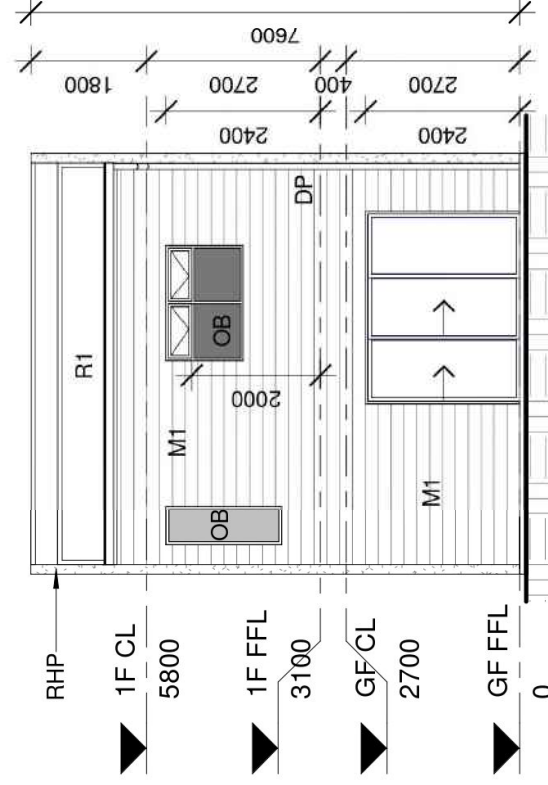
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Front Elevation

1 : 100



Rear Elevation

1 : 100

COLOUR SCHEDULE

Aluminium Windows	Dowel Satin Black
Aluminium Sliding Doors	Dowel Satin Black
Aluminium Fly Screen & Doors	Dowel Satin Black
Eave Lining	Dulux Natural White
Gutters	Rev Roofing Surfmist
Metal Fascia	Rev Roofing Surfmist
Downpipes	Dulux Surfmist
Render Finish	Dulux Surfmist
Front Door	Dulux Monument
Front Door Frame	Dulux Monument
Face Brick Cladding	PGH Tribeca Red
Grout Flush Joint	Brighton Light
Sectional Garage Door	Gliderol Hampton Surfmist
Sectional Garage Door Windows	Traditional Single
Roofing	Surfmist
Meter Box	Surfmist
Framed Glass Balustrade	Satin Black
Front Fence (1.2m H)	Powder coated satin black
Rainwater tank	Surfmist or similar

EXTERNAL FINISH SCHEDULE

RHP	Rendered 50mm Hebel Power Panel Cladding
M1	Scyon Stria Cladding
GD	2.4m x 5.1m Panel Lift Door
R1	Colorbond Roof @ 3° Pitch
OB	Obscure Glazing

Mrs Tania Russell

5-9 Palmyra Ave, Torrensville

Palmyra Housing Development

Revision Date

17.08.21

Scale

As Indicated

Sheet No.

A106

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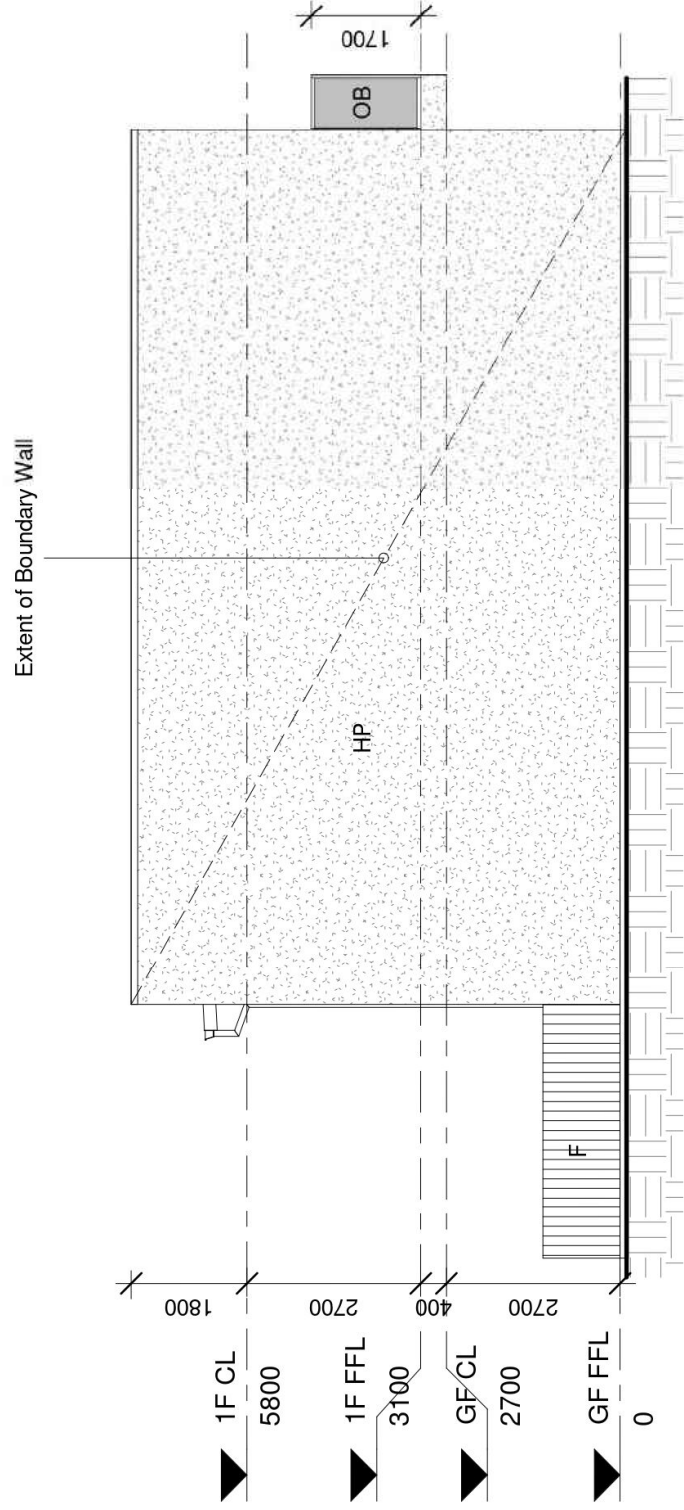
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Fax: (08) 8367 5333

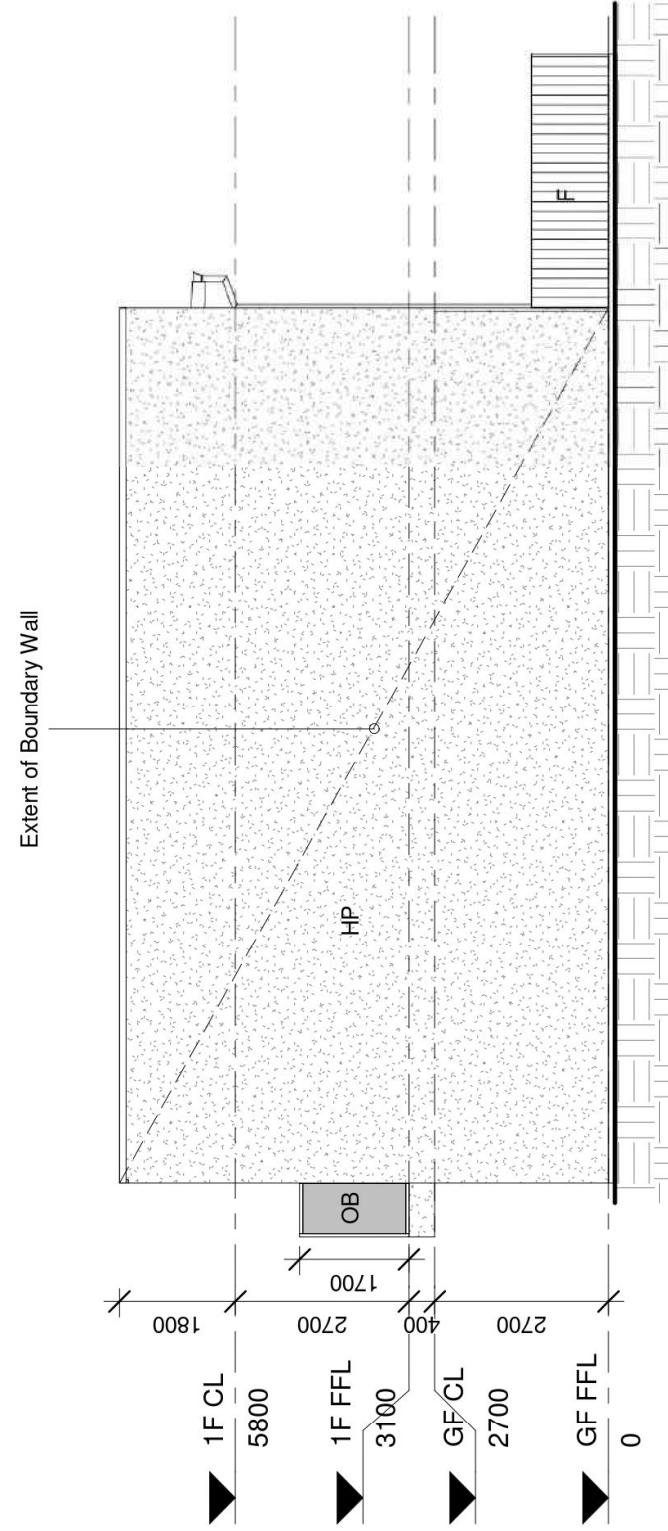
Email: info@newcreationgroup.com.au





Side Elevation 1

1 : 100



Side Elevation 2

1 : 100

EXTERNAL FINISH SCHEDULE

- HP 50mm Hebel Power Panel Cladding
- OB Obscured Glazing
- F 1.8m H Good Neighbour Colorbond Internal parti fence. Colour: Woodland Grey or similar

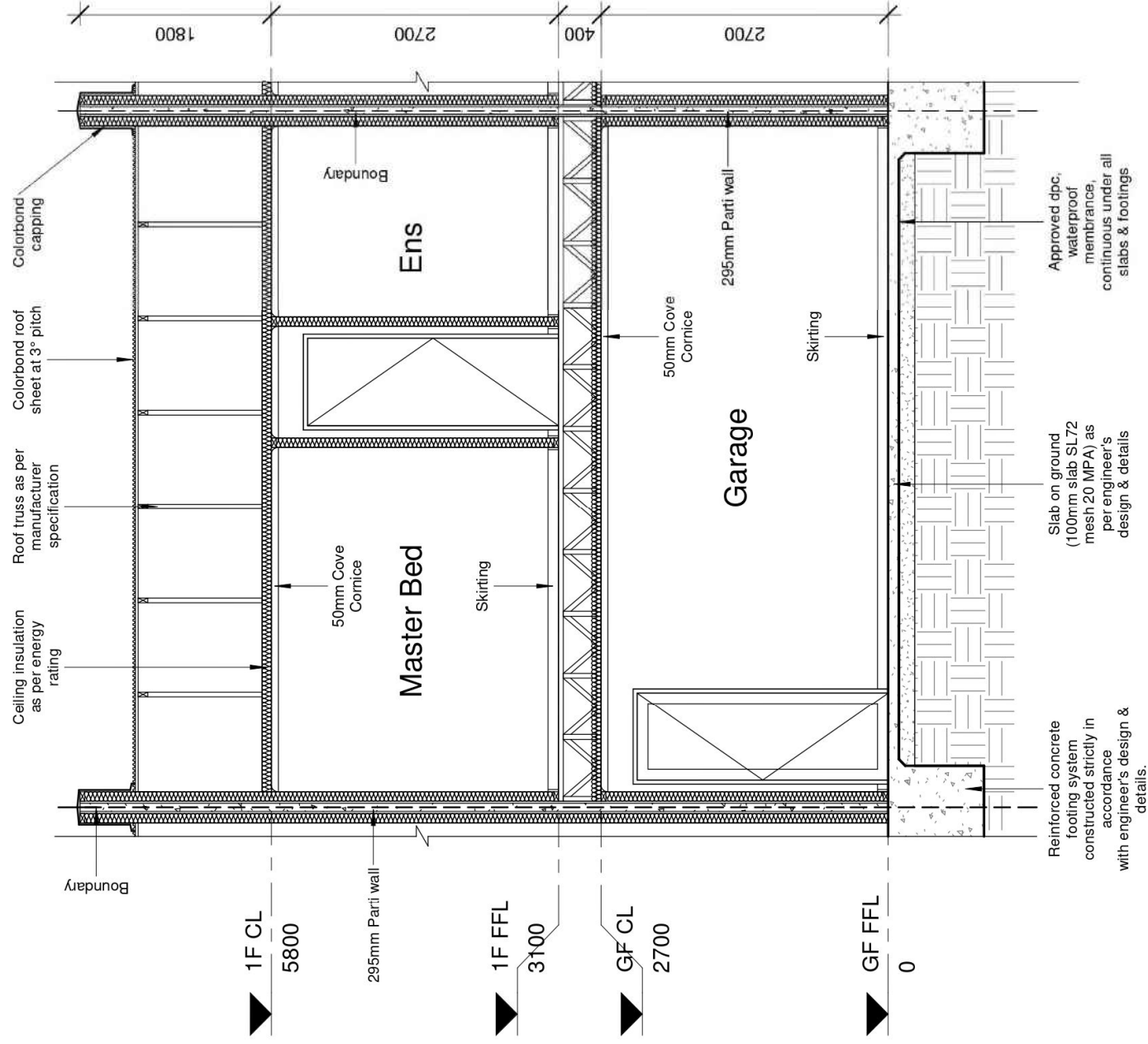
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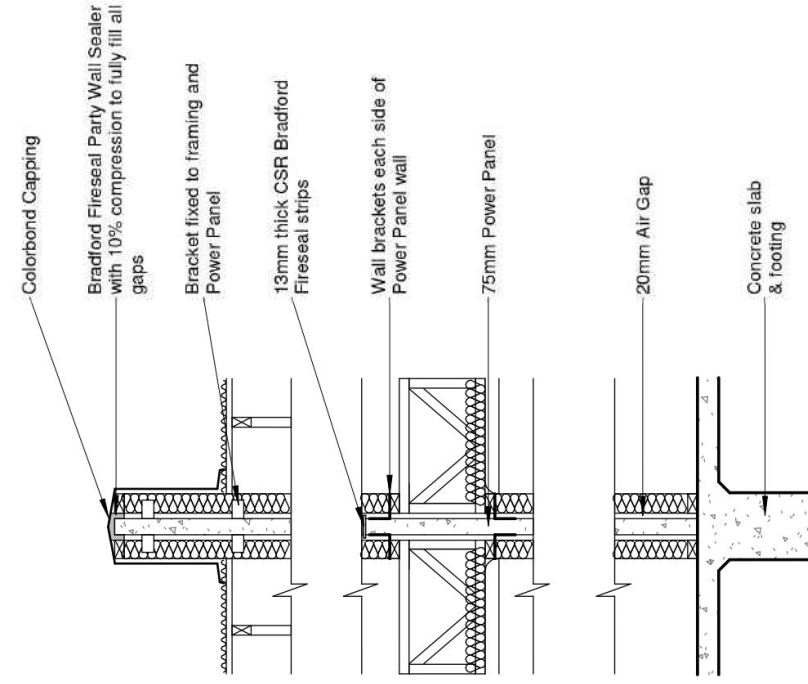
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Section 1

1 : 50



Parti Wall Details

1 : 30

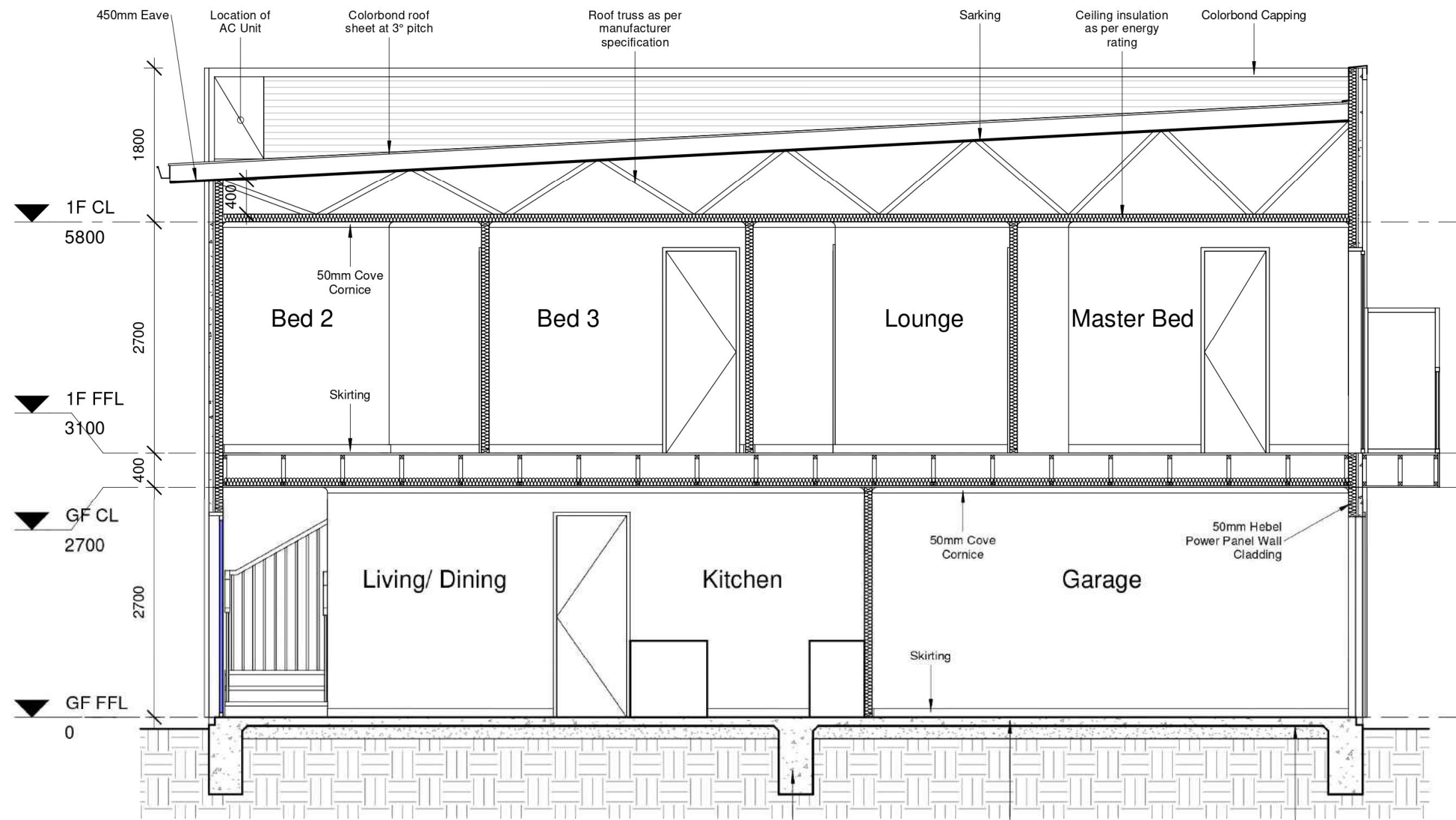
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Section 2

1 : 50

Reinforced concrete footing system constructed strictly in accordance with engineer's design & details.

Slab on ground (100mm slab SL72 mesh 20 MPA) as per engineer's design & details

Approved dpc, waterproof membrane, continuous under all slabs & footings

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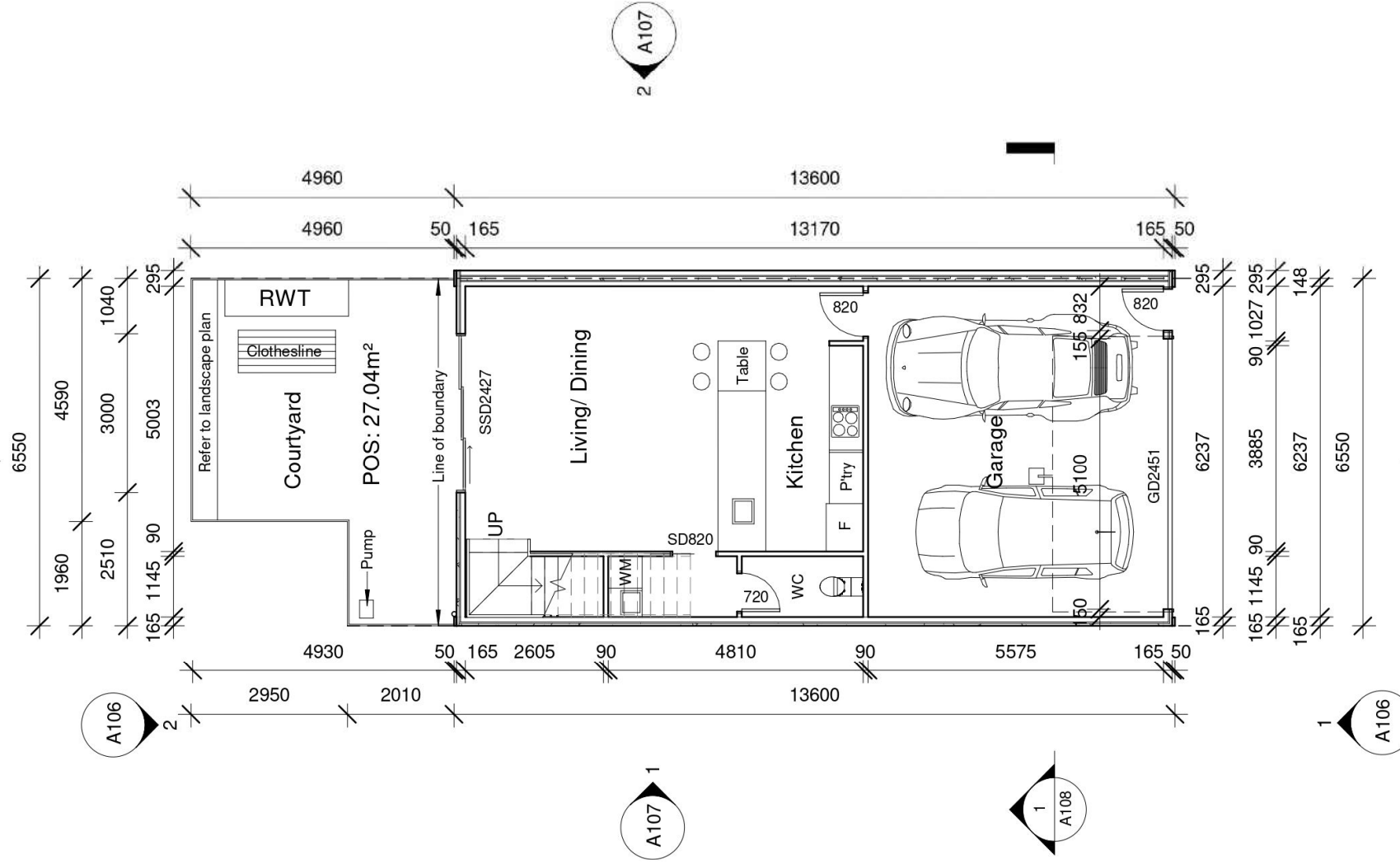
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Unit 11



Ground Floor

1 : 100

Area Schedule	
Name	Area

GF Living	50.53 m ²
Garage	37.90 m ²
1F Living	88.43 m ²
Balcony	3.60 m ²
Grand total	180.46 m²

- WC Door to be fitted with lift off hinges
- Stair & balustrade to comply with part 3.9.2.1 of BCA
- RWT plumbed to WC & laundry cold tap

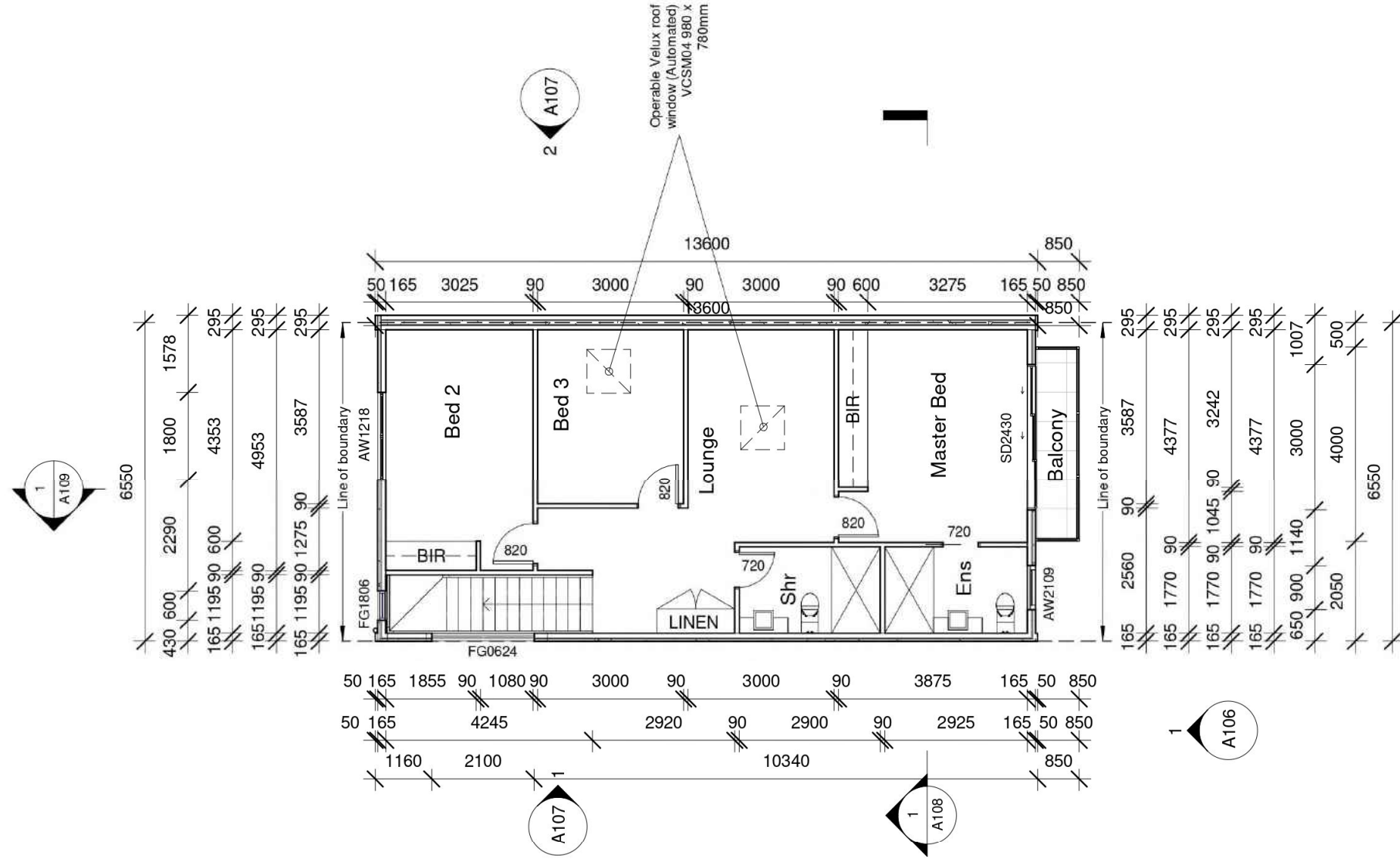
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1st Floor

1 : 100

Area Schedule	
Name	Area

GF Living	50.53 m ²
Garage	37.90 m ²
1F Living	88.43 m ²
Balcony	3.60 m ²
Grand total	180.46 m²

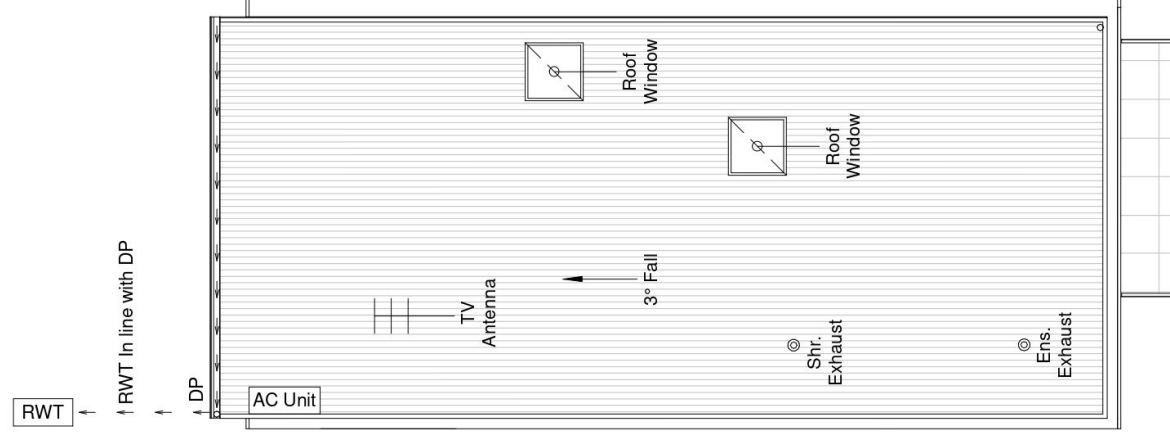
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Roof Plan

1 : 100

Mrs Tania Russell

5-9 Palmyra Ave, Torrensville

Palmyra Housing Development

Revision Date
17.08.21

Scale
1 : 100

Sheet No.
A103

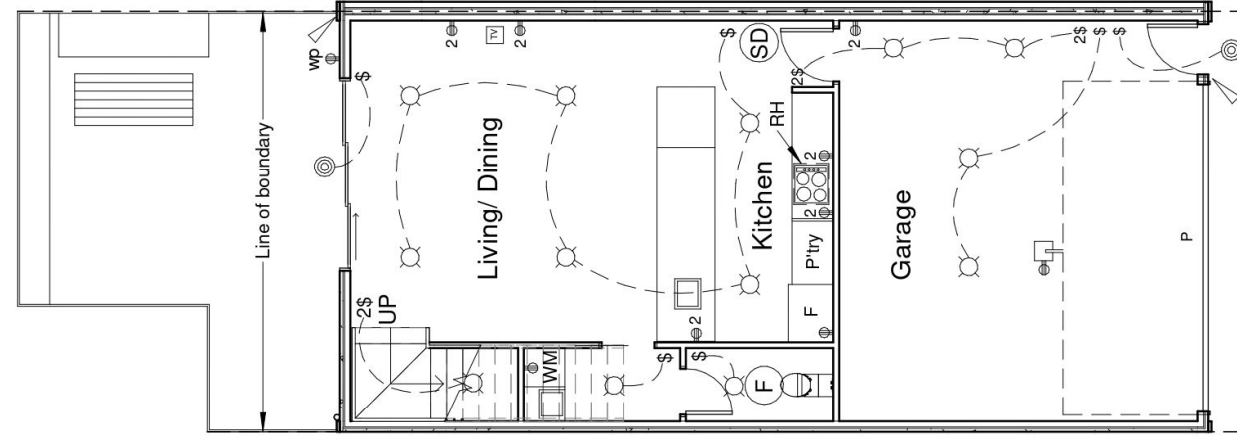
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Electrical Legend

- ⊙ SD Ceiling mounted smoke detector hard wired with battery back up
- ⊙ LED downlight fitting
- ⊙ 240 volt power outlet
- 2⊙ 240 volt double power outlet
- \$ Wall switch
- ⊙ F Exhaust
- TV TV Point
- wp 240 volt double weather proof power outlet
- ⊙ Sensor light
- ⊙ External LED downlight fitting

Ground Floor Electrical Layout

1 : 100

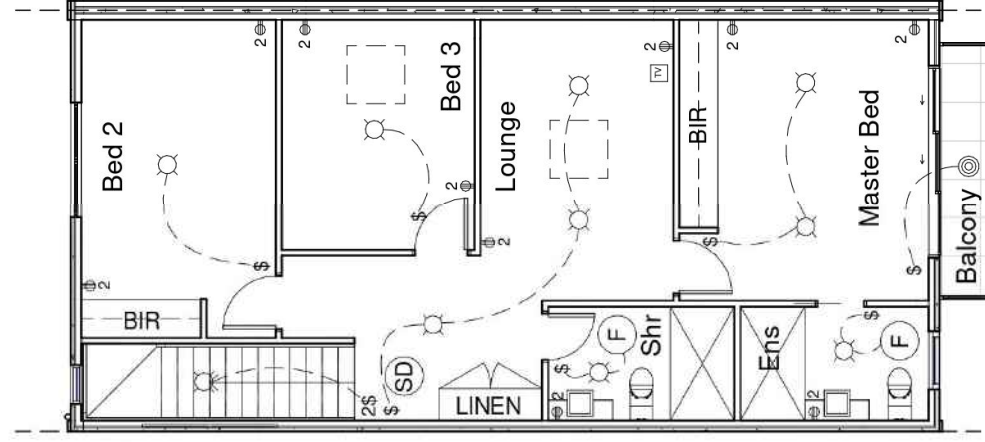
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 Scale: 1 : 100
 Sheet No.: A104

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Electrical Legend

- Ⓢ Ceiling mounted smoke detector hard wired with battery back up
- Ⓛ LED downlight fitting
- Ⓜ 240 volt power outlet
- ⓂⓂ 240 volt double power outlet
- \$ Wall switch
- (F) Exhaust fan
- Ⓞ External LED downlight fitting

1st Floor Electrical Layout

1 : 100

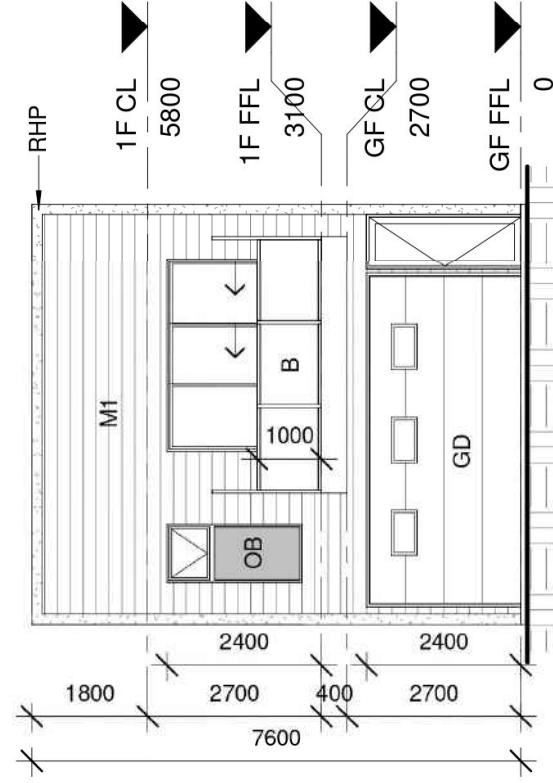
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 Scale: 1 : 100
 Sheet No: A105

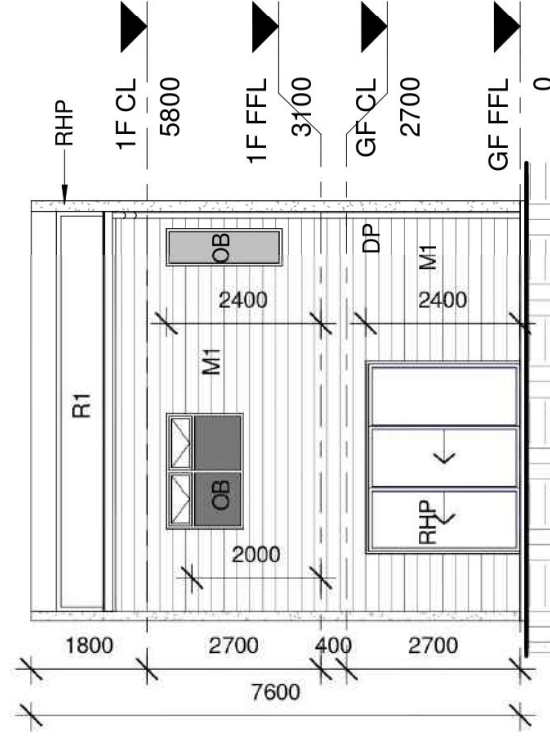
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Front Elevation

1 : 100



Rear Elevation

1 : 100

COLOUR SCHEDULE

Aluminium Windows	Dowel Satin Black
Aluminium Sliding Doors	Dowel Satin Black
Aluminium Fly Screen & Doors	Dowel Satin Black
Eave Lining	Dulux Natural White
Gutters	Rev Roofing Surfmist
Metal Fascia	Rev Roofing Surfmist
Downpipes	Dulux Surfmist
Render Finish	Dulux Surfmist
Front Door	Dulux Monument
Front Door Frame	Dulux Monument
Face Brick Cladding	PGH Tribeca Red
Grout Flush Joint	Brighton Light
Sectional Garage Door	Gliderol Hampton Surfmist
Sectional Garage Door Windows	Traditional Single
Roofing	Surfmist
Meter Box	Surfmist
Framed Glass Balustrade	Satin Black
Front Fence (1.2m H)	Powder coated satin black
Rainwater tank	Surfmist or similar

EXTERNAL FINISH SCHEDULE

RHP	Rendered 50mm Hebel Power Panel Cladding
M1	Scyon Stria Cladding
GD	2.4m x 5.1m Panel Lift Door
OB	Obscure glazing

Mrs Tania Russell

5-9 Palmyra Ave, Torrensville

Palmyra Housing Development

Revision Date

17.08.21

Scale

As Indicated

Sheet No.

A106

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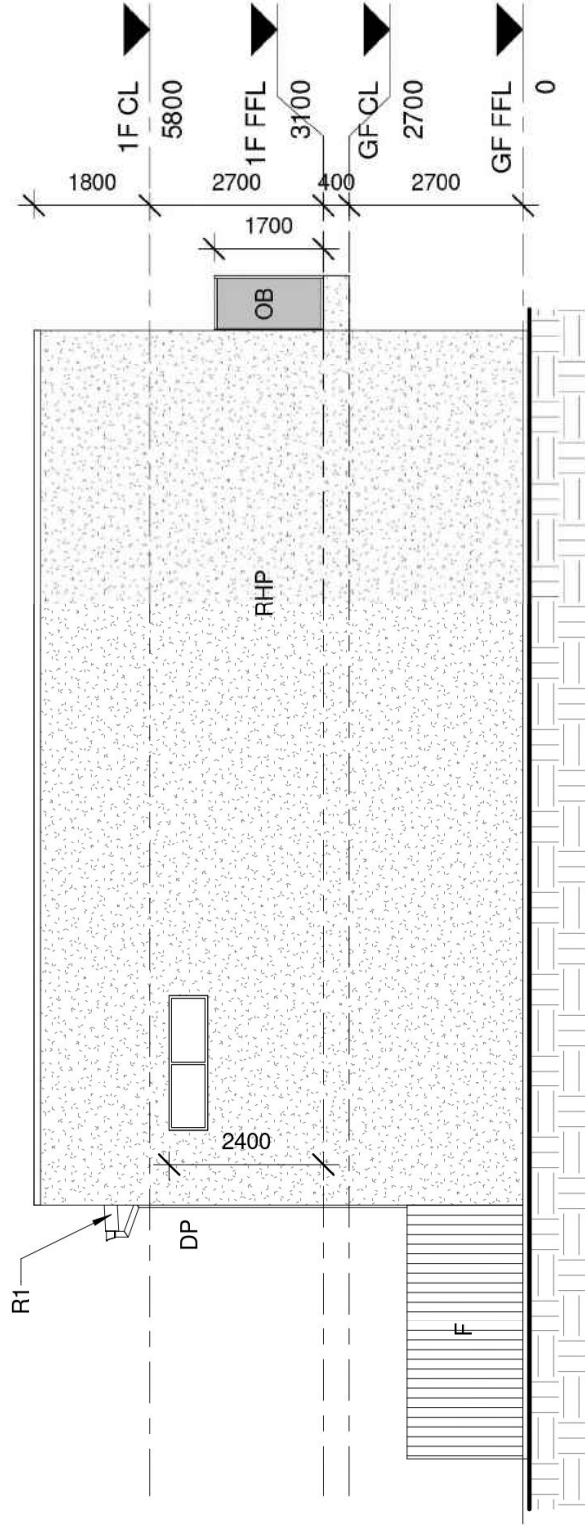
Fax: (08) 8367 5333

Email: info@newcreationgroup.com.au



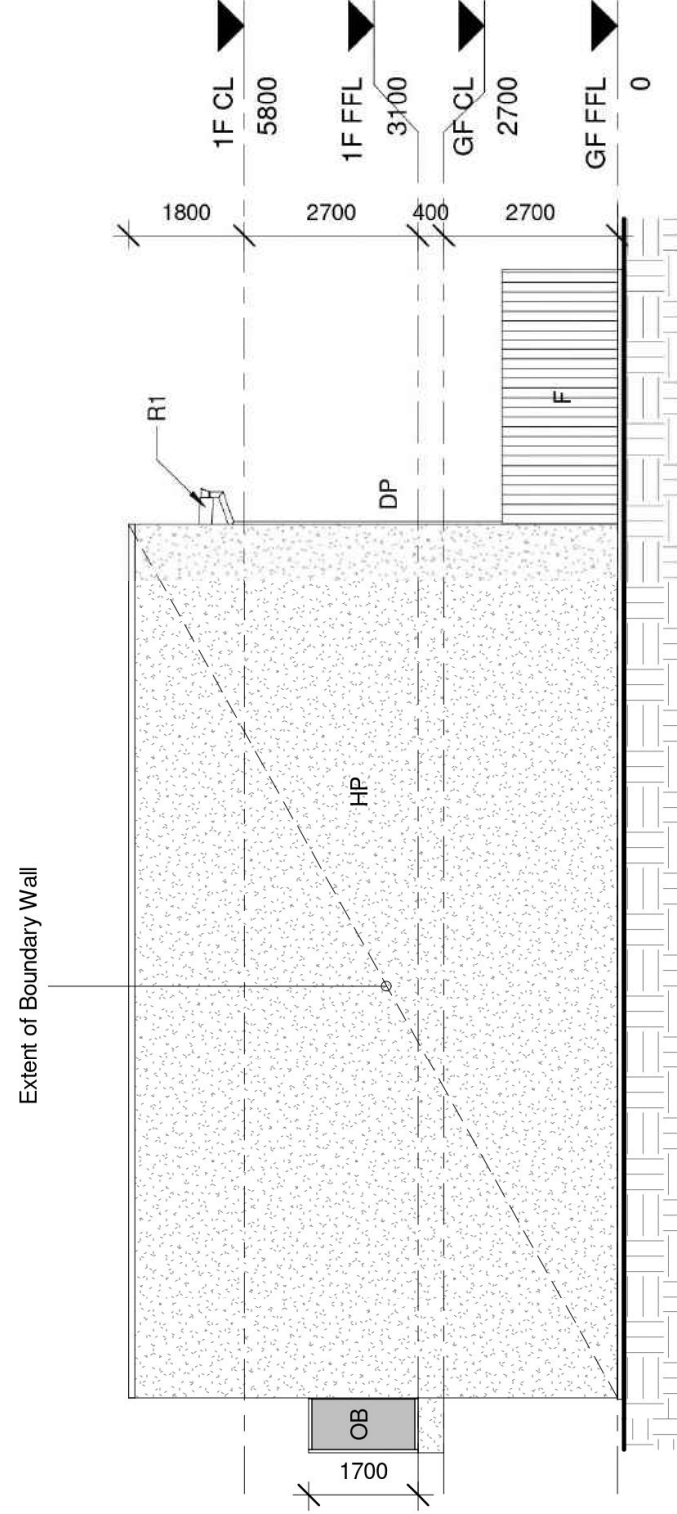
NewCreation
Group





Side Elevation 1

1 : 100



Side Elevation 2

1 : 100

EXTERNAL FINISH SCHEDULE

RHP	Rendered 50mm Hebel Power Panel Cladding
OB	Obscured Glazing
F	1.8m H Good Neighbour Colorbond Internal parti fence. Colour: Woodland Grey or similar
HP	50mm Hebel Power Panel Cladding

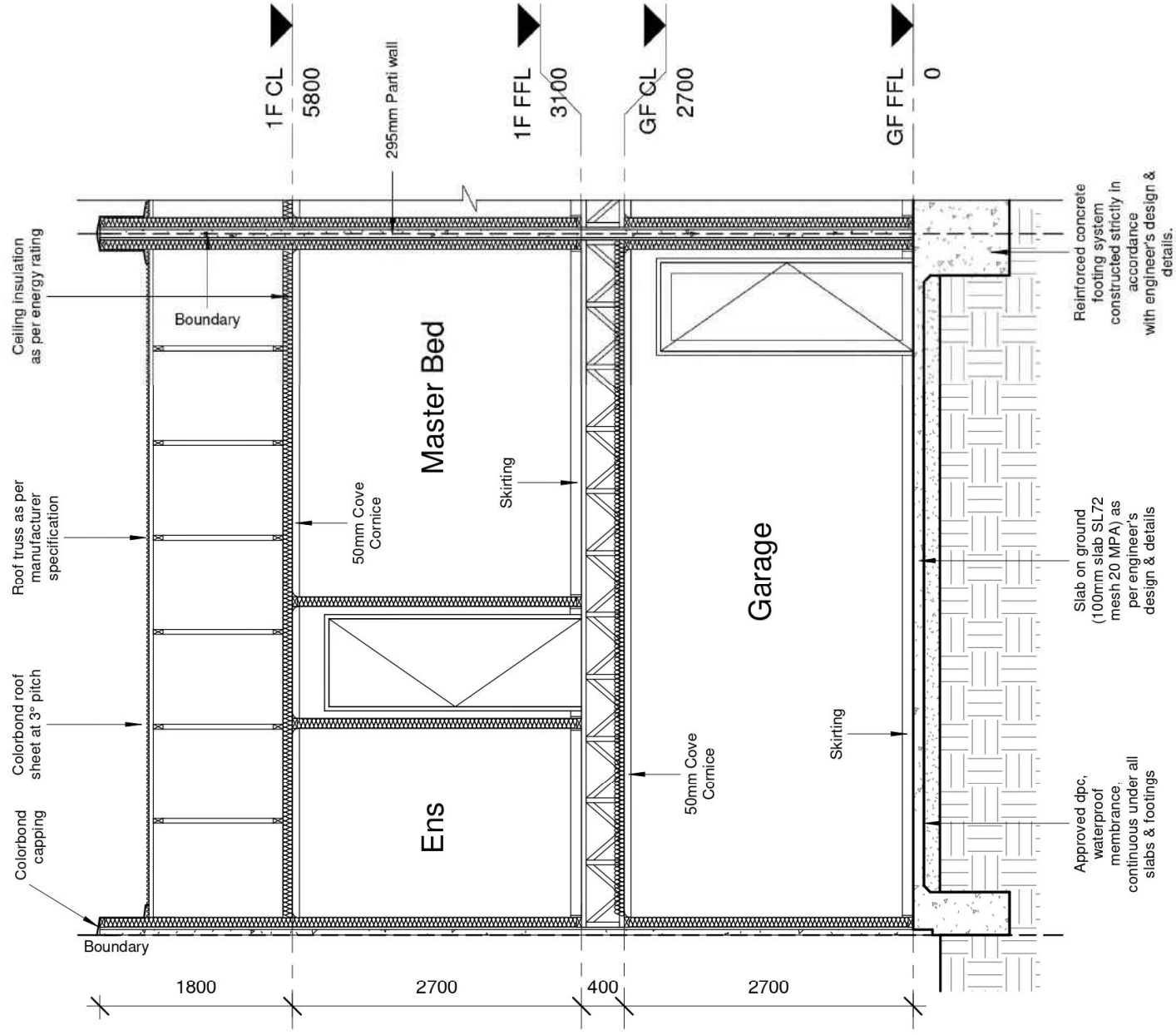
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 Sheet No.
 A107

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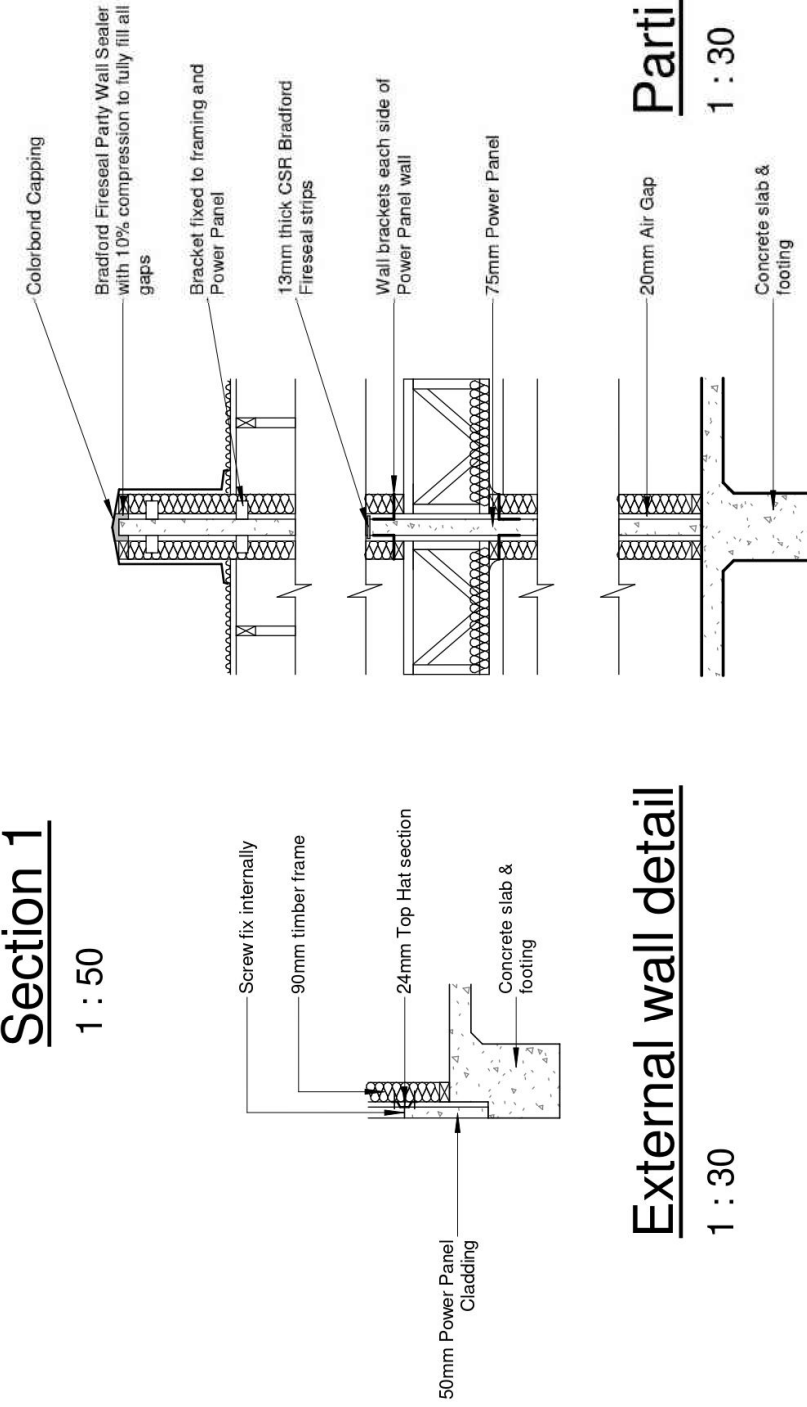
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Section 1

1 : 50



External wall detail

1 : 30

Parti Wall Details

1 : 30

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5-9 Palmyra Ave, Torrensville

Palmyra Housing Development

Revision Date
17.08.21

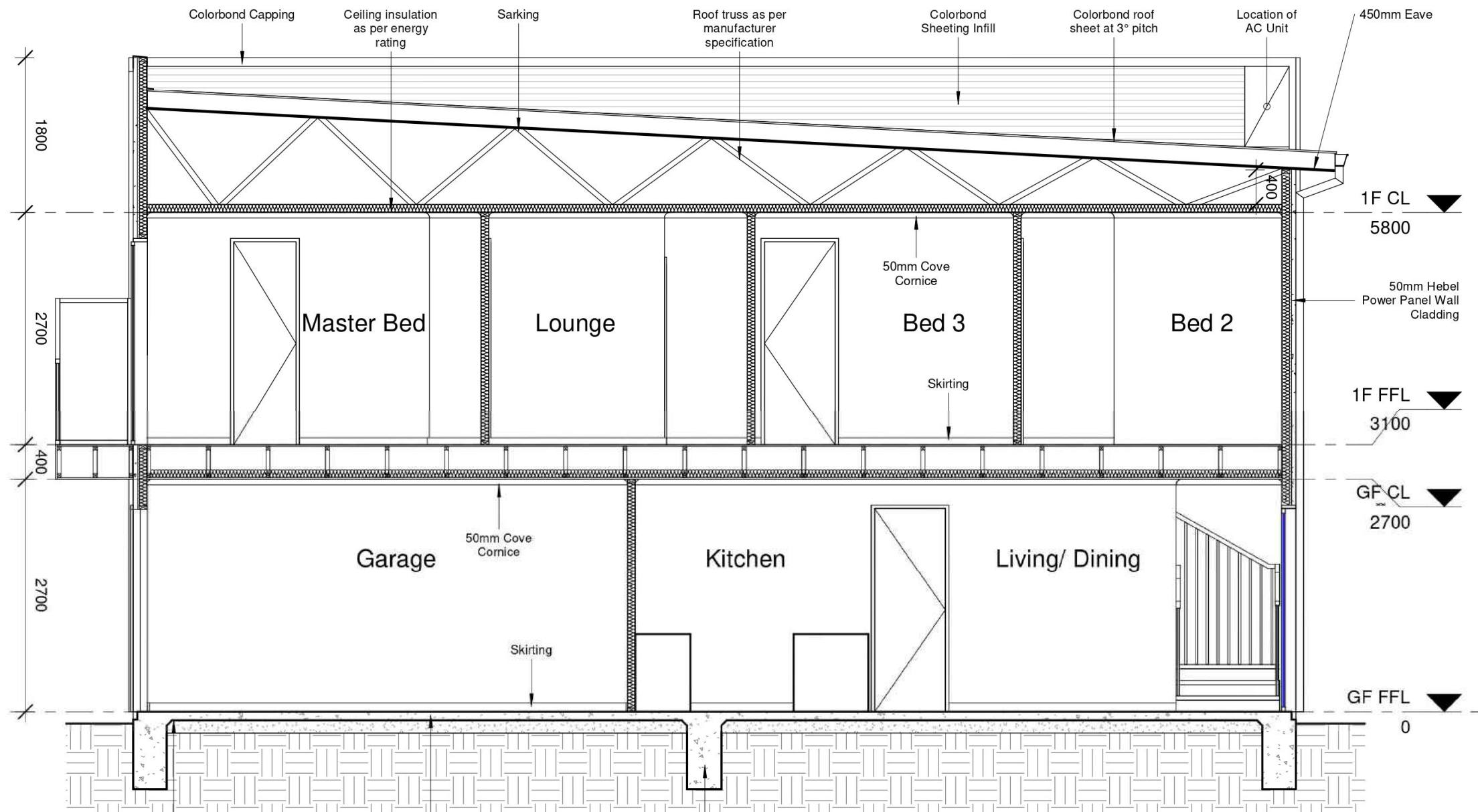
Scale
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Approved dpc, waterproof membrane, continuous under all slabs & footings

Slab on ground (100mm slab SL72 mesh 20 MPA) as per engineer's design & details

Reinforced concrete footing system constructed strictly in accordance with engineer's design & details.

Section 2
1 : 50

Mrs Tania Russell
5-9 Palmyra Ave, Torrensville
Palmyra Housing Development

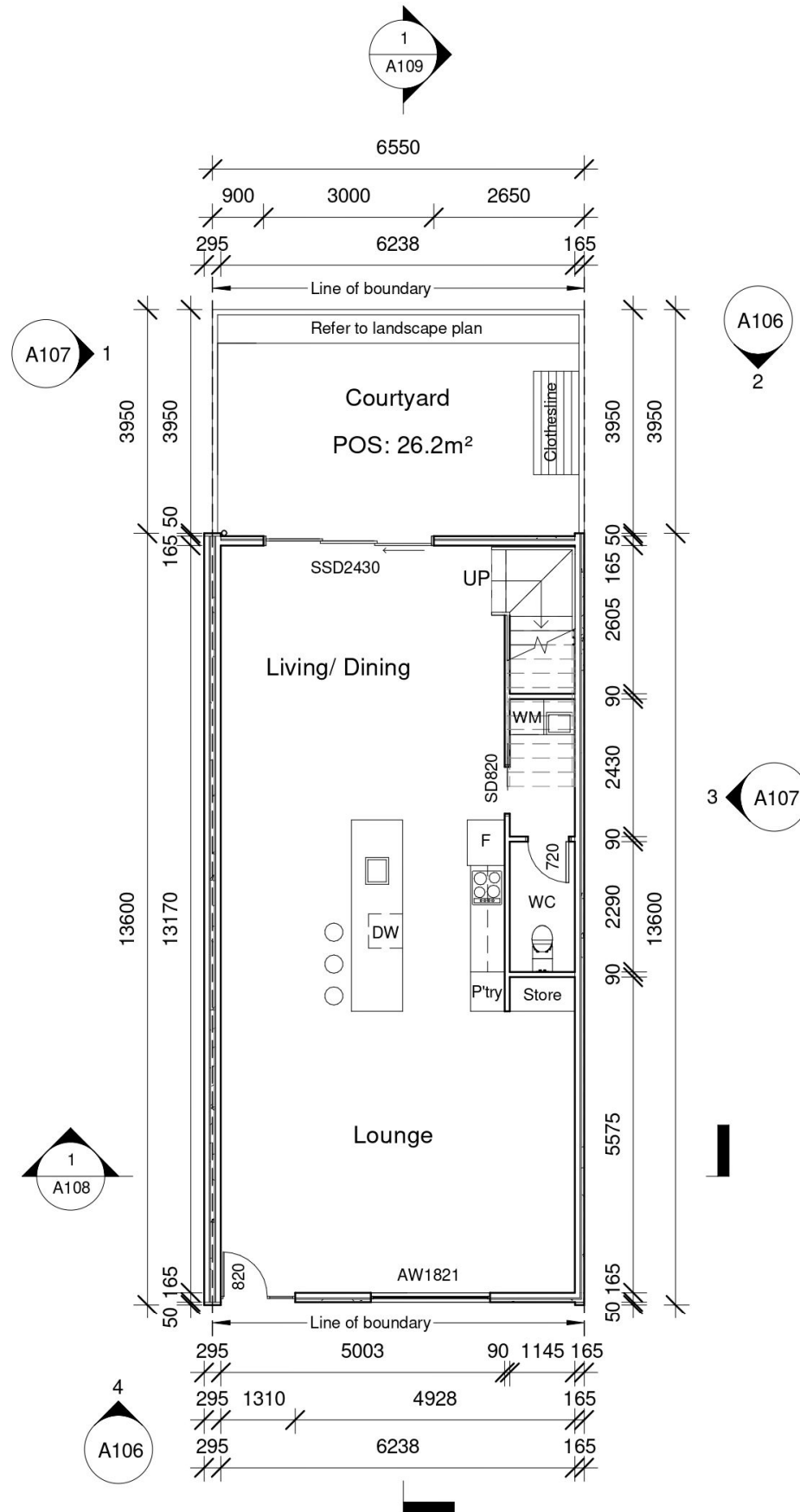
Revision Date: 17.08.21
Scale: 1 : 50
Sheet No.: A109

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UNIT 12



Ground Floor

1 : 100

Area Schedule	
Name	Area

GF Living	88.42 m ²
1F Living	88.43 m ²
Grand total	176.85 m²

- WC Door to be fitted with lift off hinges
- Stair & balustrade to comply with part 3.9.2.1 of BCA
- RWT plumbed to WC & laundry cold tap

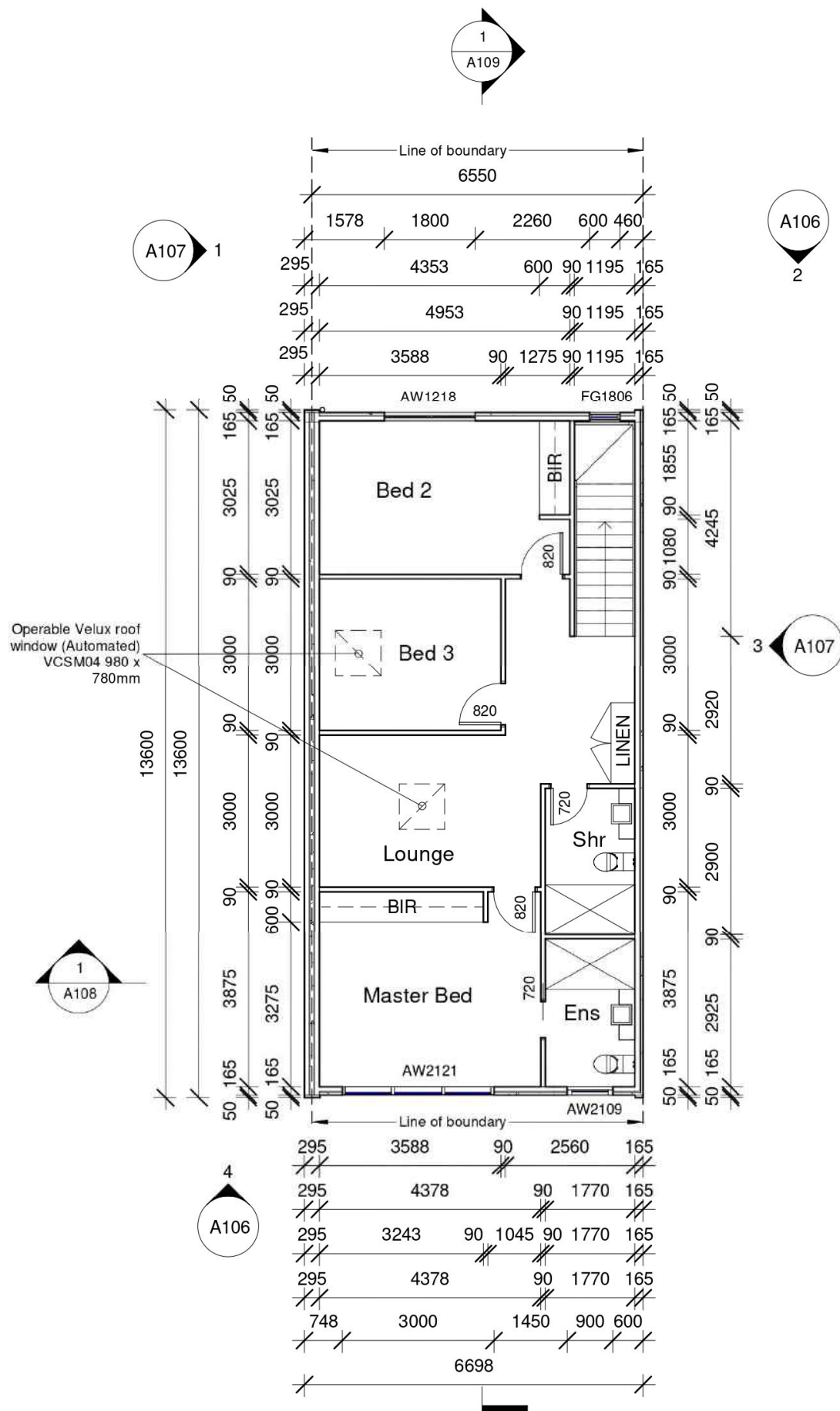
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 Sheet No.: A101

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Area Schedule	
Name	Area

GF Living	88.42 m ²
1F Living	88.43 m ²
Grand total	176.85 m²

1st Floor

1 : 100

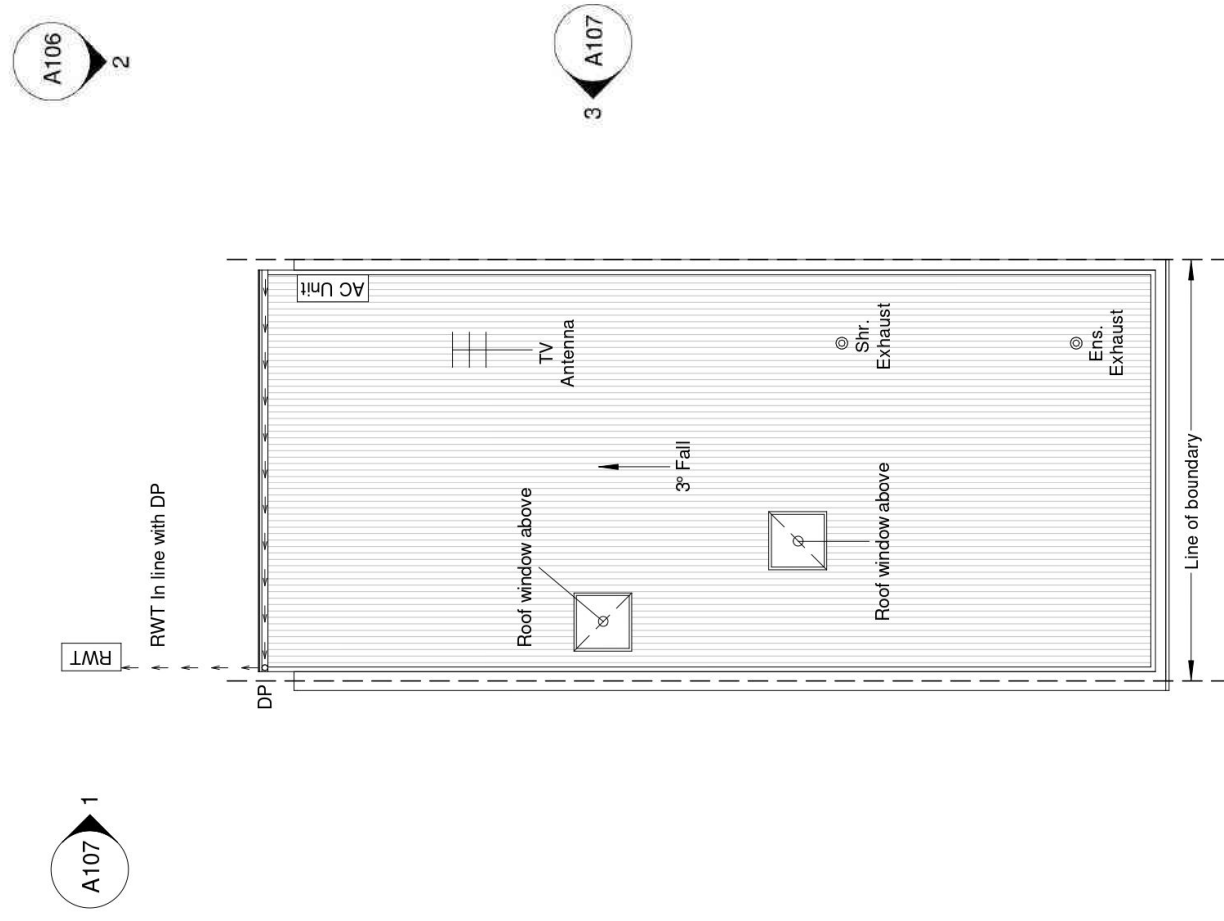
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 5-9 Palmyra Ave, Torrensville
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 Scale: 1 : 100
 Sheet No.: A102

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Roof Plan
1 : 100

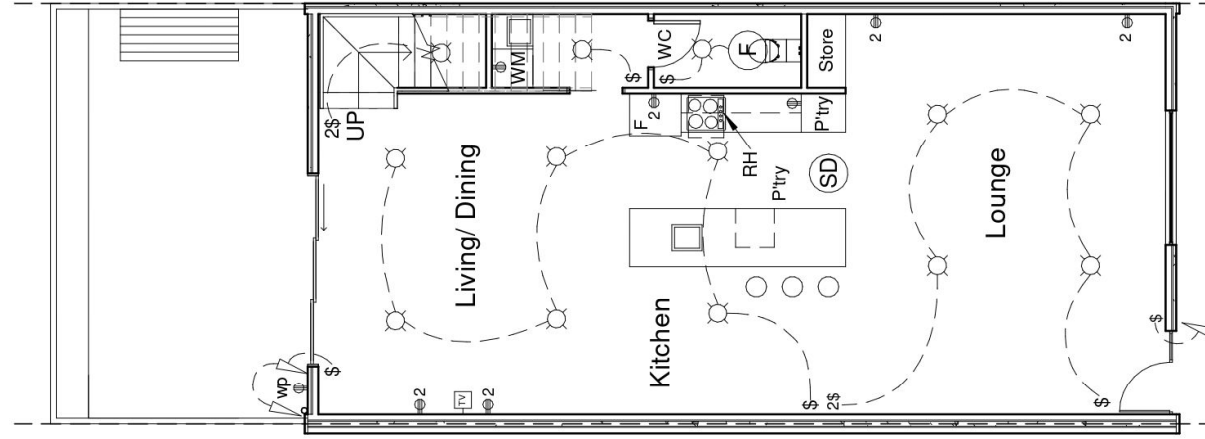


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Sheet No.: A103

Mrs Tania Russell
5-9 Palmyra Ave, Torrensville
Palmyra Housing Development



Electrical Legend

- ⊙ SD Ceiling mounted smoke detector hard wired with battery back up
- ⊙ LED downlight
- ⊕ 240 volt power outlet
- 2⊕ 240 volt double power outlet
- \$ Wall switch
- 2\$ 2 Way wall switch
- (F) Exhaust
- ⊙ External Downlight
- TV TV Point
- ⊕ wp 240 volt double weather proof power outlet
- ↙ Sensor light
- Flourescent Light
- RH Rangehood

Ground Floor Electrical Layout

1 : 100

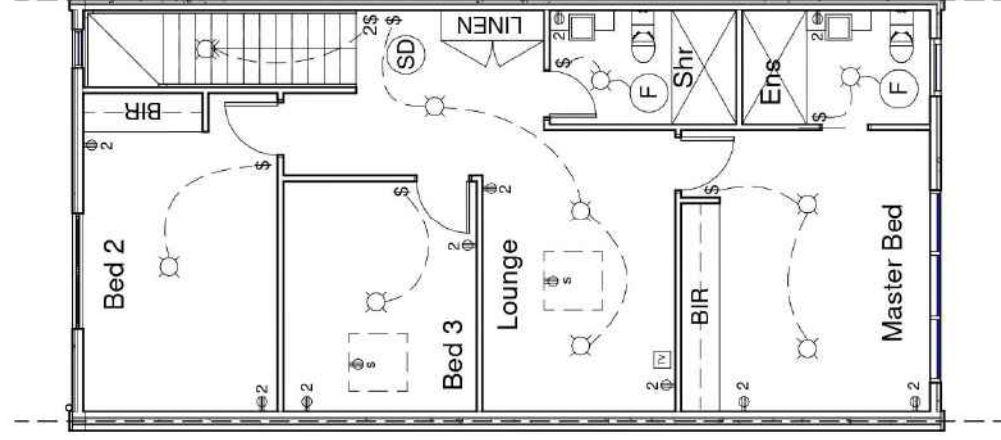
Mrs Tania Russell
 5-9 Palmyra Ave, Torrensville
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 17.08.21
 Scale
 1 : 100
 Sheet No.
 A104





Electrical Legend

- Ⓢ Ceiling mounted smoke detector hard wired with battery back up
- Ⓛ LED Downlight
- Ⓜ 240 volt power outlet
- 2Ⓜ 240 volt double power outlet
- \$ Wall switch
- ⓕ Exhaust
- Ⓜs Power to skylights

1st Floor Electrical Layout

1 : 100

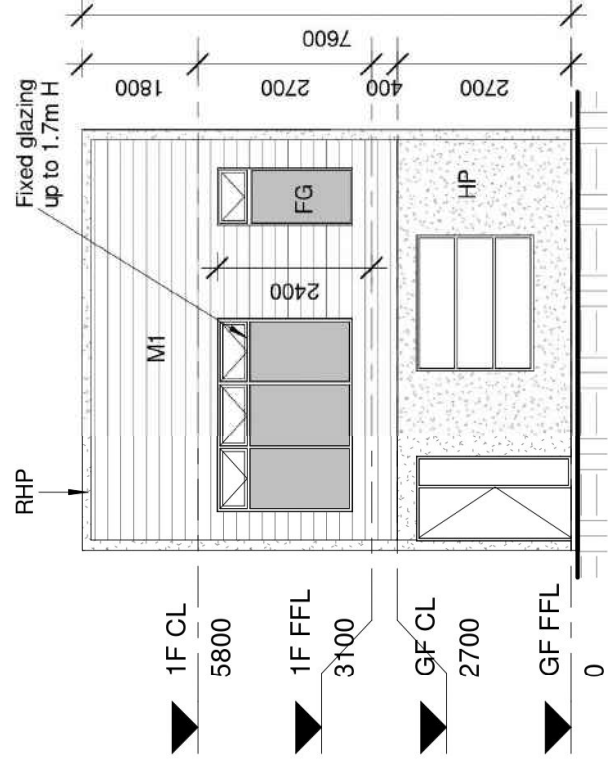
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 Sheet No. A105

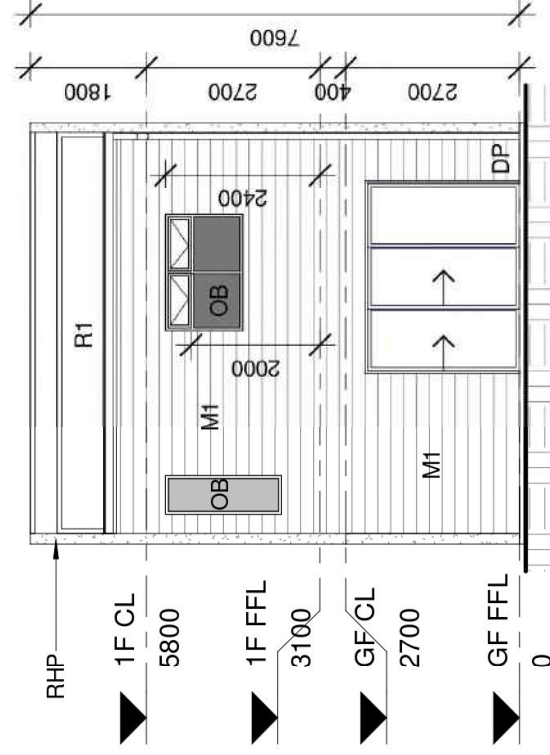
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Front Elevation

1 : 100



Rear Elevation

1 : 100

COLOUR SCHEDULE

Aluminium Windows	Dowel Satin Black
Aluminium Sliding Doors	Dowel Satin Black
Aluminium Fly Screen & Doors	Dowel Satin Black
Eave Lining	Dulux Natural White
Gutters	Rev Roofing Surfmist
Metal Fascia	Rev Roofing Surfmist
Downpipes	Dulux Surfmist
Render Finish	Dulux Surfmist
Front Door	Dulux Monument
Front Door Frame	Dulux Monument
Face Brick Cladding	PGH Tribeca Red
Grout Flush Joint	Brighton Light
Sectional Garage Door	Gliderol Hampton Surfmist
Sectional Garage Door Windows	Traditional Single
Roofing	Surfmist
Meter Box	Surfmist
Framed Glass Balustrade	Satin Black
Front Fence (1.2m H)	Powder coated satin black
Rainwater tank	Surfmist or similar

EXTERNAL FINISH SCHEDULE

RHP	Rendered 50mm Hebel Power Panel Cladding
M1	Scyon Stria Cladding
R1	Colorbond Roof @ 5° Pitch
OB	Obscure Glazing

Mrs Tania Russell

5-9 Palmyra Ave, Torrensville

Palmyra Housing Development

Revision Date

17.08.21

Scale

As indicated

Sheet No.

A106

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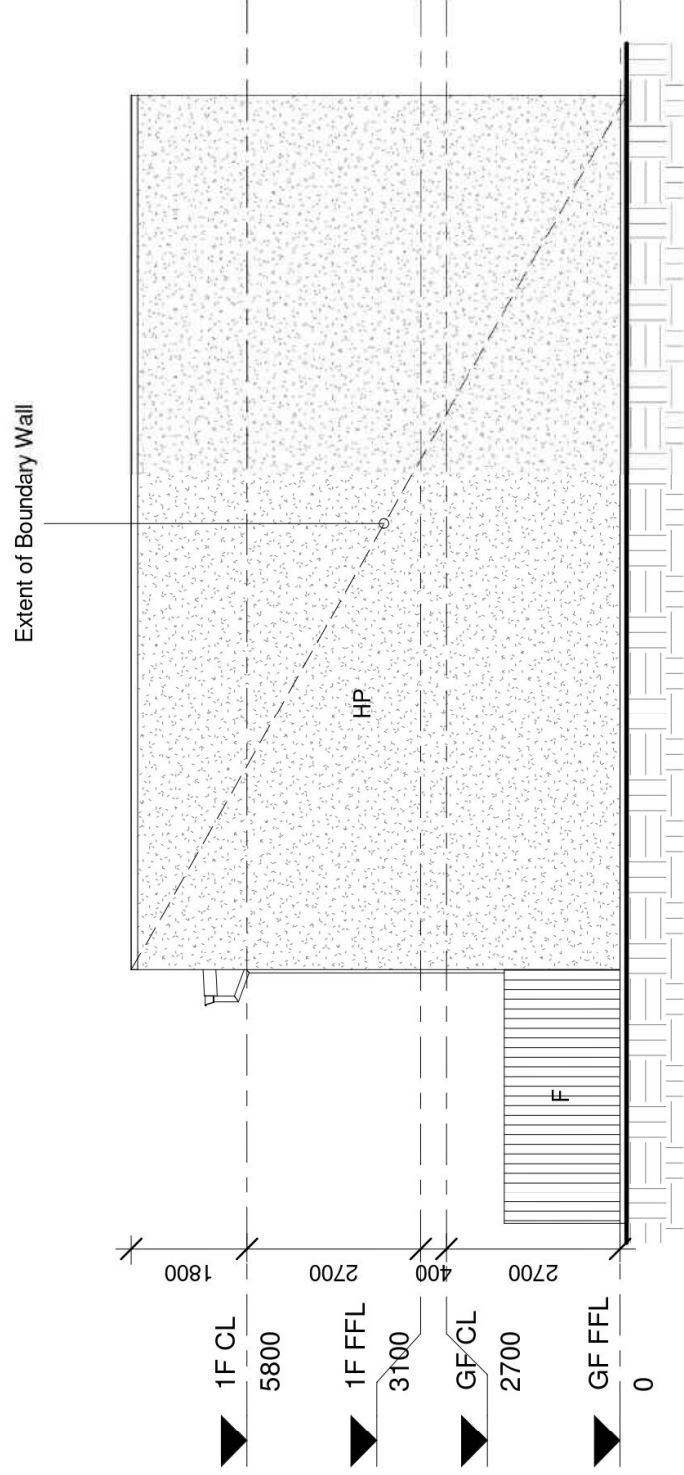
309 North East Road, Hampstead Gardens

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Fax: (08) 8367 5333

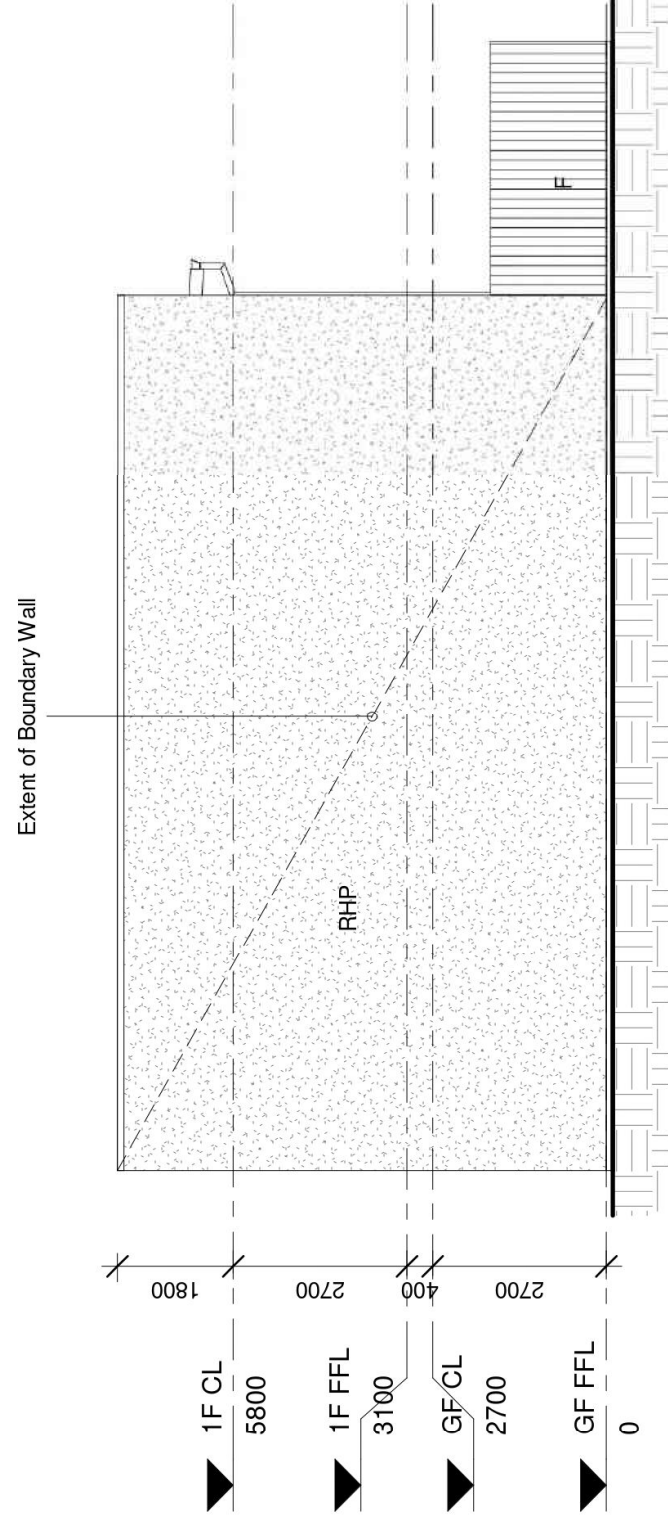
Email: info@newcreationgroup.com.au





Side Elevation 1

1 : 100



Side Elevation 2

1 : 100

EXTERNAL FINISH SCHEDULE

HP	50mm Hebel Power Panel Cladding
RHP	50mm Rendered Hebel Power Panel Cladding
OB	Obscured Glazing
F	1.8m H Good Neighbour Colorbond Internal parti fence. Colour: Woodland Grey or similar

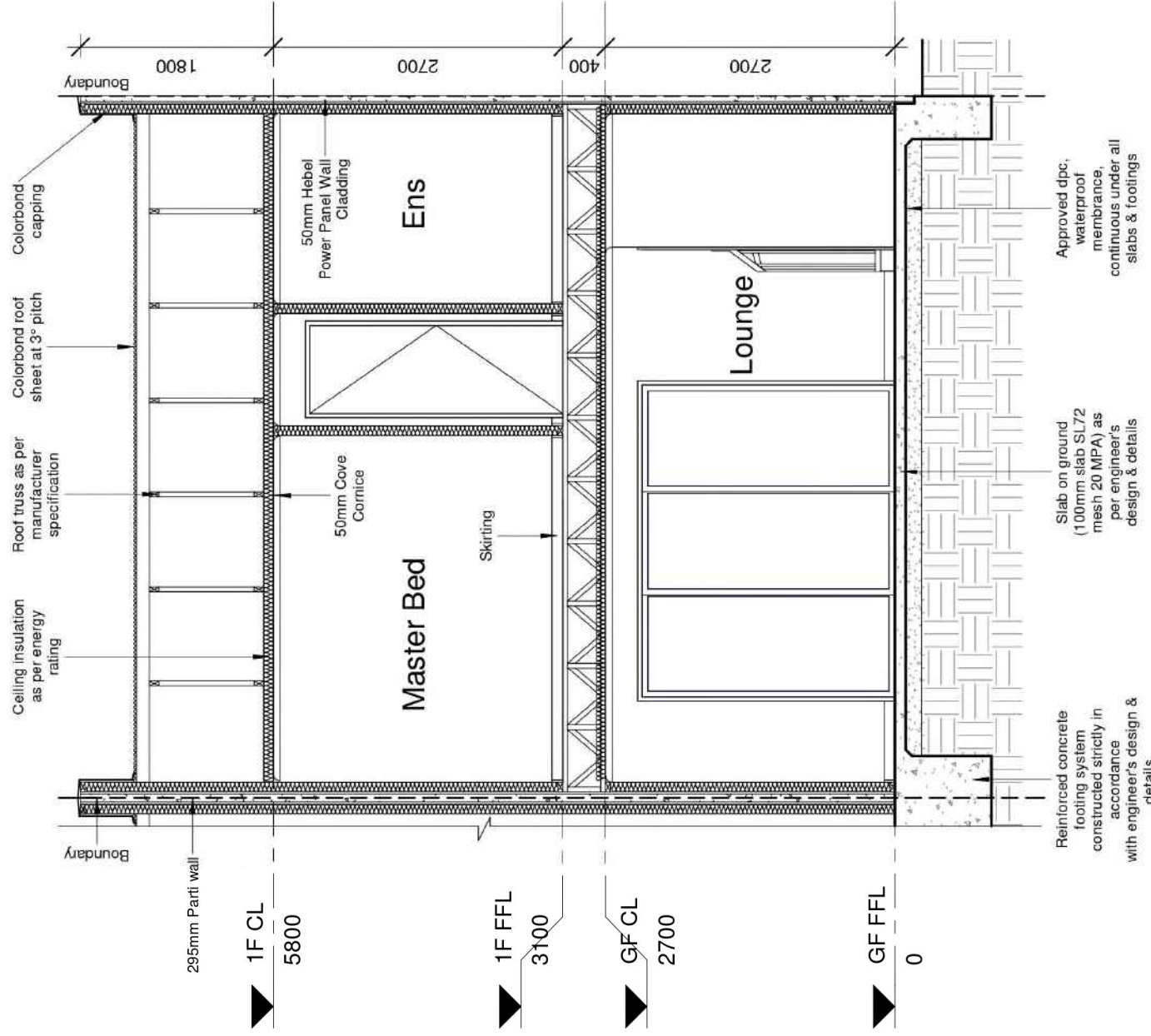
Mrs Tania Russell
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 Scale
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 A107

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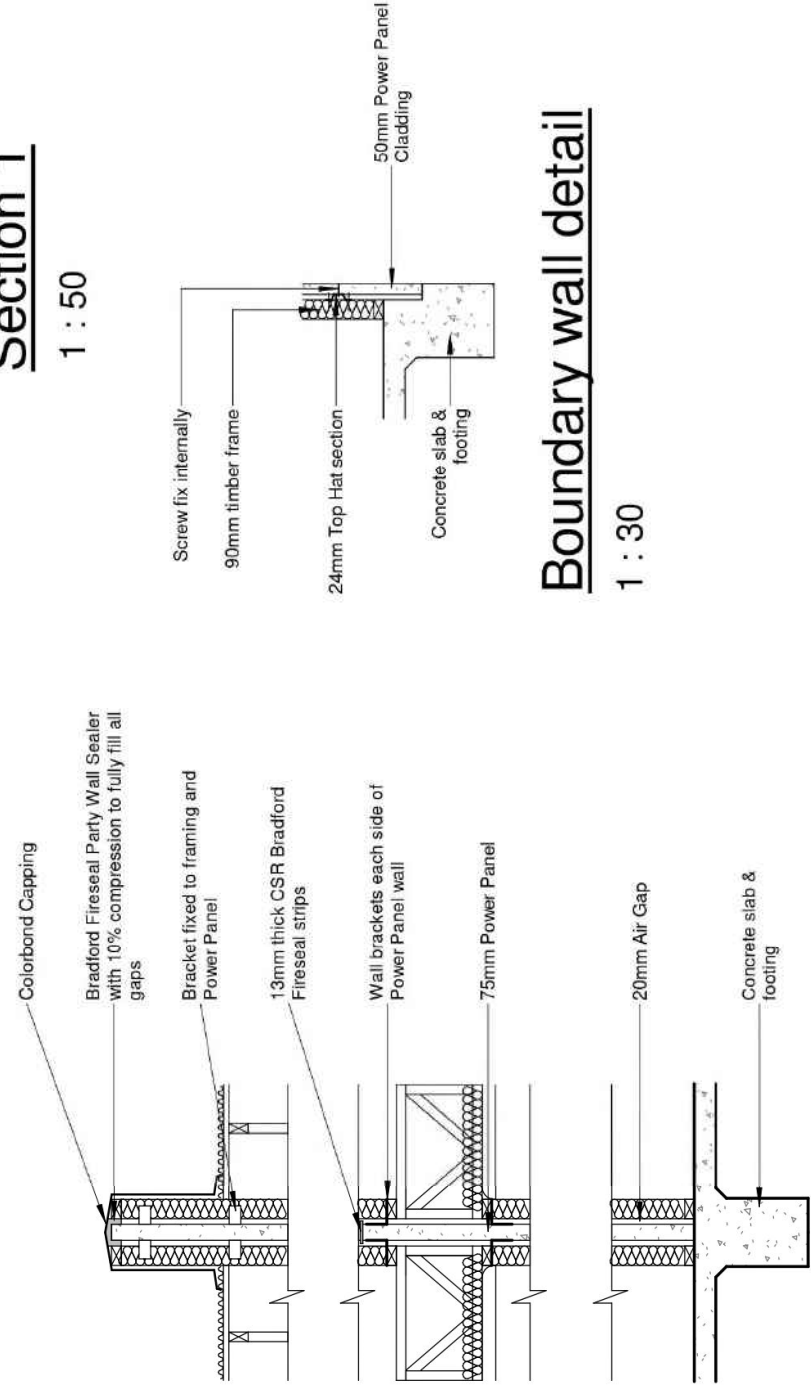
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Section 1

1 : 50



Boundary wall detail

1 : 30

Parti Wall Detail

1 : 30

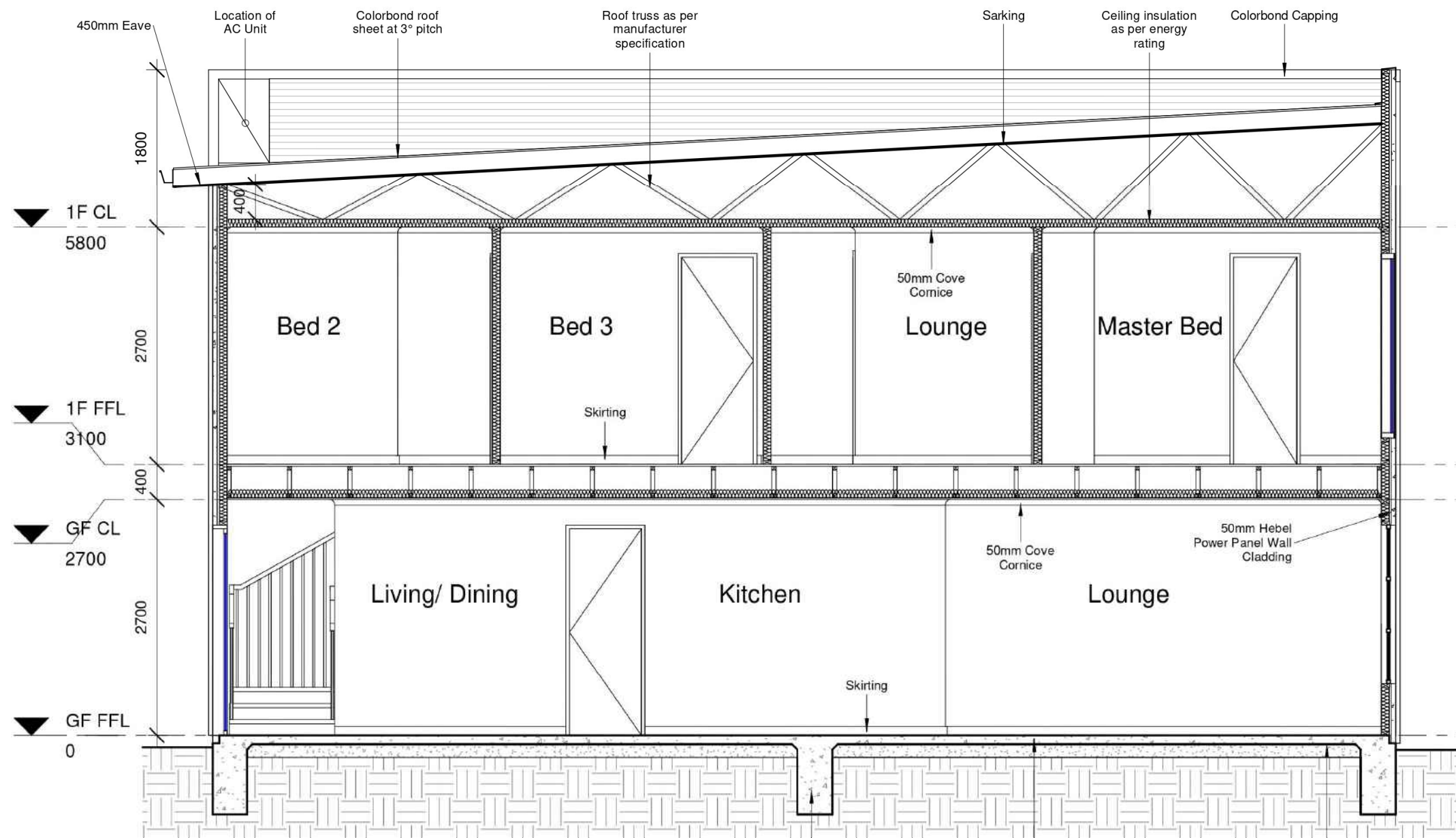
Mrs Tania Russell
5-9 Palmyra Ave, Torrensville
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Scale As indicated
Sheet No. A108





Section 2

1 : 50

Reinforced concrete footing system constructed strictly in accordance with engineer's design & details.

Slab on ground (100mm slab SL72 mesh 20 MPA) as per engineer's design & details

Approved dpc, waterproof membrane, continuous under all slabs & footings

5-9 Palmyra Ave, Torrensville
Palmyra Housing Development

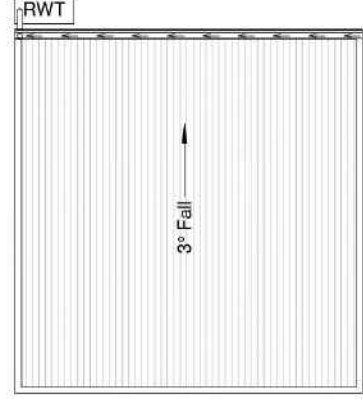
Revision Date
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1 : 50
Sheet No.
A109

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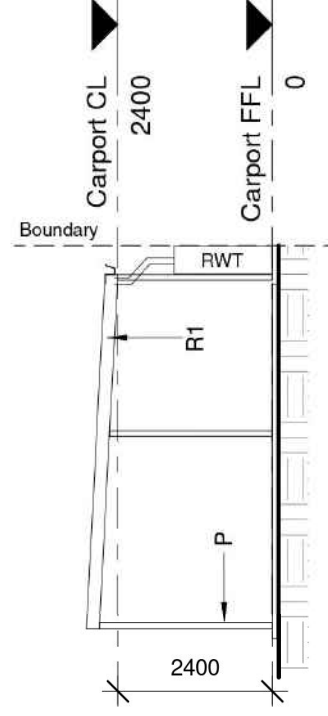
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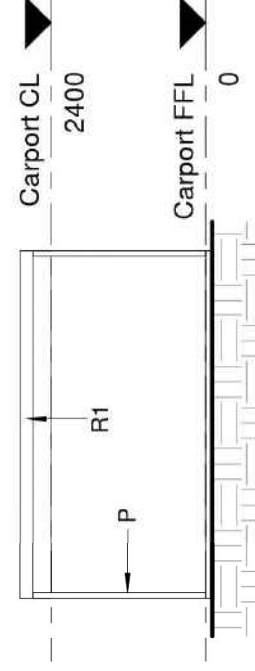
EXTERNAL FINISH SCHEDULE
 R1 Colorbond Roof @ 3° Pitch
 P 150 x 150mm Steel Post



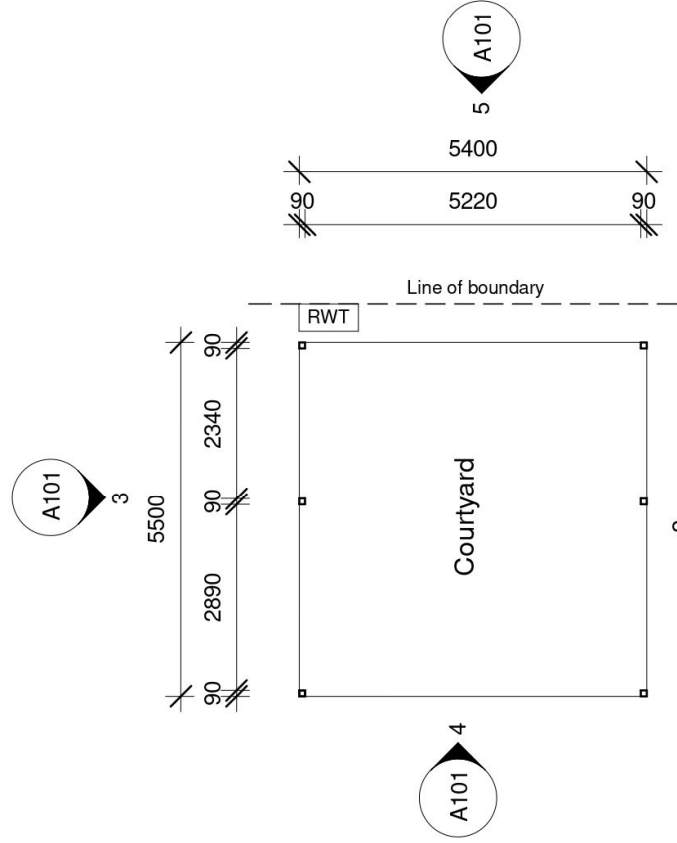
Roof Plan
1 : 100



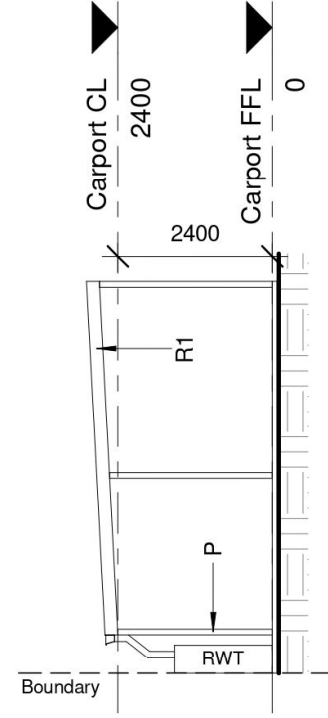
Side Elevation 2
1 : 100



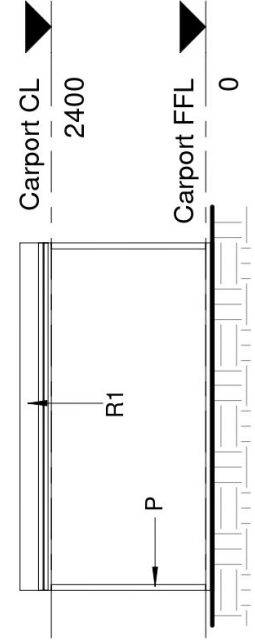
Rear Elevation
1 : 100



Carport Plan
1 : 100



Side Elevation 1
1 : 100



Front Elevation
1 : 100

UNIT 12 CARPORT

Mrs Tania Russell
 5-9 Palmyra Ave, Torrensvile
 Palmyra Housing Development

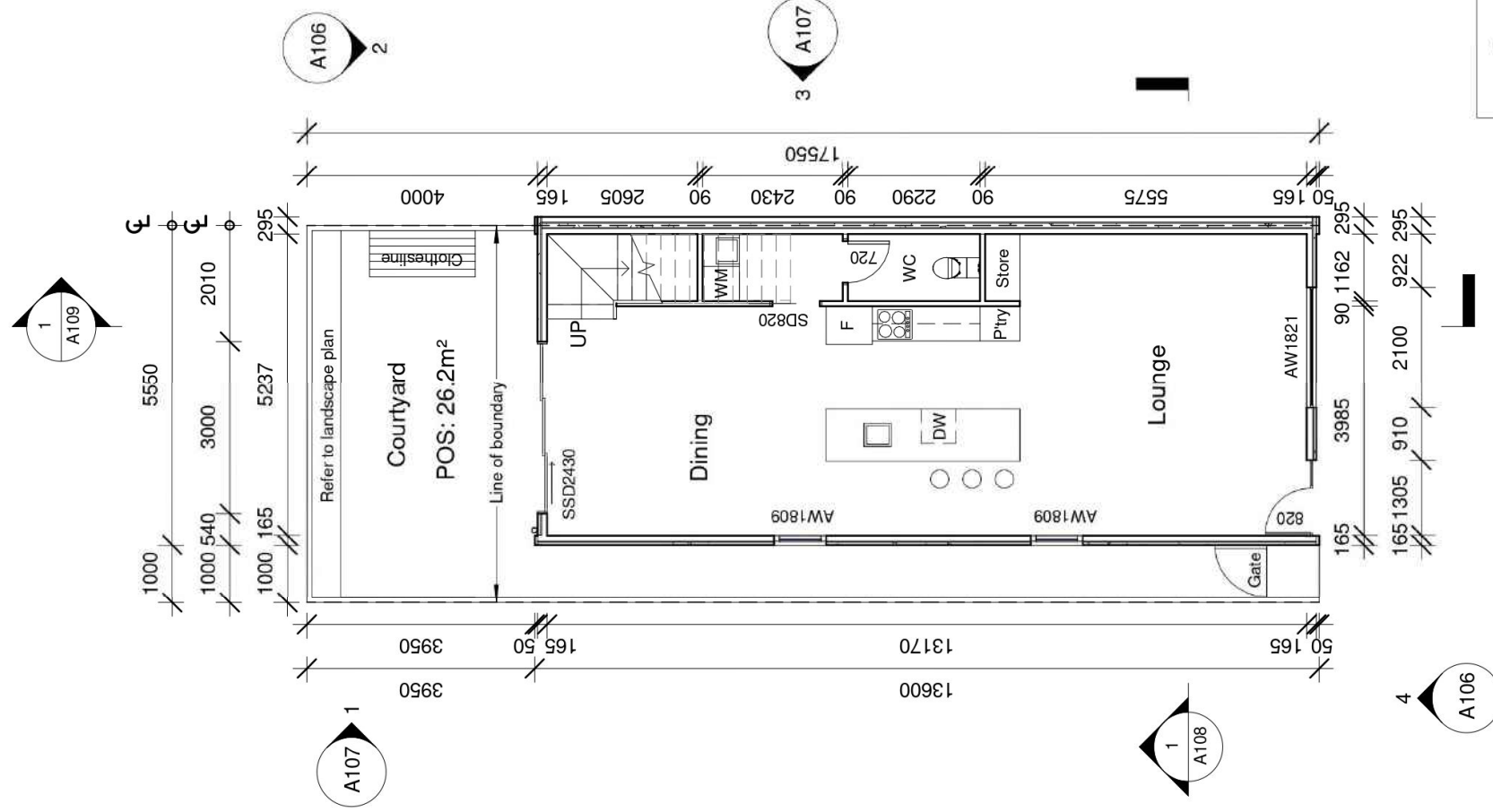
Revision Date
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 Scale
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 Sheet No.
 A101

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UNIT 17



Ground Floor

1 : 100

Area Schedule	
Name	Area

GF Living	74.92 m ²
1F Living	74.92 m ²
Grand total	149.84 m²

- WC Door to be fitted with lift off hinges
- Stair & balustrade to comply with part 3.9.2.1 of BCA
- RWT to be plumbed to WC & Laundry cold tap

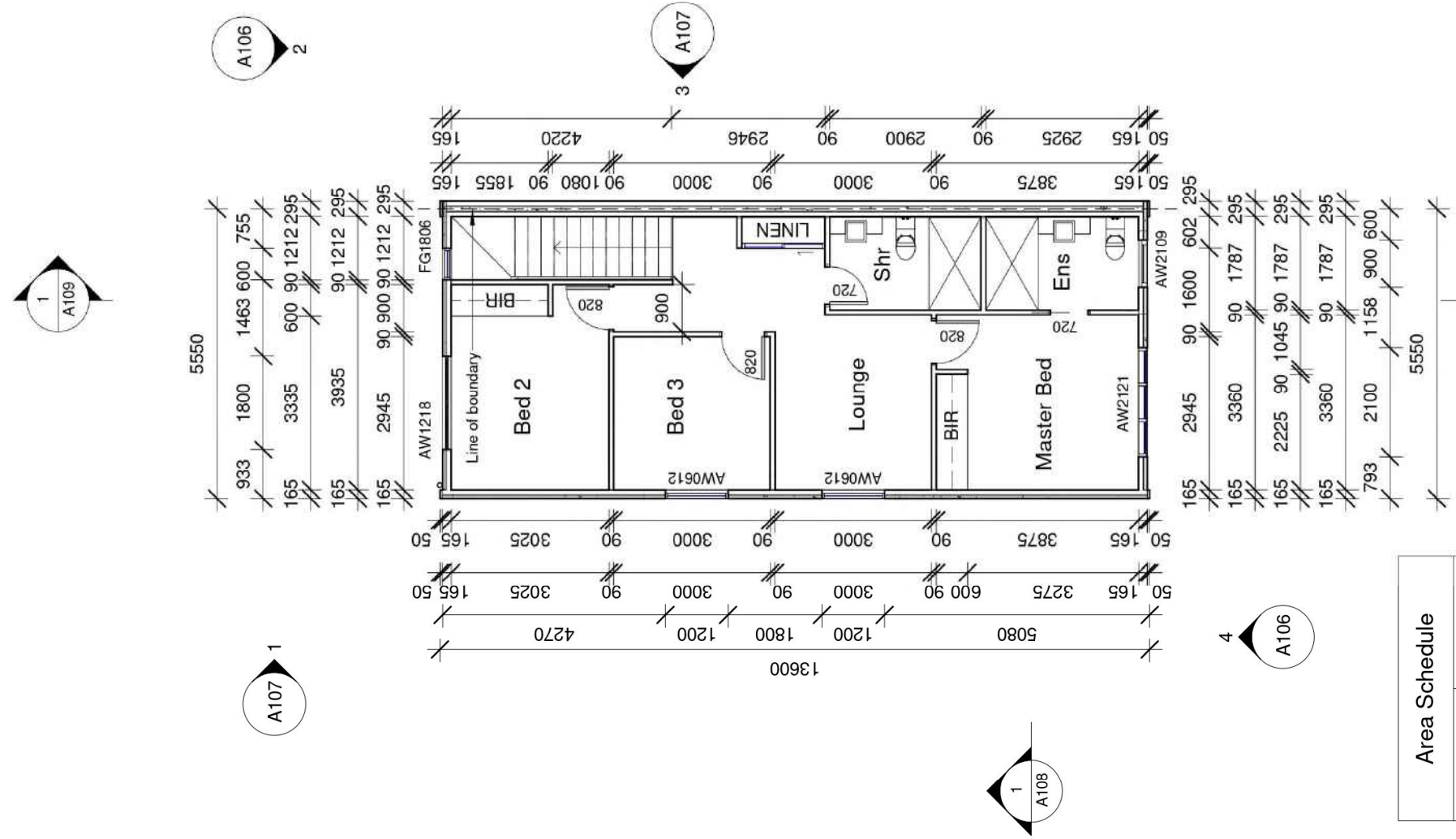
Mrs Tania Russell
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1st Floor

1 : 100

Area Schedule	
Name	Area

GF Living	74.92 m ²
1F Living	74.92 m ²
Grand total	149.84 m²

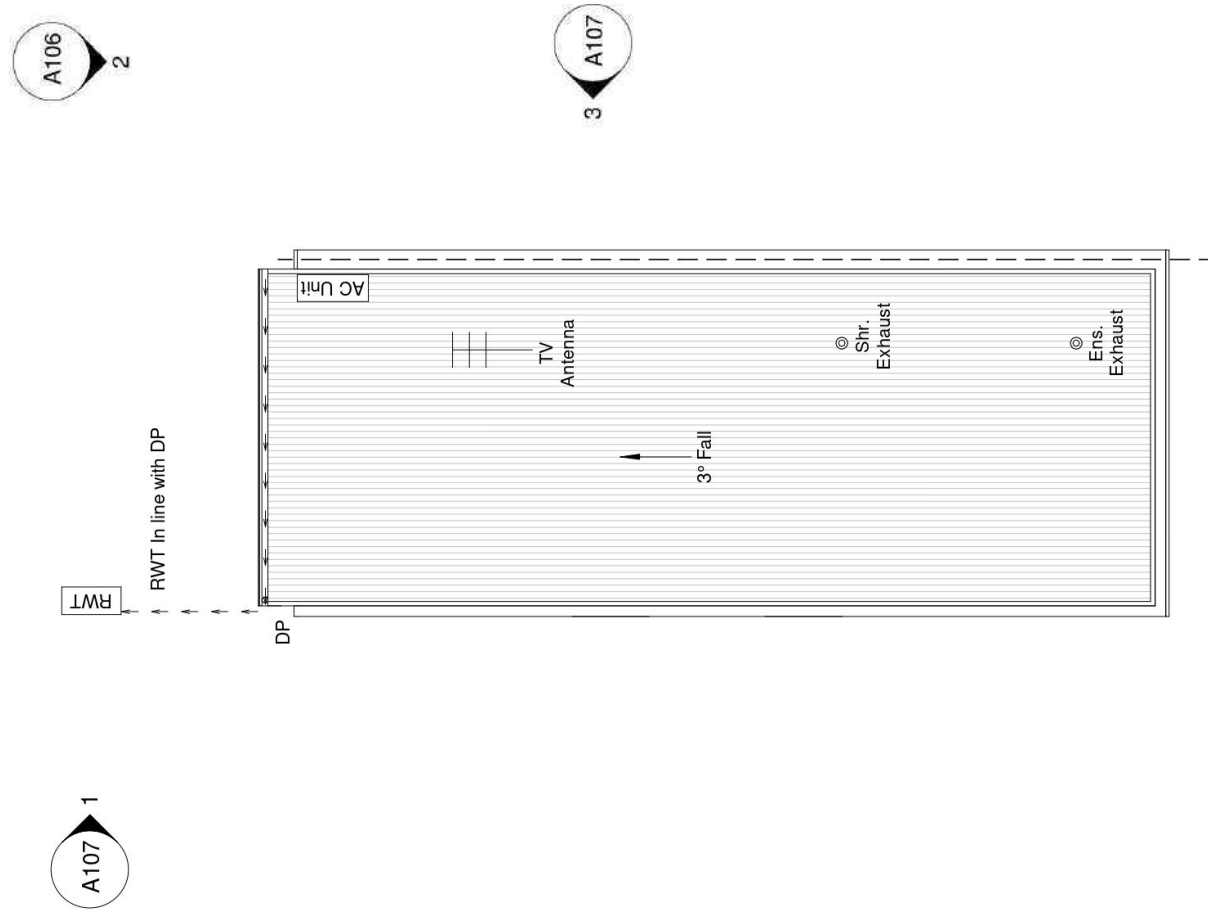


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Revision Date
 17.08.21
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 1 : 100
 Sheet No.
 A102



Roof Plan
1 : 100

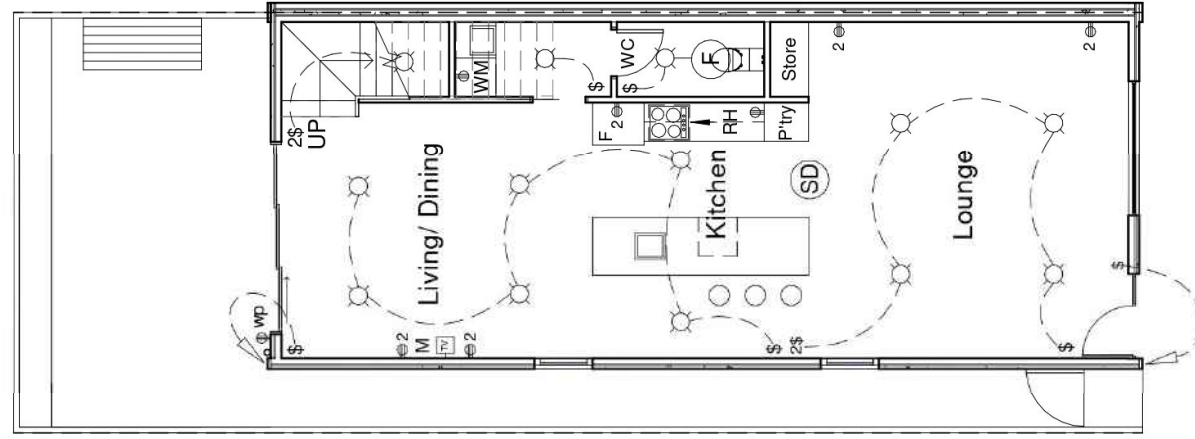


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5-9 Palmyra Ave, Torrensville
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Revision Date
17.08.21
Scale
1 : 100
Sheet No.
A103



Electrical Legend

- ⊙SD Ceiling mounted smoke detector hard wired with battery back up
- ⊙ LED downlight
- ⊕ 240 volt power outlet
- 2⊕ 240 volt double power outlet
- \$ Wall switch
- 2\$ 2 Way wall switch
- ⊖ F Exhaust
- TV TV Point
- ⊕ wp 240 volt double weather proof power outlet
- SL Sensor light
- RH Rangehood

Ground Floor Electrical Layout

1 : 100

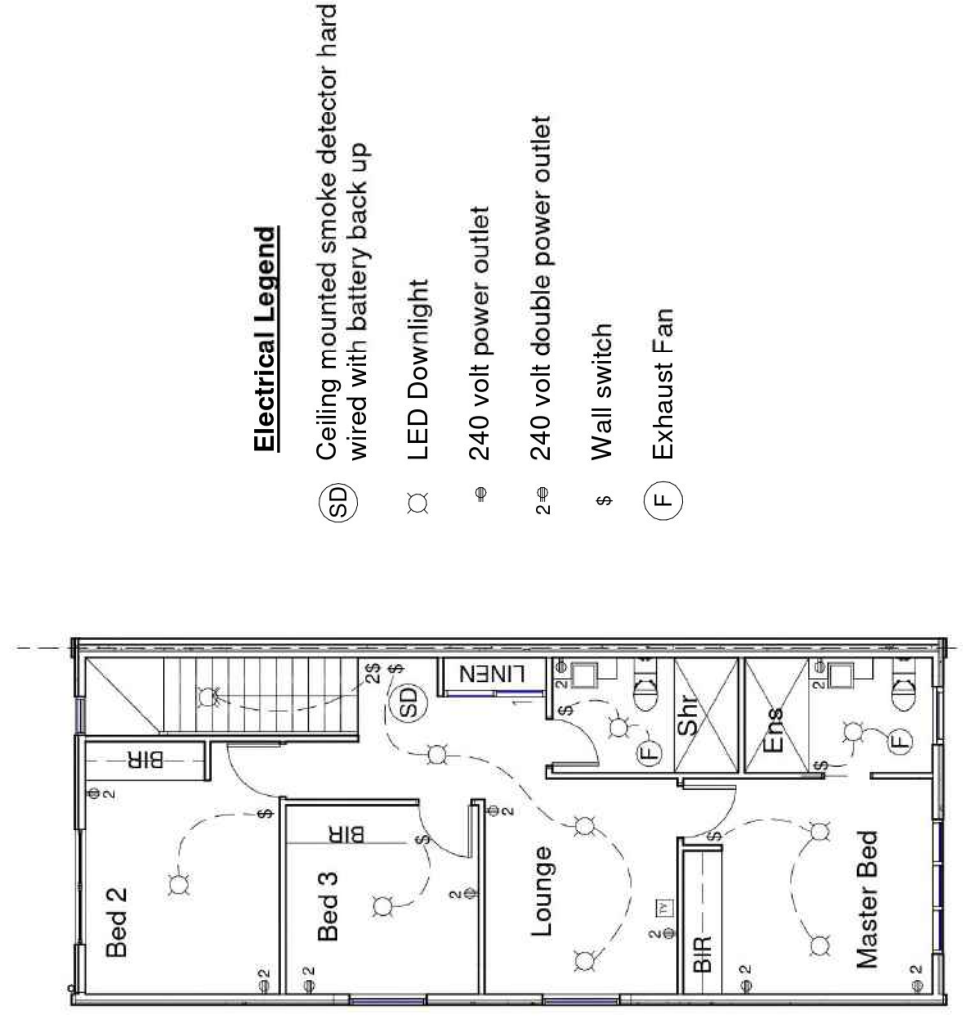
Mrs Tania Russell
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Electrical Legend

- Ⓢ Ceiling mounted smoke detector hard wired with battery back up
- Ⓛ LED Downlight
- Ⓜ 240 volt power outlet
- 2Ⓜ 240 volt double power outlet
- \$ Wall switch
- ⓕ Exhaust Fan

1st Floor Electrical Layout

1 : 100

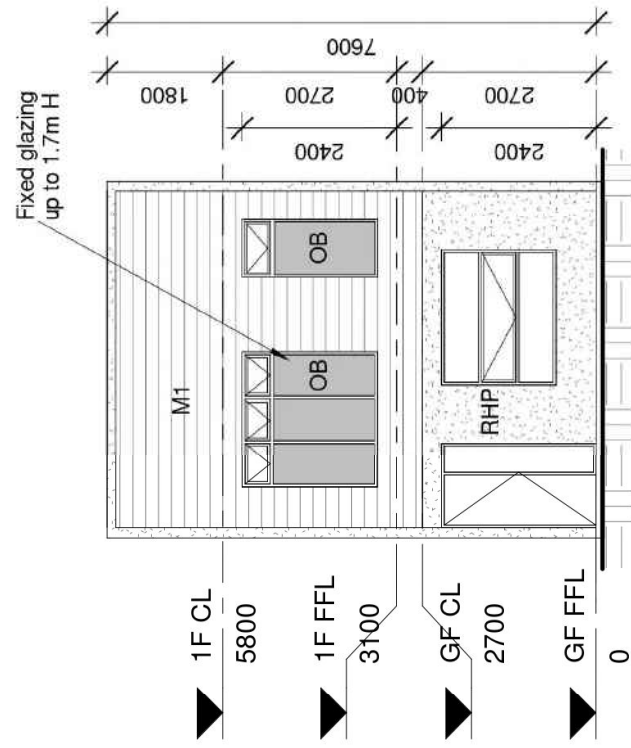
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 Sheet No. A105

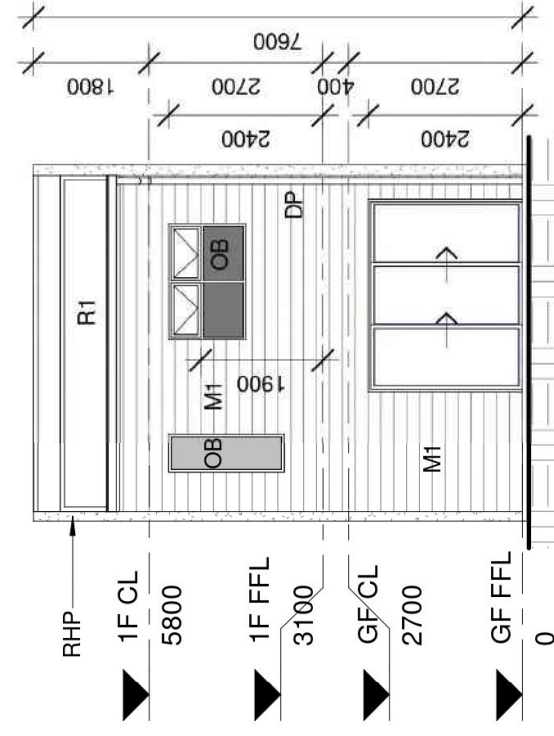
CONTRACTOR NOTE:
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Front Elevation

1 : 100



Rear Elevation

1 : 100

COLOUR SCHEDULE

Aluminium Windows	Dowel Satin Black
Aluminium Sliding Doors	Dowel Satin Black
Aluminium Fly Screen & Doors	Dowel Satin Black
Eave Lining	Dulux Natural White
Gutters	Rev Roofing Surfsmist
Metal Fascia	Rev Roofing Surfsmist
Downpipes	Dulux Surfsmist
Render Finish	Dulux Surfsmist
Front Door	Dulux Monument
Front Door Frame	Dulux Monument
Face Brick Cladding	PGH Tribeca Red
Grout Flush Joint	Brighton Light
Sectional Garage Door	Gilderol Hampton Surfsmist
Sectional Garage Door Windows	Traditional Single
Roofing	Surfmist
Meter Box	Surfmist
Framed Glass Balustrade	Satin Black
Front Fence (1.2m H)	Powder coated satin black
Rainwater tank	Surfmist or similar

EXTERNAL FINISH SCHEDULE

RHP	Rendered 50mm Hebel Power Panel Cladding
M1	Scyon Siria Cladding
R1	Colorbond Roof @ 3° Pitch
OB	Obscure Glazing

Mrs Tania Russell

5-9 Palmyra Ave, Torrensville

Palmyra Housing Development

**NEW CREATION GROUP
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309 North East Road, Hampstead Gardens

Phone: (08) 8367 5111

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Email: info@newcreationgroup.com.au

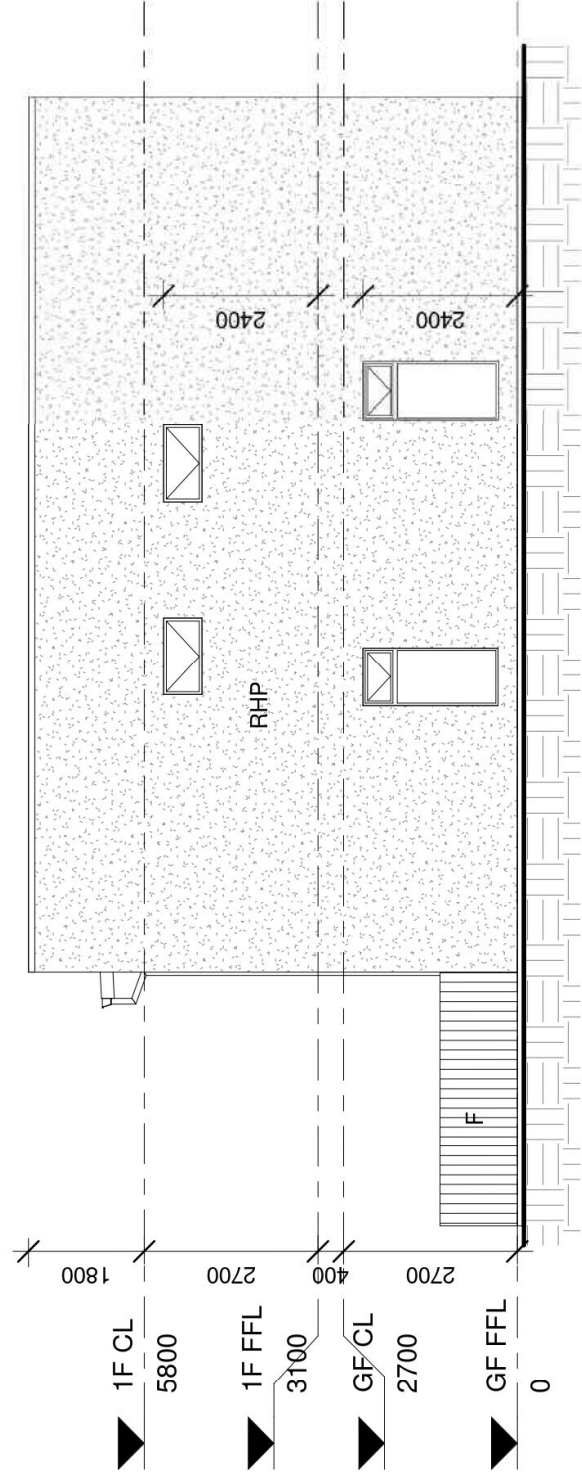
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Revision Date
17.08.21

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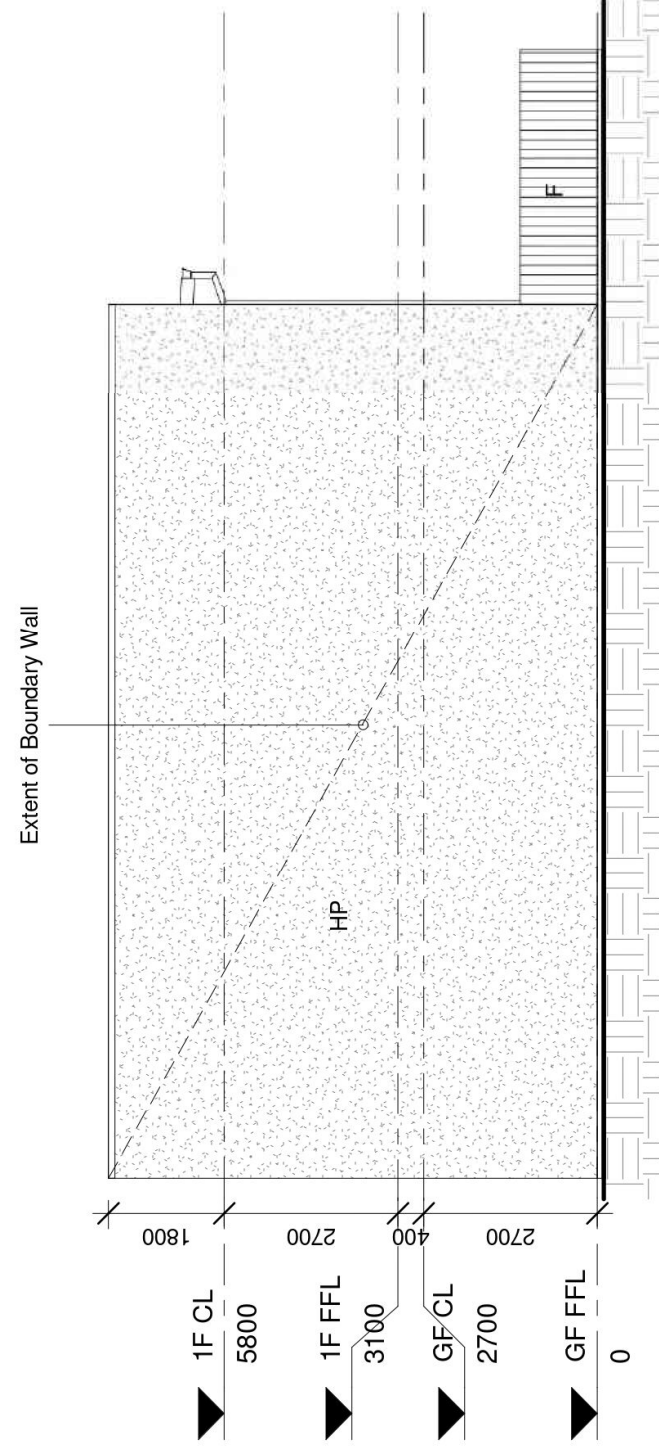
Sheet No.
A106





Side Elevation 1

1 : 100



Side Elevation 2

1 : 100

EXTERNAL FINISH SCHEDULE

- RHP Rendered 50mm Hebel Power Panel Cladding
- F 1.8m H Good Neighbour Colorbond Internal parti fence. Colour: Woodland Grey or similar
- HP 50mm Hebel Power Panel Cladding

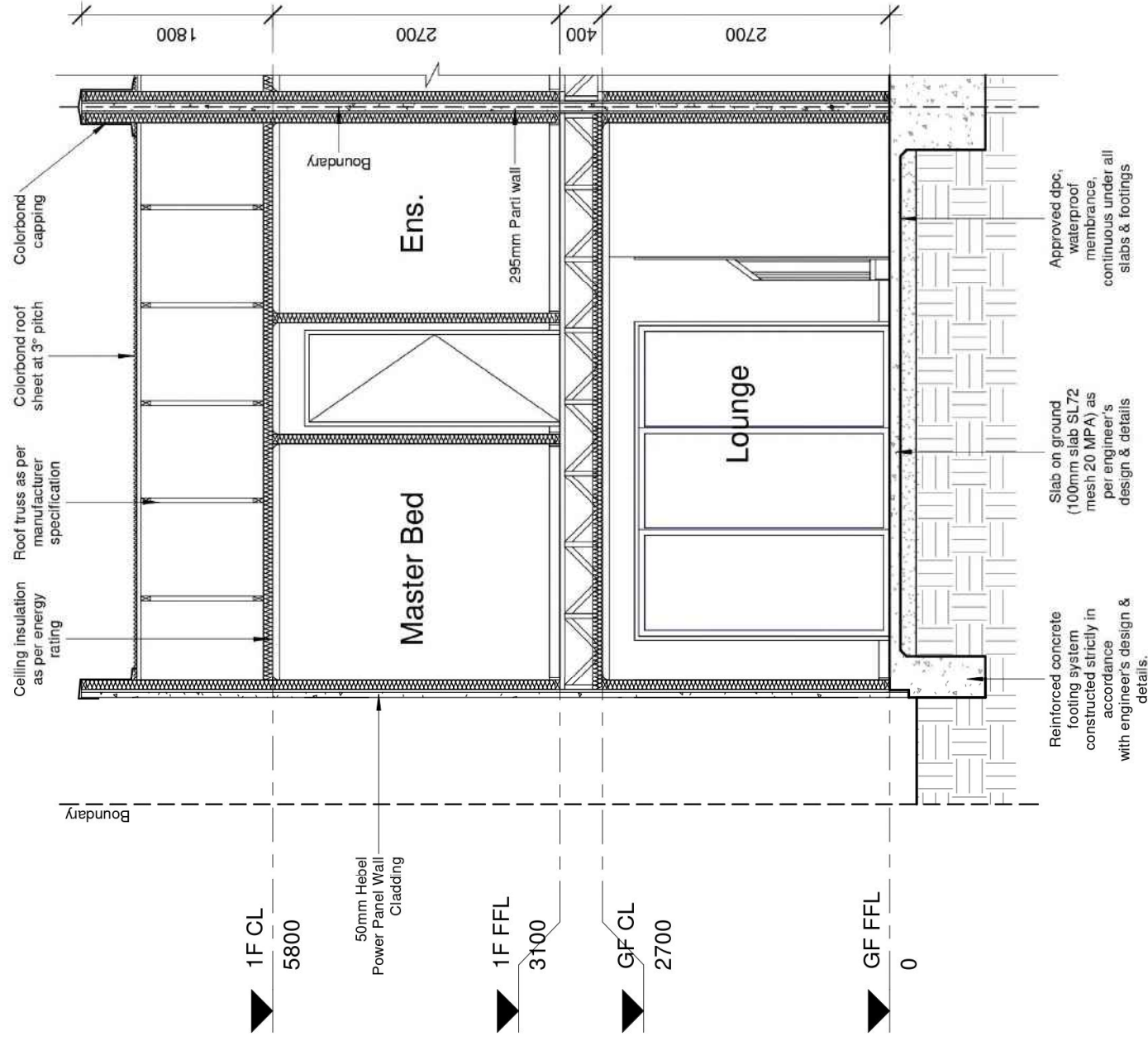
Mrs Tania Russell
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Revision Date
 17.08.21
 Scale
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 Sheet No.
 A107

CONTRACTOR NOTE:
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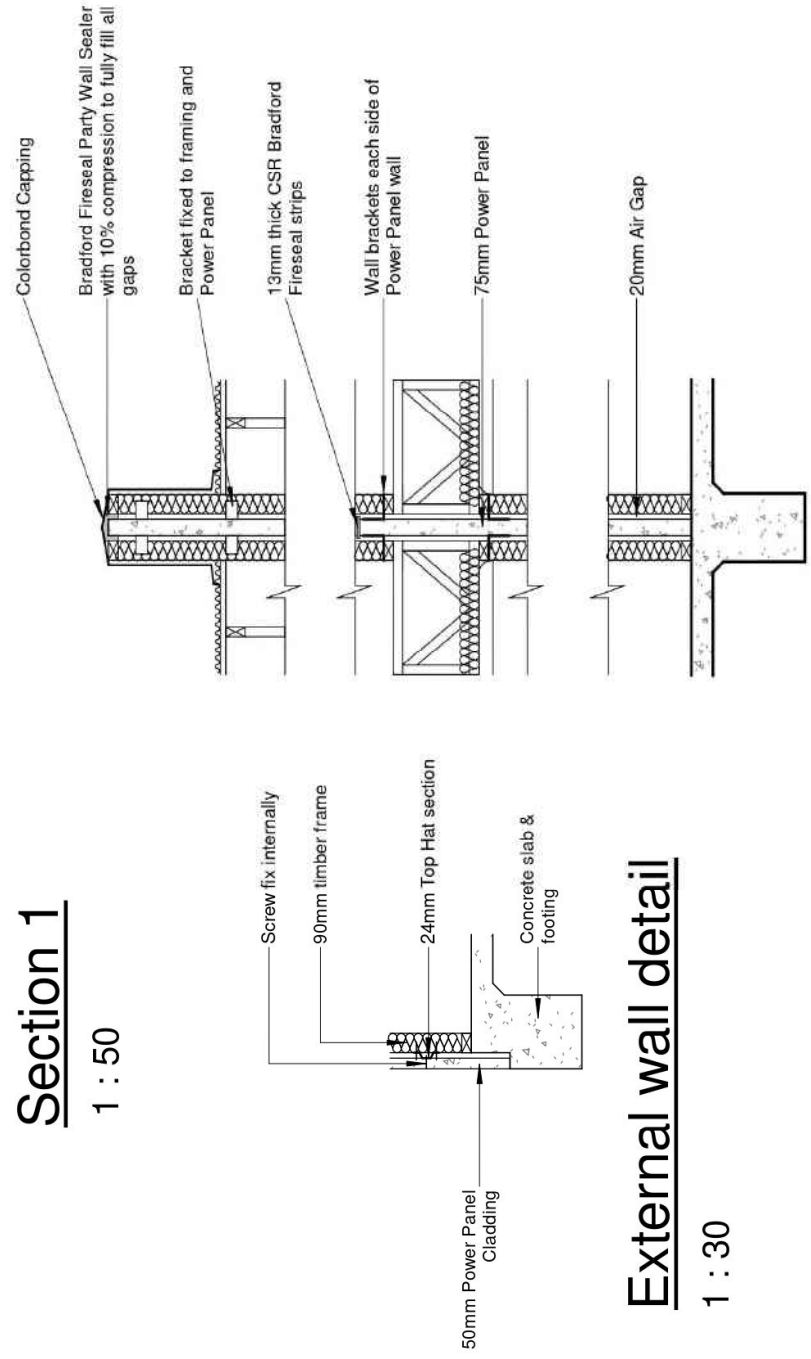
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Section 1

1 : 50



External wall detail

1 : 30

Parti wall detail

1 : 30

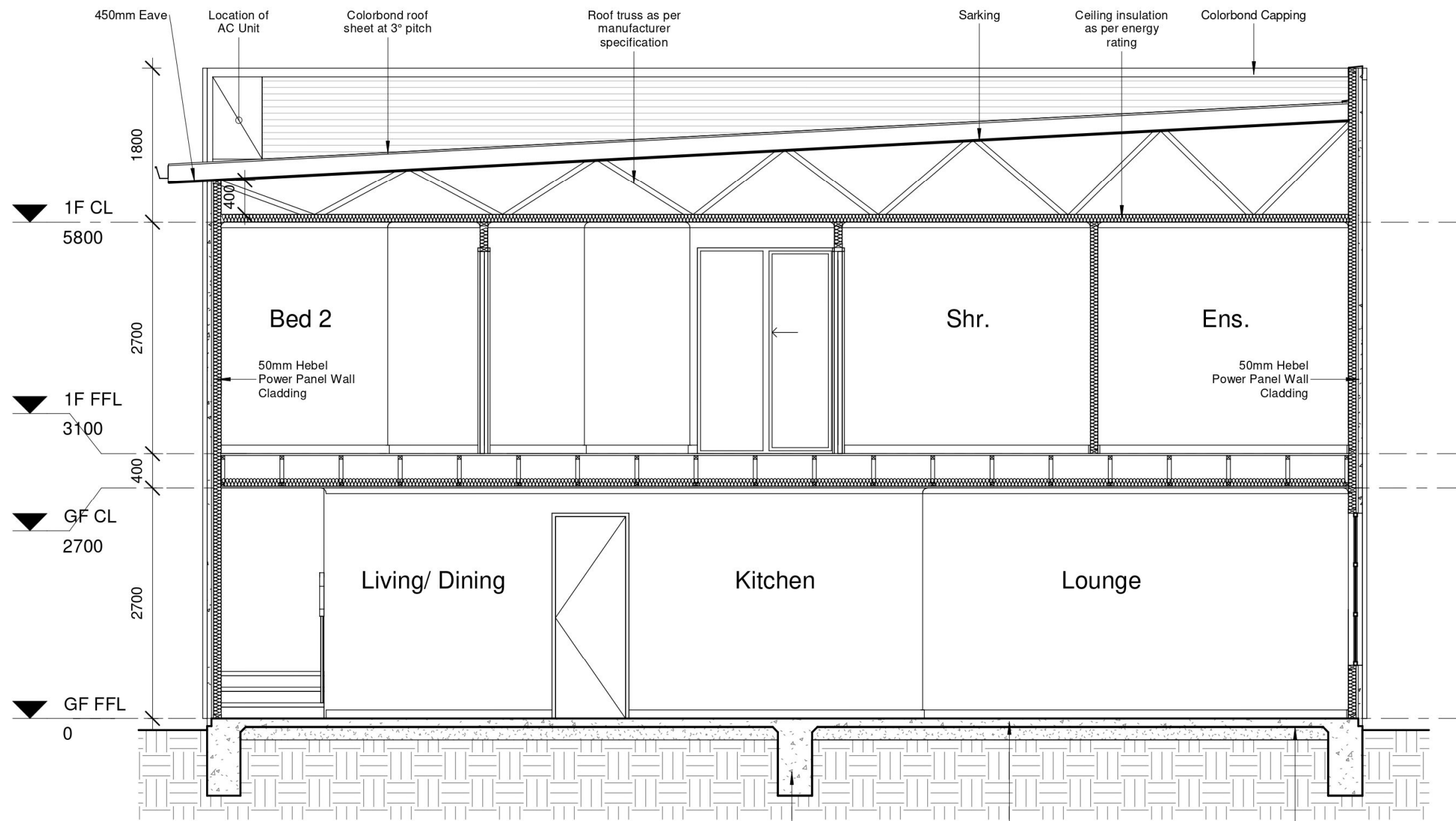
Mrs Tania Russell
 5-9 Palmyra Ave, Torrensville
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Section 2

1 : 50

Reinforced concrete footing system constructed strictly in accordance with engineer's design & details.

Slab on ground (100mm slab SL72 mesh 20 MPA) as per engineer's design & details

Approved dpc, waterproof membrane, continuous under all slabs & footings

5-9 Palmyra Ave, Torrensville
 Palmyra Housing Development

Revision Date
 17.08.21
 Scale
 1 : 50
 Sheet No.
 A109

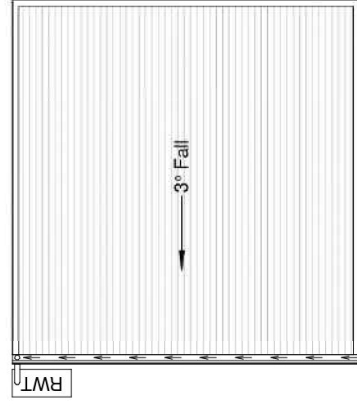
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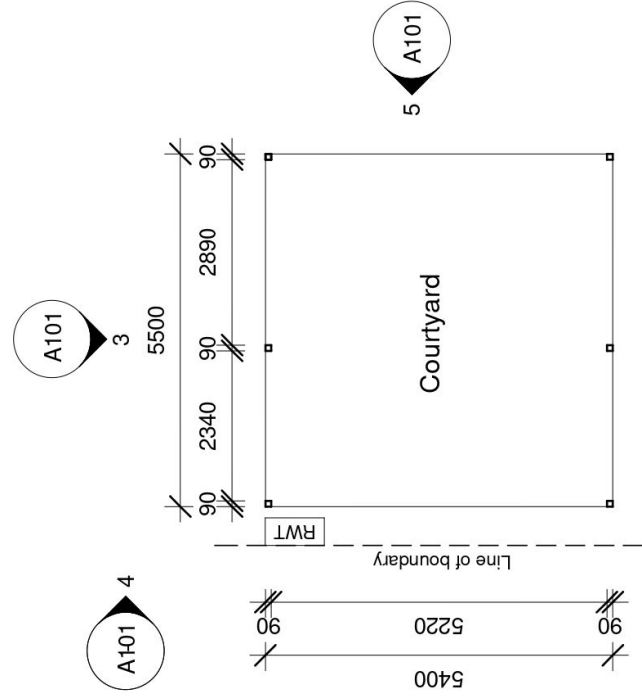
EXTERNAL FINISH SCHEDULE

- R1 Colorbond Roof @ 3° Pitch
- P 90 x 90mm Steel Post



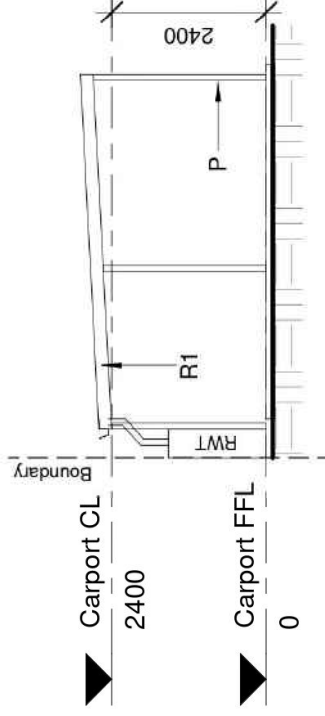
Roof Plan

1 : 100



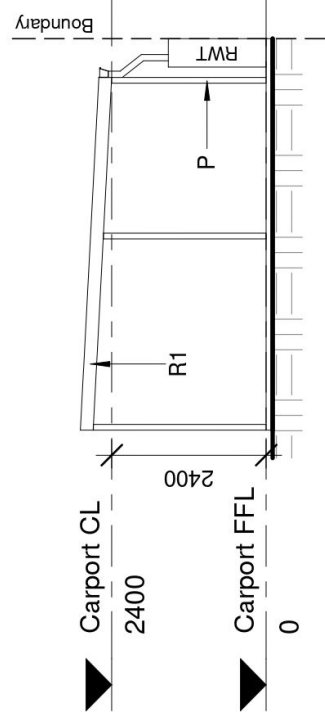
Carport Plan

1 : 100



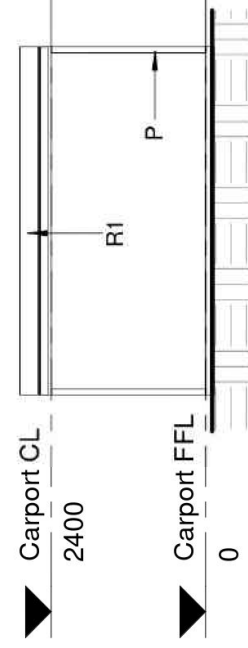
Side Elevation 2

1 : 100



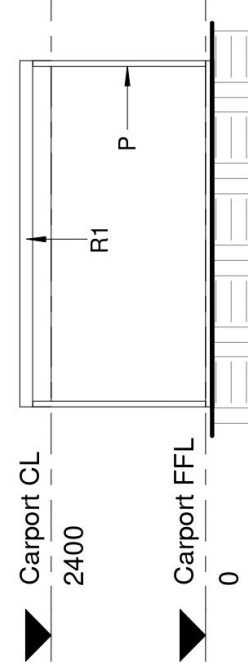
Side Elevation 1

1 : 100



Rear Elevation

1 : 100



Front Elevation

1 : 100

UNIT 17 CARPORT

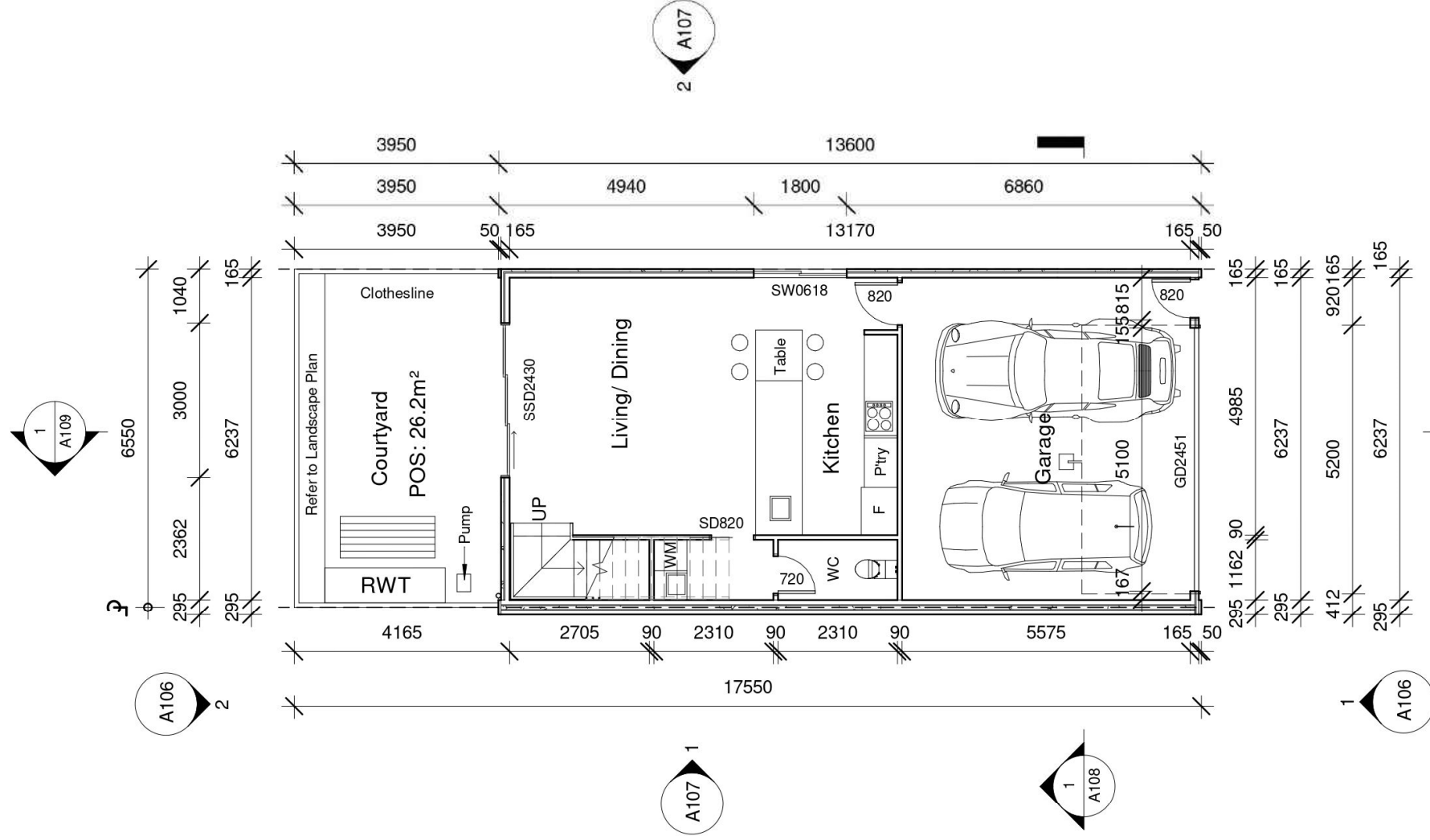
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Unit 18



Ground Floor

1 : 100

Area Schedule	
Name	Area

GF Living	50.53 m ²
Garage	37.89 m ²
1F Living	88.43 m ²
Grand total	176.85 m²

- WC Door to be fitted with lift off hinges
- Stair & balustrade to comply with part 3.9.2.1 of BCA
- RWT plumbed to WC & Laundry cold water tap

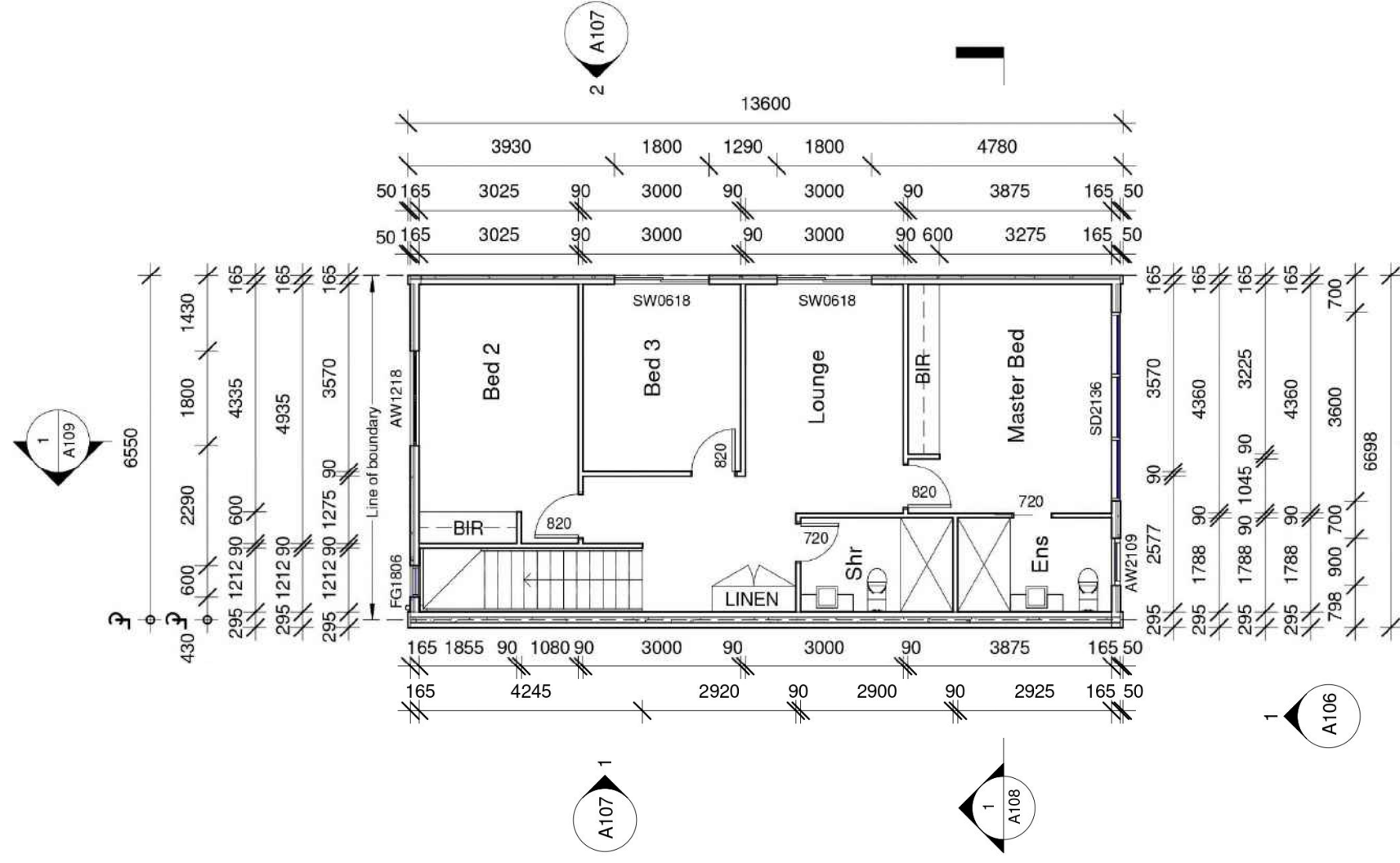
Mrs Tania Russell
 5-9 Palmyra Ave, Torrensville
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1 : 100
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A101

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1st Floor

1 : 100

Area Schedule	
Name	Area

GF Living	50.53 m ²
Garage	37.89 m ²
1F Living	88.43 m ²
Grand total	176.85 m²

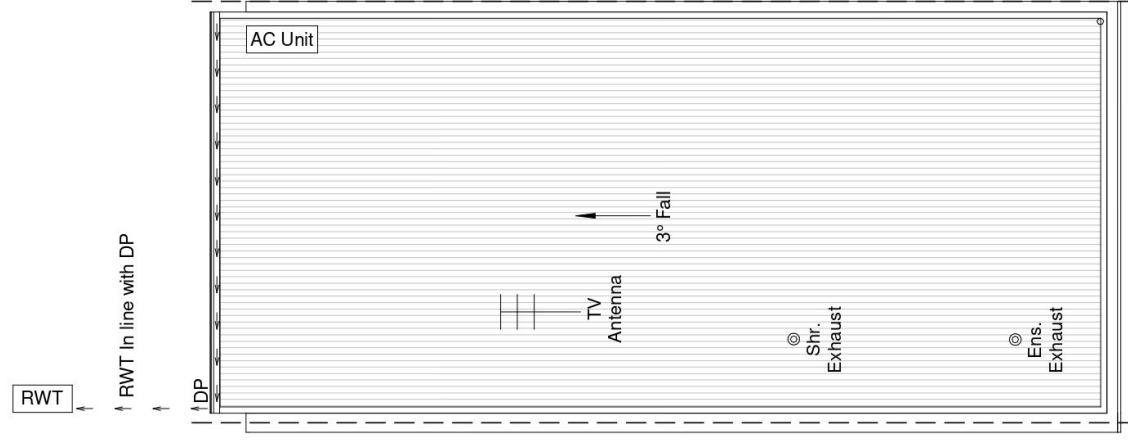
Mrs Tania Russell
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 Sheet No.: A102

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Roof Plan

1 : 100

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5-9 Palmyra Ave, Torrensville

Palmyra Housing Development

Revision Date
17.08.21

Scale
1 : 100

Sheet No.
A103

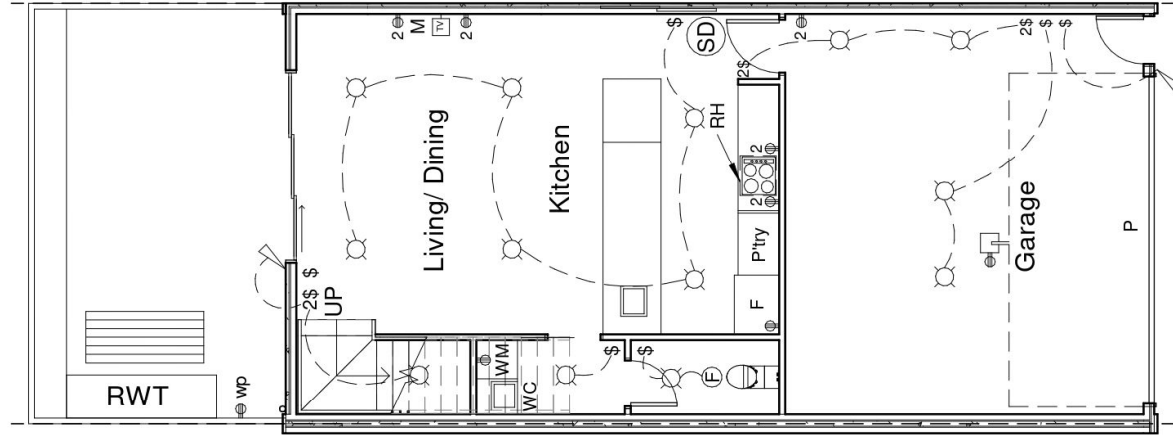
CONTRACTOR NOTE:

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Electrical Legend

- ⊙ SD Ceiling mounted smoke detector hard wired with battery back up
- ⊙ LED Downlight
- ⊙ 240 volt power outlet
- 2 ⊙ 240 volt double power outlet
- \$ Wall switch
- ⊙ F Exhaust
- M Modem
- ⊙ TV Point
- ⊙ wp 240 volt double weather proof power outlet
- ⊙ Sensor light

Ground Floor Electrical Layout

1 : 100

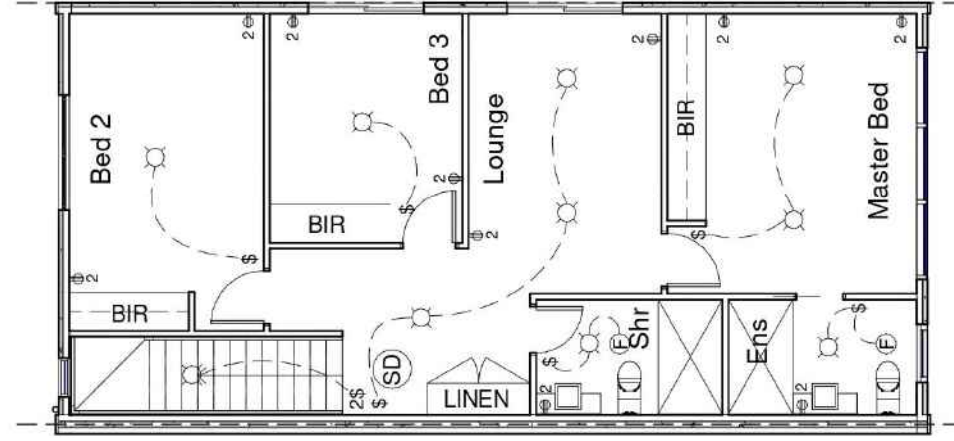
Mrs Tania Russell
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Revision Date
 17.08.21
 Scale
 1 : 100
 Sheet No.
 A104

CONTRACTOR NOTE:
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Electrical Legend

- (SD) Ceiling mounted smoke detector hard wired with battery back up
- ☉ LED downlight
- ⦿ 240 volt power outlet
- 2⦿ 240 volt double power outlet
- \$ Wall switch
- (F) Exhaust Fan

1st Floor Electrical Layout

1 : 100

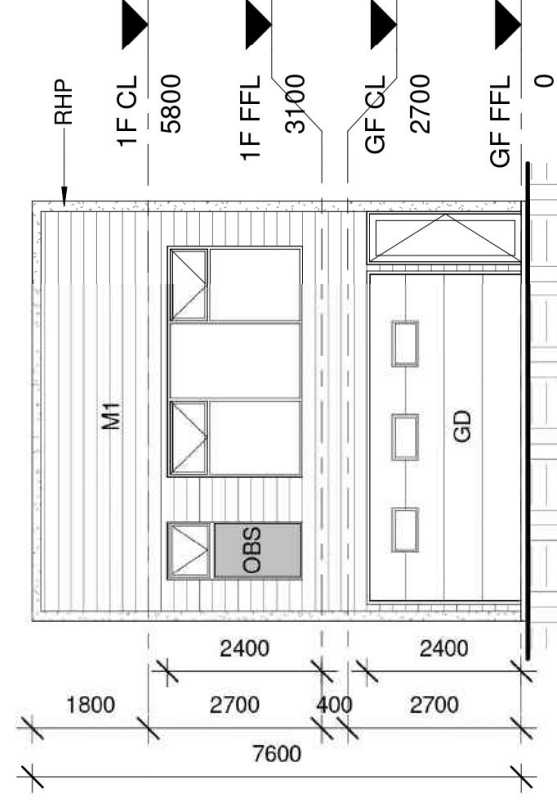
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 Sheet No.: A105

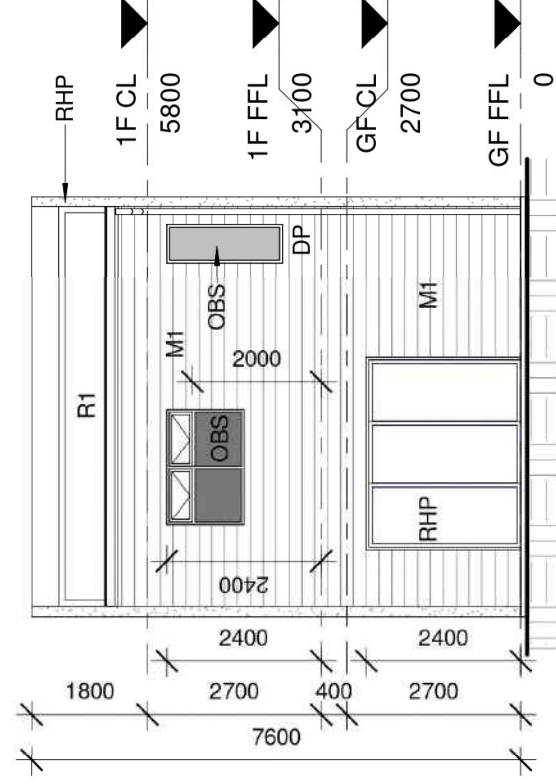
CONTRACTOR NOTE:
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Front Elevation

1 : 100



Rear Elevation

1 : 100

COLOUR SCHEDULE

Aluminium Windows	Dowel Satin Black
Aluminium Sliding Doors	Dowel Satin Black
Aluminium Fly Screen & Doors	Dowel Satin Black
Eave Lining	Dulux Natural White
Gutters	Rev Roofing Surfsmist
Metal Fascia	Rev Roofing Surfsmist
Downpipes	Dulux Surfsmist
Render Finish	Dulux Surfsmist
Front Door	Dulux Monument
Front Door Frame	Dulux Monument
Face Brick Cladding	PGH Tribeca Red
Grout Flush Joint	Brighton Light
Sectional Garage Door	Gliderol Hampton Surfsmist
Sectional Garage Door Windows	Traditional Single
Roofing	Surfmist
Meter Box	Surfmist
Framed Glass Balustrade	Satin Black
Front Fence (1.2m H)	Powder coated satin black
Rainwater tank	Surfmist or similar

EXTERNAL FINISH SCHEDULE

RHP	Rendered 50mm Hebel Power Panel Cladding
M1	Scyon Stria Cladding
GD	2.4m x 5.1m Panel Lift Door

Mrs Tania Russell

5-9 Palmyra Ave, Torrensville

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17.08.21

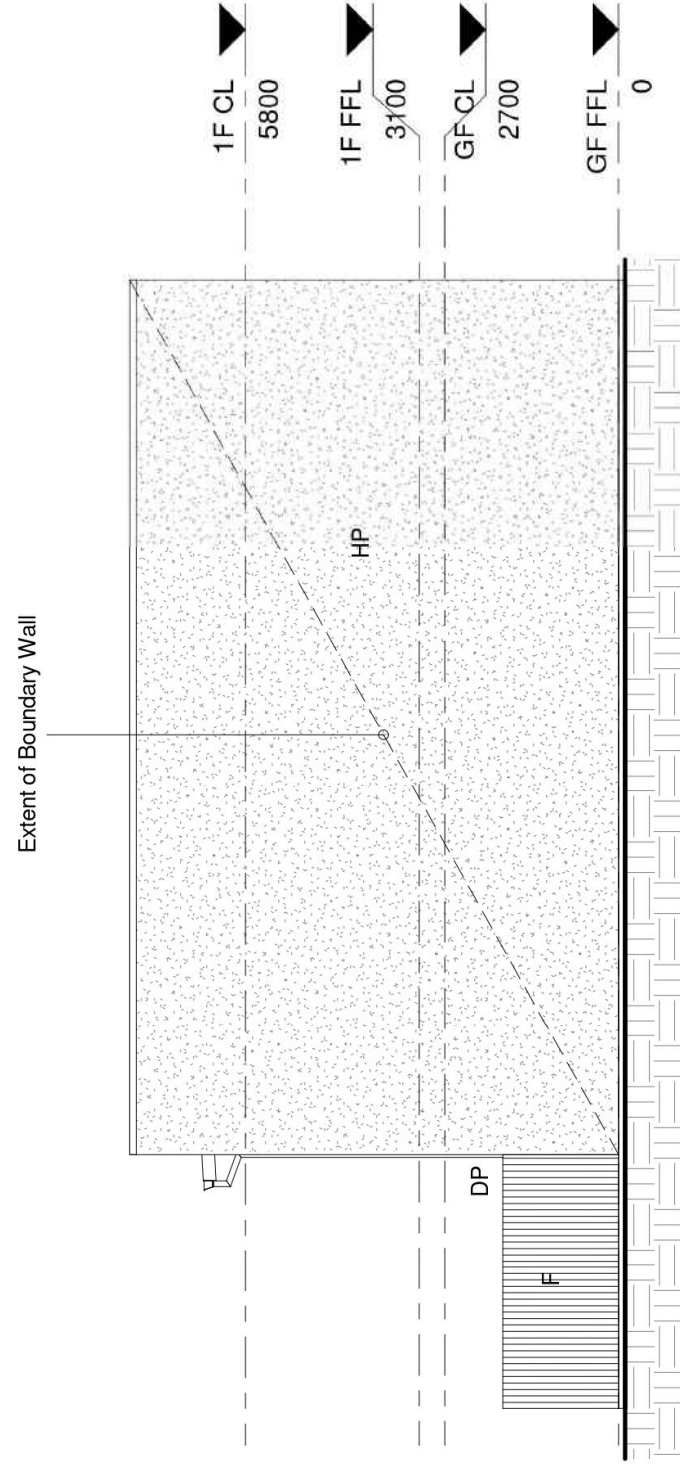
Scale
As Indicated

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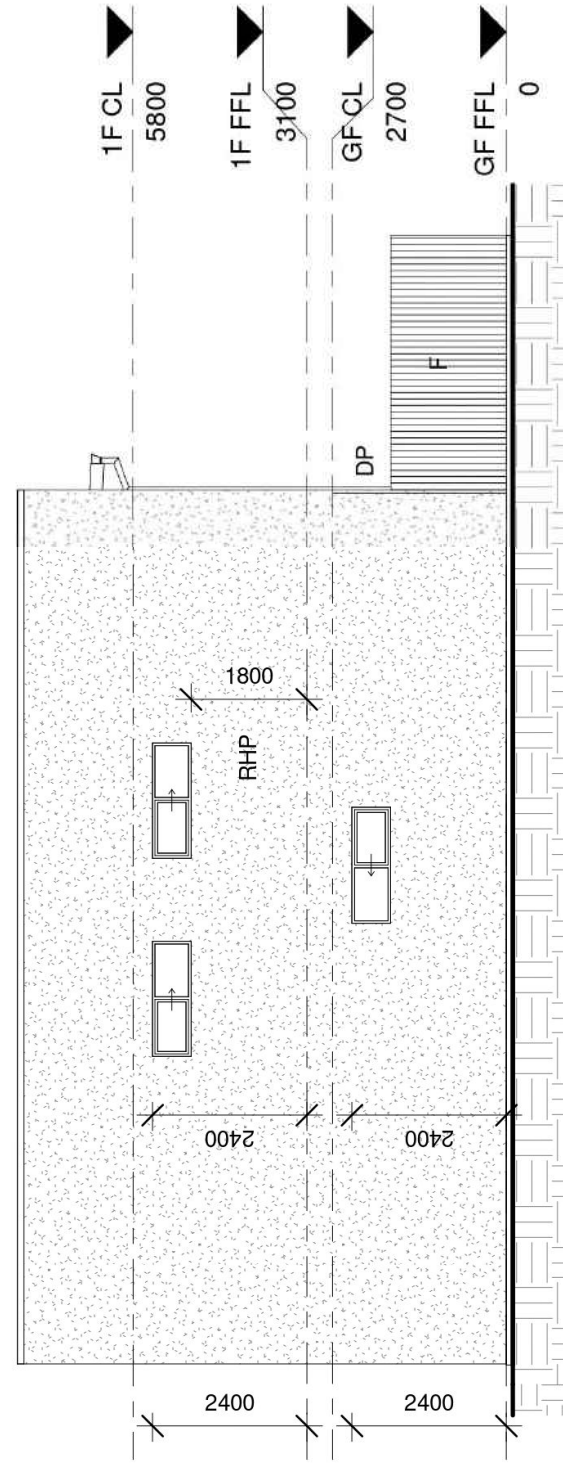
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Side Elevation 1

1 : 100



Side Elevation 2

1 : 100

EXTERNAL FINISH SCHEDULE

- RHP Rendered 50mm Hebel Power Panel Cladding
- OB Obscured Glazing
- F 1.8m H Good Neighbour Colorbond Internal parti fence. Colour: Woodland Grey or similar

Mrs Tania Russell

5-9 Palmyra Ave, Torrensville

Palmyra Housing Development

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17.08.21

Scale
As indicated

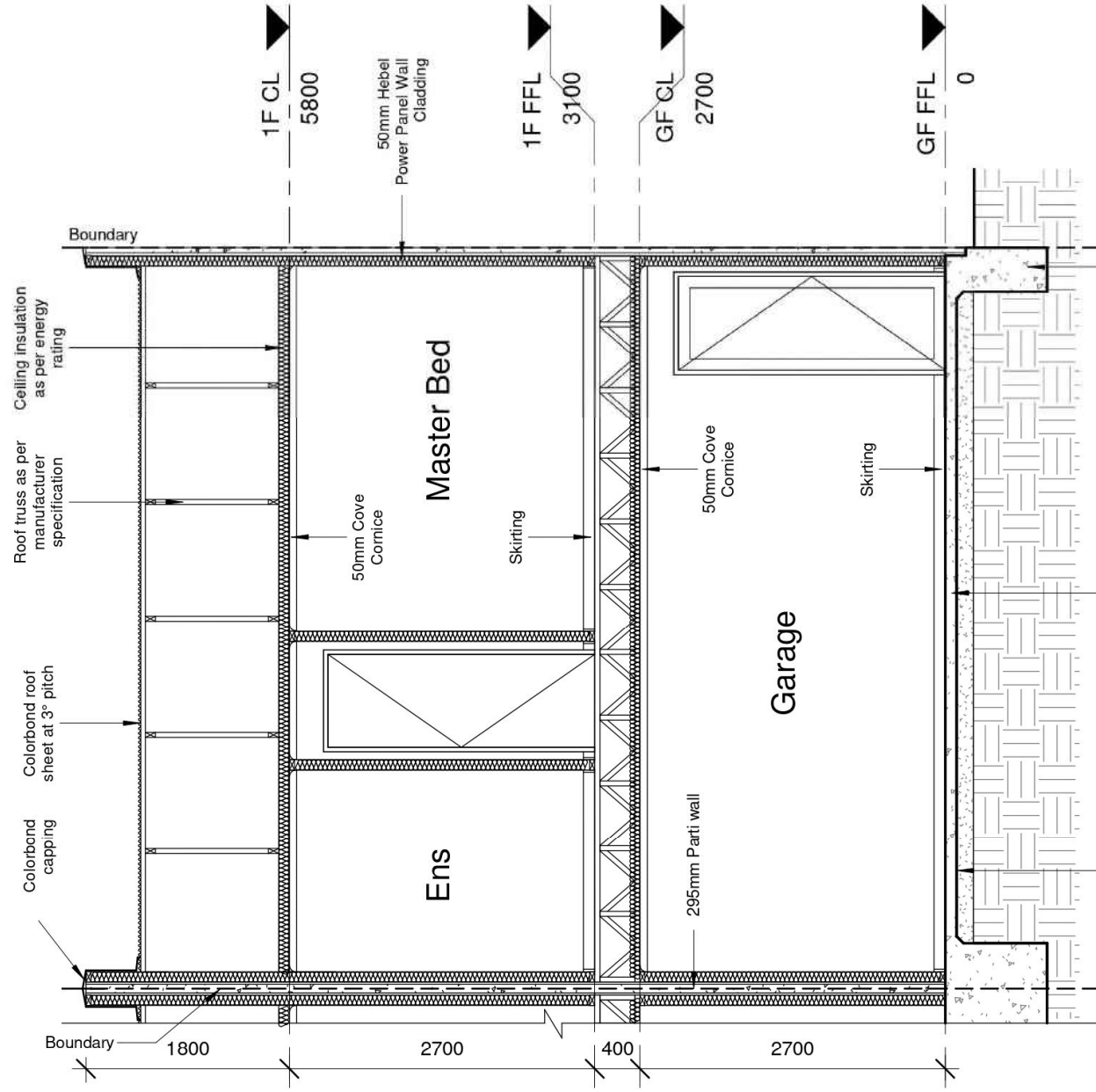
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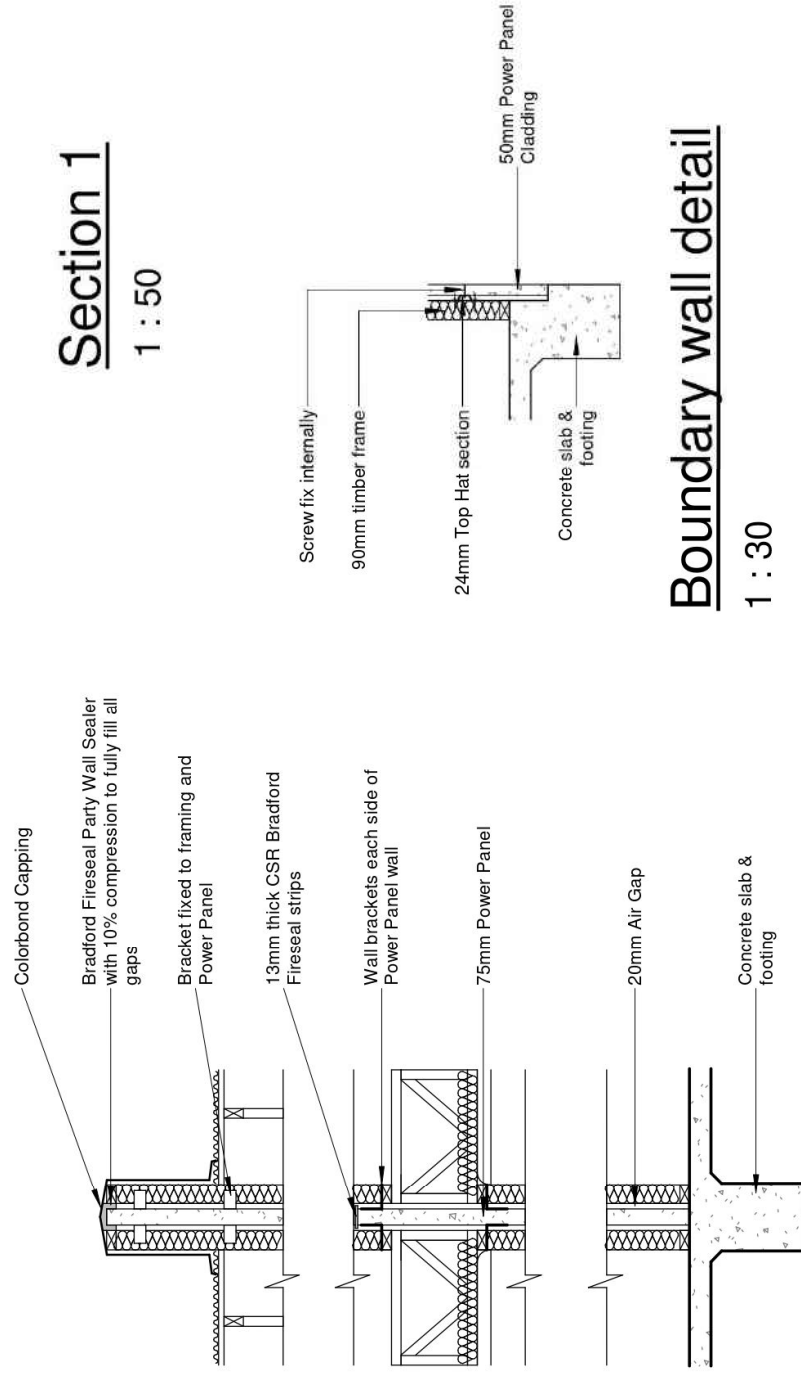


Approved opc. waterproof membranes, continuous under all slabs & footings

Slab on ground (100mm slab SL72 mesh 20 MPA) as per engineer's design & details

Reinforced concrete footing system constructed strictly in accordance with engineer's design & details.

Section 1
1 : 50



Boundary wall detail
1 : 30

Parti Wall Detail
1 : 30

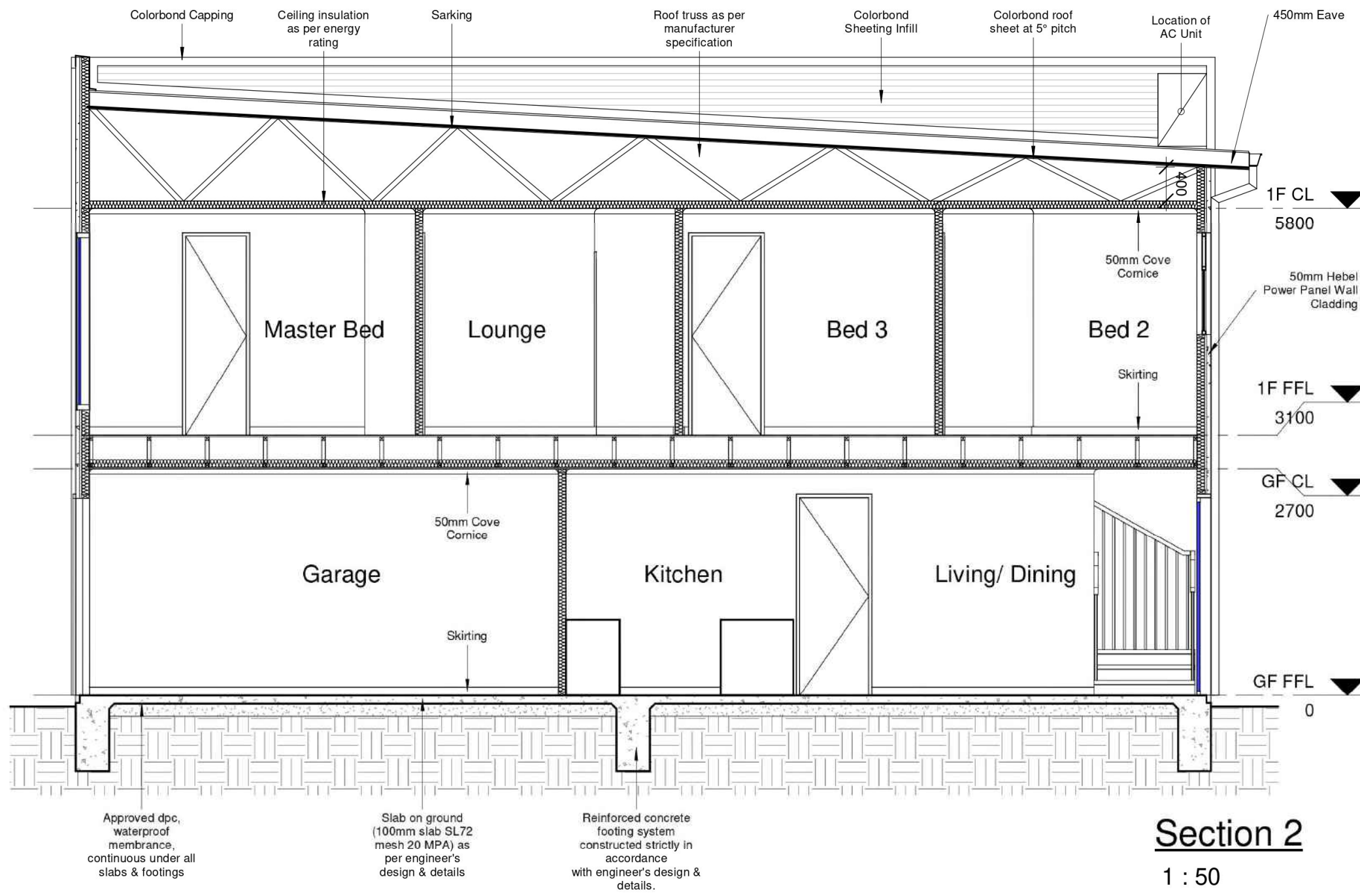


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Section 2
1 : 50

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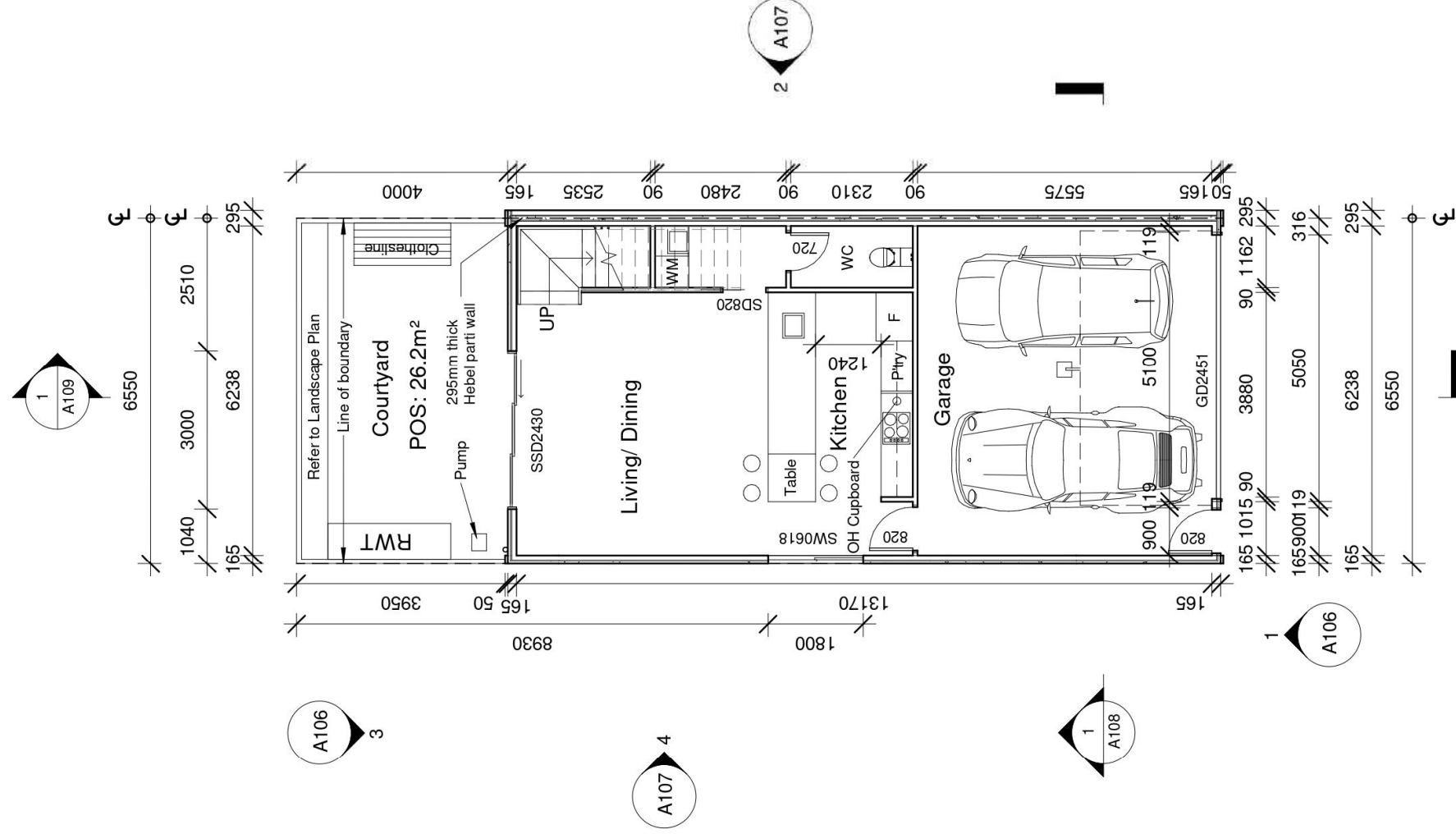
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NewCreation Group

WINNER 2014 H&S South Australia Regional Award for Best Project \$350,001 - \$550,000
WINNER 2015 H&S South Australia Business Partner
WINNER 2016 H&S South Australia Regional Award for Best Project Up to \$200,000
HIGHLY COMMENDED 2019 H&S South Australia Regional Award for Best Project \$500,001 - \$1,000,000
WINNER 2019 H&S South Australia Regional Award for Best Project \$100,001 - \$500,000

Unit 19



Ground Floor

1 : 100

Area Schedule	
Name	Area

GF Living	50.53 m ²
Garage	37.90 m ²
1F Living	88.43 m ²
Grand total	176.86 m²

-WC Door to be fitted with lift off hinges

-Stair & balustrade to comply with part 3.9.2.1 of BCA

-RWT plumbed to WC & laundry cold water tap

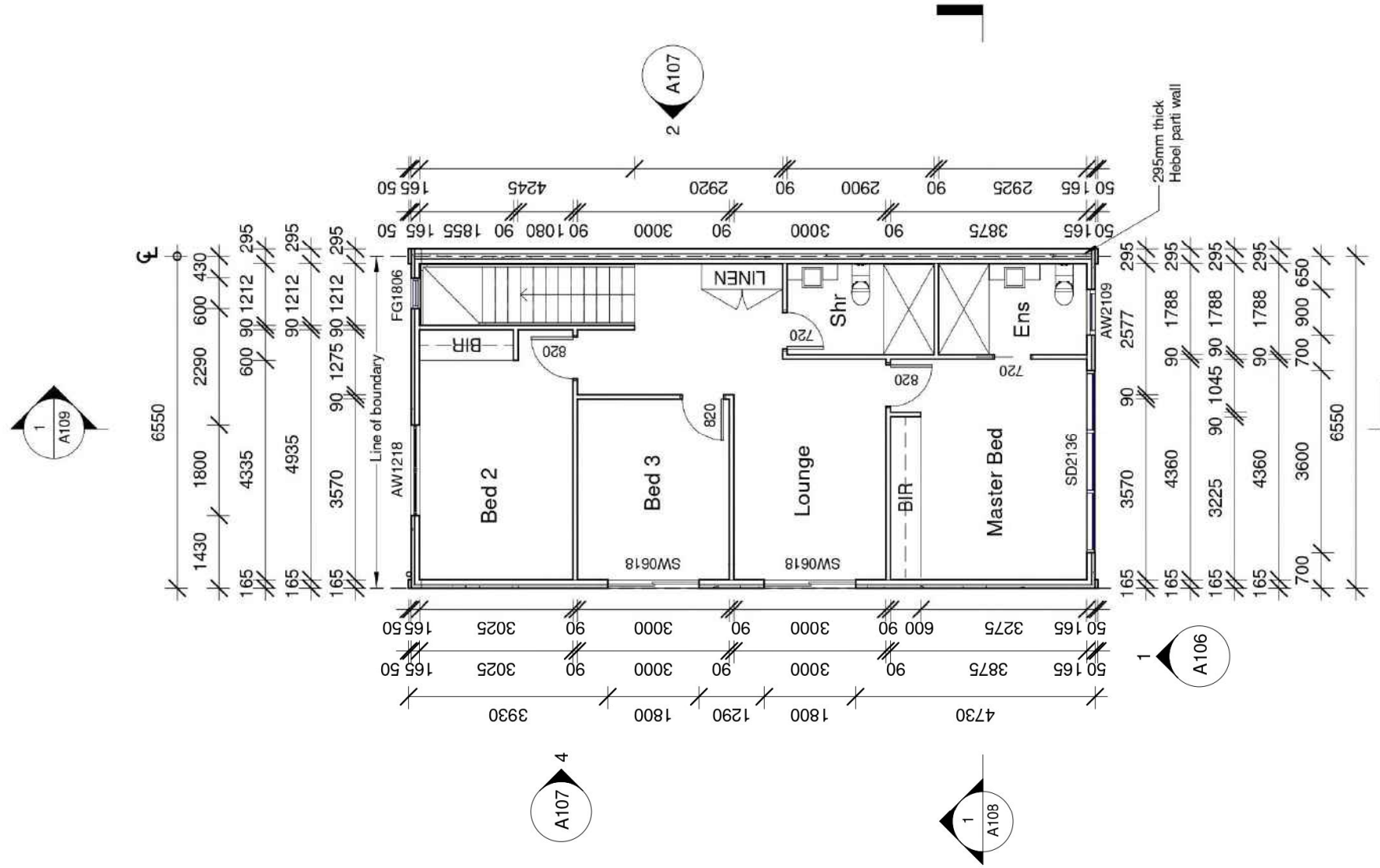
Mrs Tania Russell
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1st Floor

1 : 100

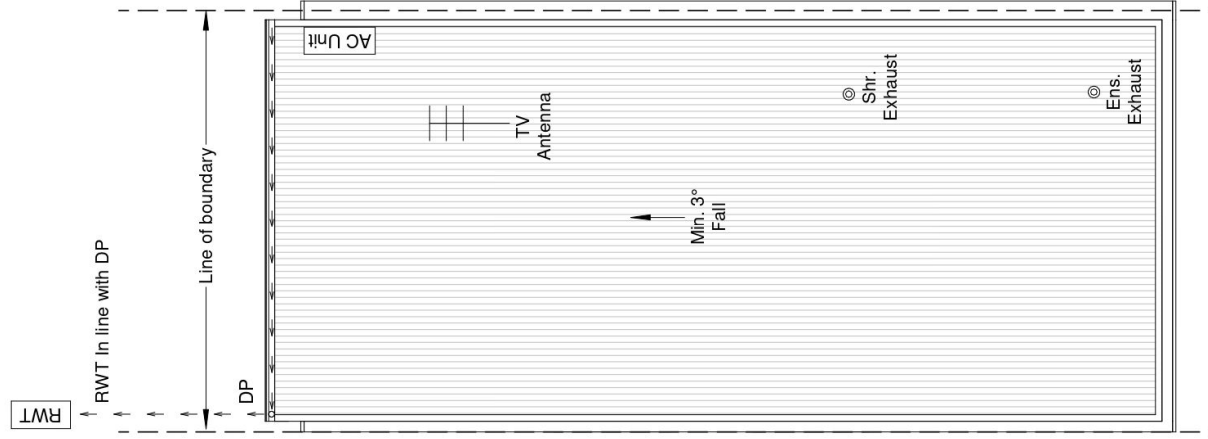
Area Schedule	
Name	Area
GF Living	50.53 m ²
Garage	37.90 m ²
1F Living	88.43 m ²
Grand total	176.86 m²



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 Palmyra Housing Development



Roof Plan

1 : 100

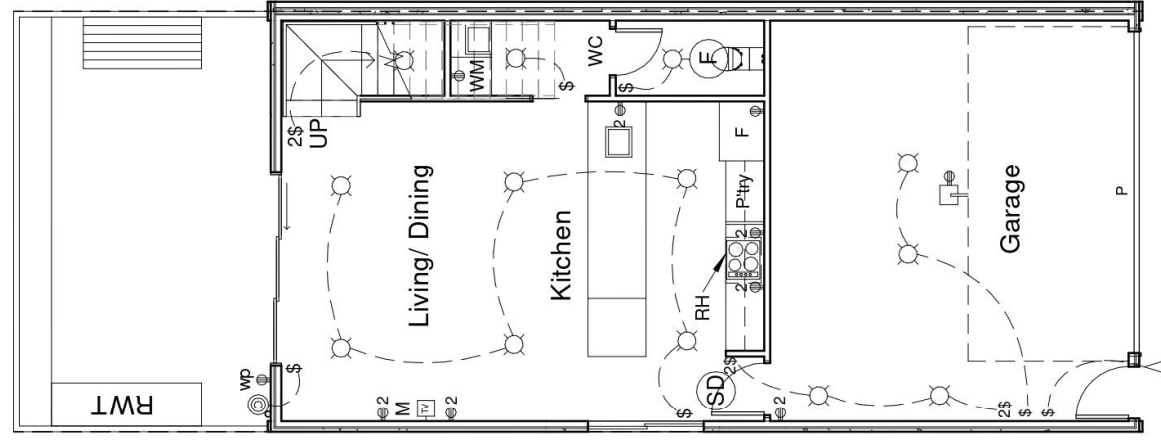
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Electrical Legend

- Ⓢ Ceiling mounted smoke detector hard wired with battery back up
- Ⓛ LED Downlight
- Ⓜ 240 volt power outlet
- 2Ⓜ 240 volt double power outlet
- Ⓢ Wall switch
- ⓕ Exhaust
- Ⓞ Outdoor LED light
- M Modem
- TV TV Point
- Ⓜwp 240 volt double weather proof power outlet
- Ⓛ Sensor light
- RH Rangehood
- P Automated Panel lift door

Ground Floor Electrical Layout

1 : 100

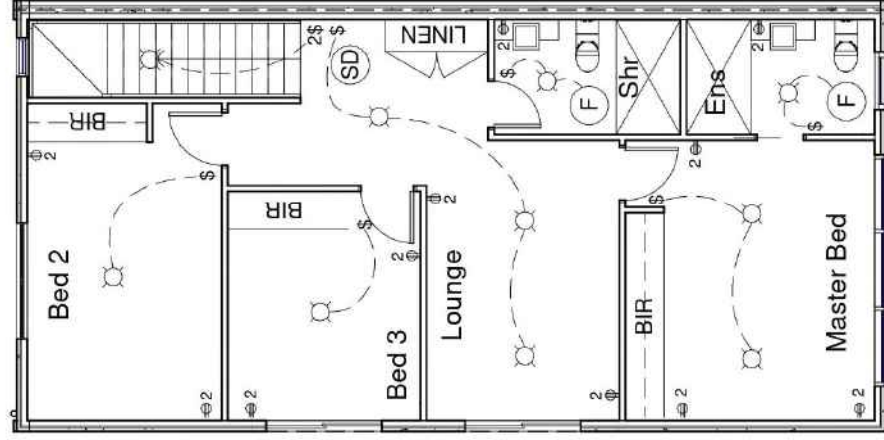
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Electrical Legend

- Ⓢ Ceiling mounted smoke detector hard wired with battery back up
- Ⓛ LED Downlight
- Ⓜ 240 volt power outlet
- 2Ⓜ 240 volt double power outlet
- Ⓢ Wall switch
- Ⓛ Exhaust

1st Floor Electrical Layout

1 : 100

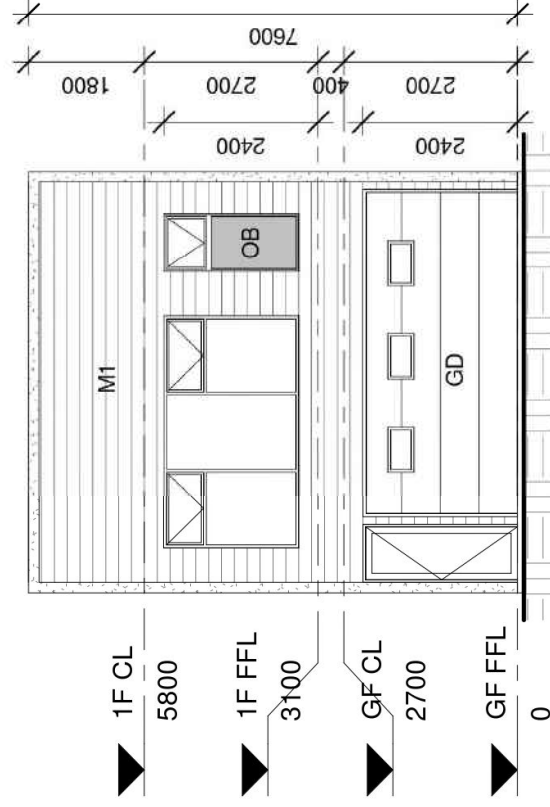
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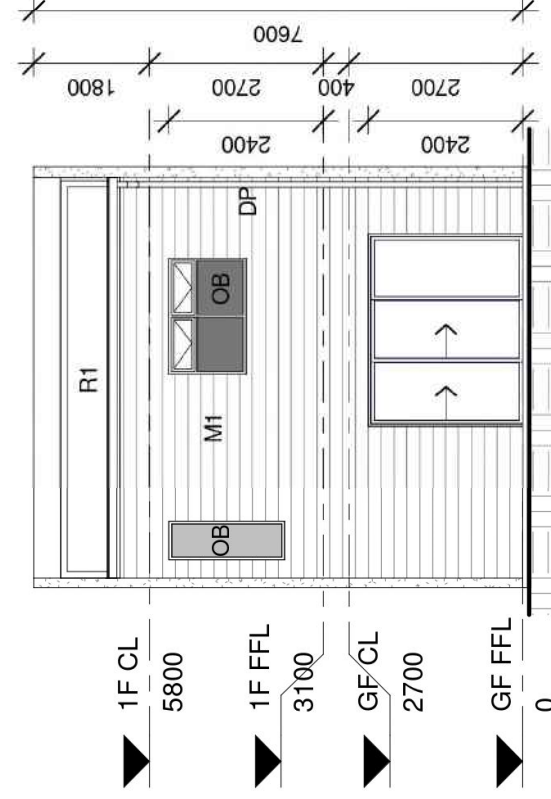
CONTRACTOR NOTE:
 CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK. FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY.





Front Elevation

1 : 100



Rear Elevation

1 : 100

COLOUR SCHEDULE

Aluminium Windows	Dowel Satin Black
Aluminium Sliding Doors	Dowel Satin Black
Aluminium Fly Screen & Doors	Dowel Satin Black
Eave Lining	Dulux Natural White
Gutters	Rev Roofing Surfsmist
Metal Fascia	Rev Roofing Surfsmist
Downpipes	Dulux Surfsmist
Render Finish	Dulux Surfsmist
Front Door	Dulux Monument
Front Door Frame	Dulux Monument
Face Brick Cladding	PGH Tribeca Red
Grout Flush Joint	Brighton Light
Sectional Garage Door	Gliderol Hampton Surfsmist
Sectional Garage Door Windows	Traditional Single
Roofing	Surfmist
Meter Box	Surfmist
Framed Glass Balustrade	Satin Black
Front Fence (1.2m H)	Powder coated satin black
Rainwater tank	Surfmist or similar

EXTERNAL FINISH SCHEDULE

RHP	Rendered 50mm Hebel Power Panel Cladding
M1	Scyon Stria Cladding
GD	2.4m x 4.8m Panel Lift Door
OB	Obscure Glazing

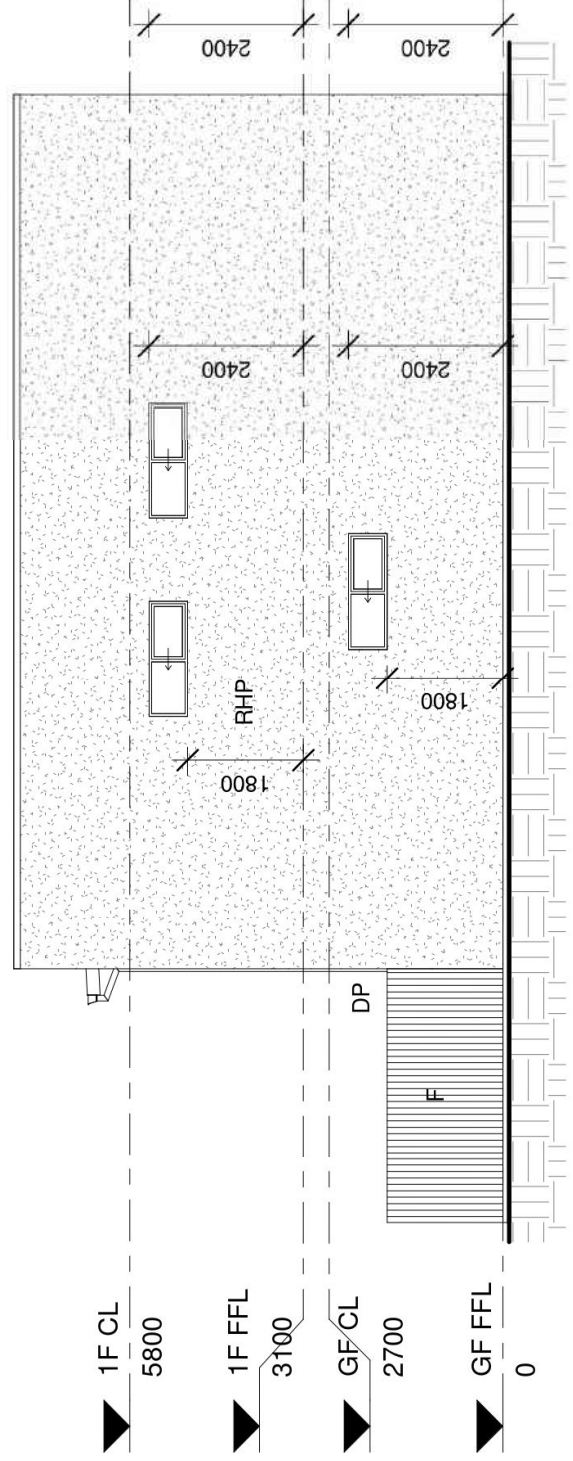
Mrs Tania Russell
 5-9 Palmyra Ave, Torrensville
 Palmyra Housing Development

**NEW CREATION GROUP
 BUILDING CONTRACTORS**
 309 North East Road, Hampstead Gardens
 Phone: (08) 8367 5111
 Fax: (08) 8367 5333
 Email: info@newcreationgroup.com.au

Revision Date: 17.08.21
 Scale: As Indicated
 Sheet No.: A106

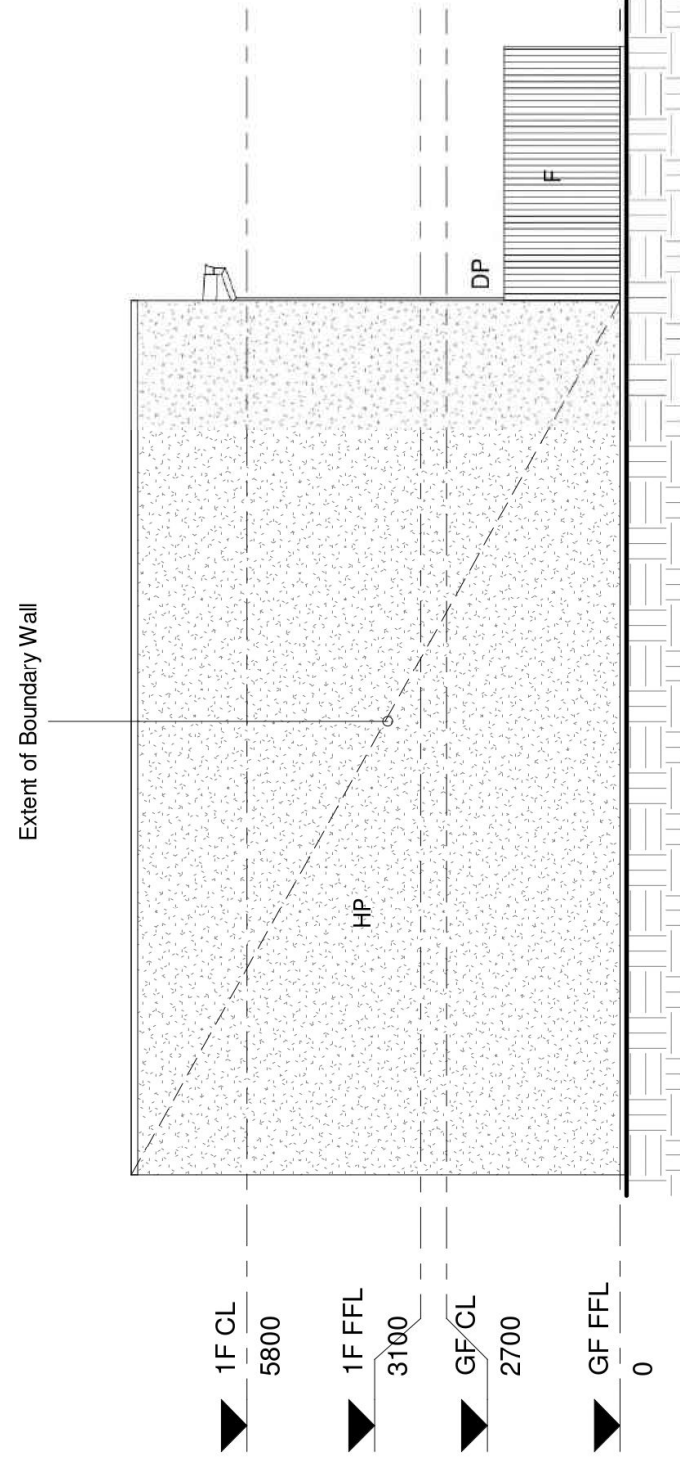
CONTRACTOR NOTE:
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Side Elevation 1

1 : 100



Side Elevation 2

1 : 100

EXTERNAL FINISH SCHEDULE

RHP	Rendered 50mm Hebel Power Panel Cladding
HP	50mm Hebel Power Panel Cladding
F	1.8m H Good Neighbour Colorbond Internal parti fence. Colour: Woodland Grey or similar
DP	Downpipe

Mrs Tania Russell

5-9 Palmyra Ave, Torrensvile

Palmyra Housing Development

Revision Date
17.08.21

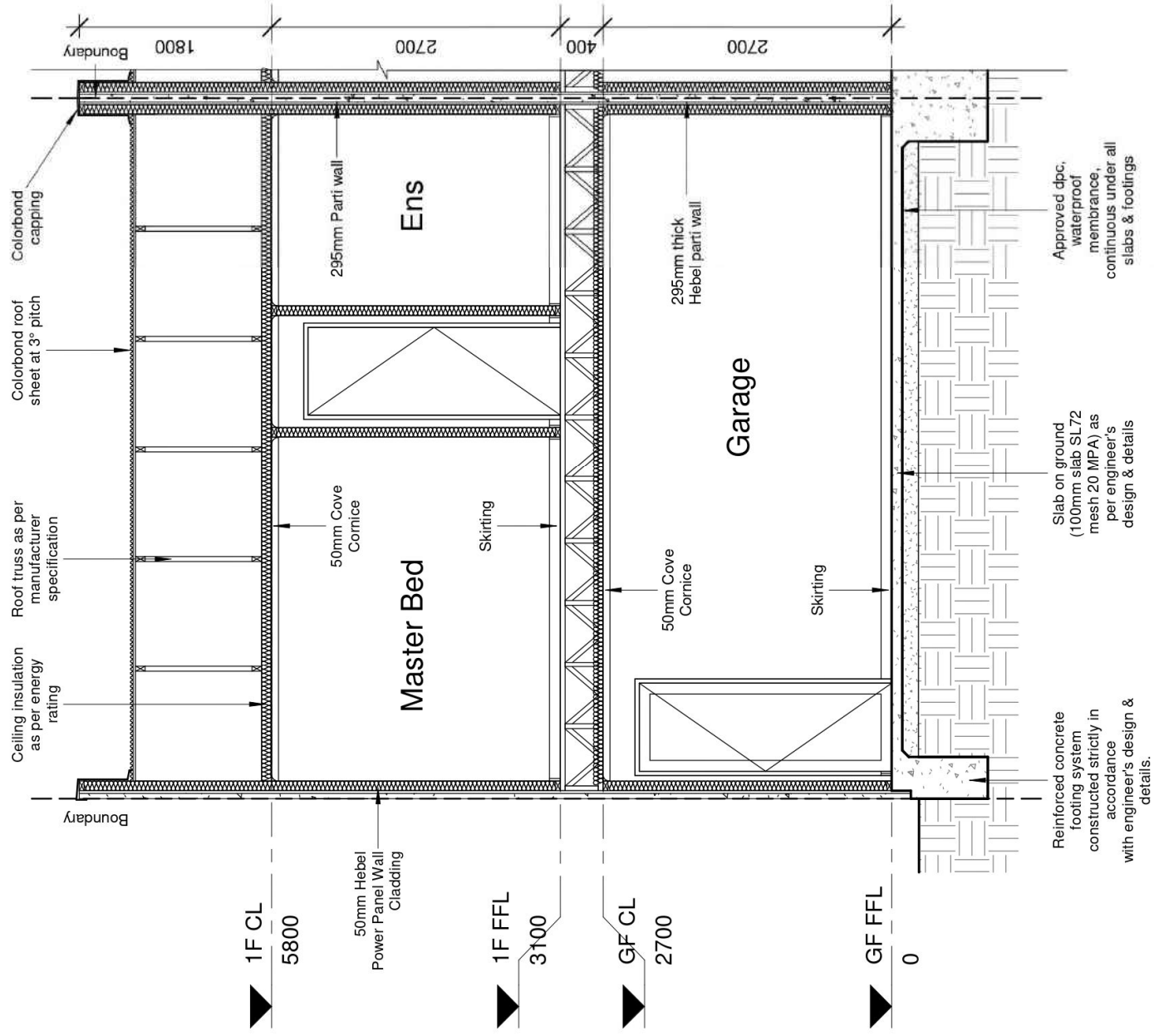
Scale
As indicated

Sheet No.
A107

CONTRACTOR NOTE:
CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK. FIGURED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY.

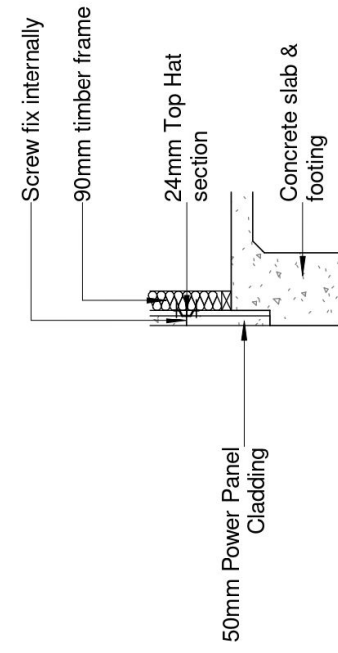
NEW CREATION GROUP BUILDING CONTRACTORS
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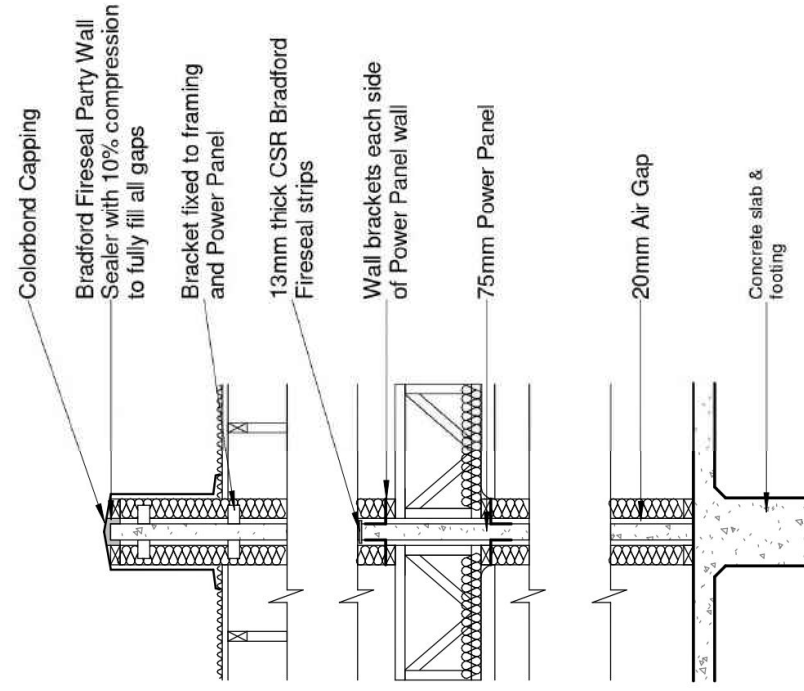
Section 1

1 : 50



Boundary wall detail

1 : 30



Mrs Tania Russell

5-9 Palmyra Ave, Torrensville

Palmyra Housing Development

Revision Date
17.08.21

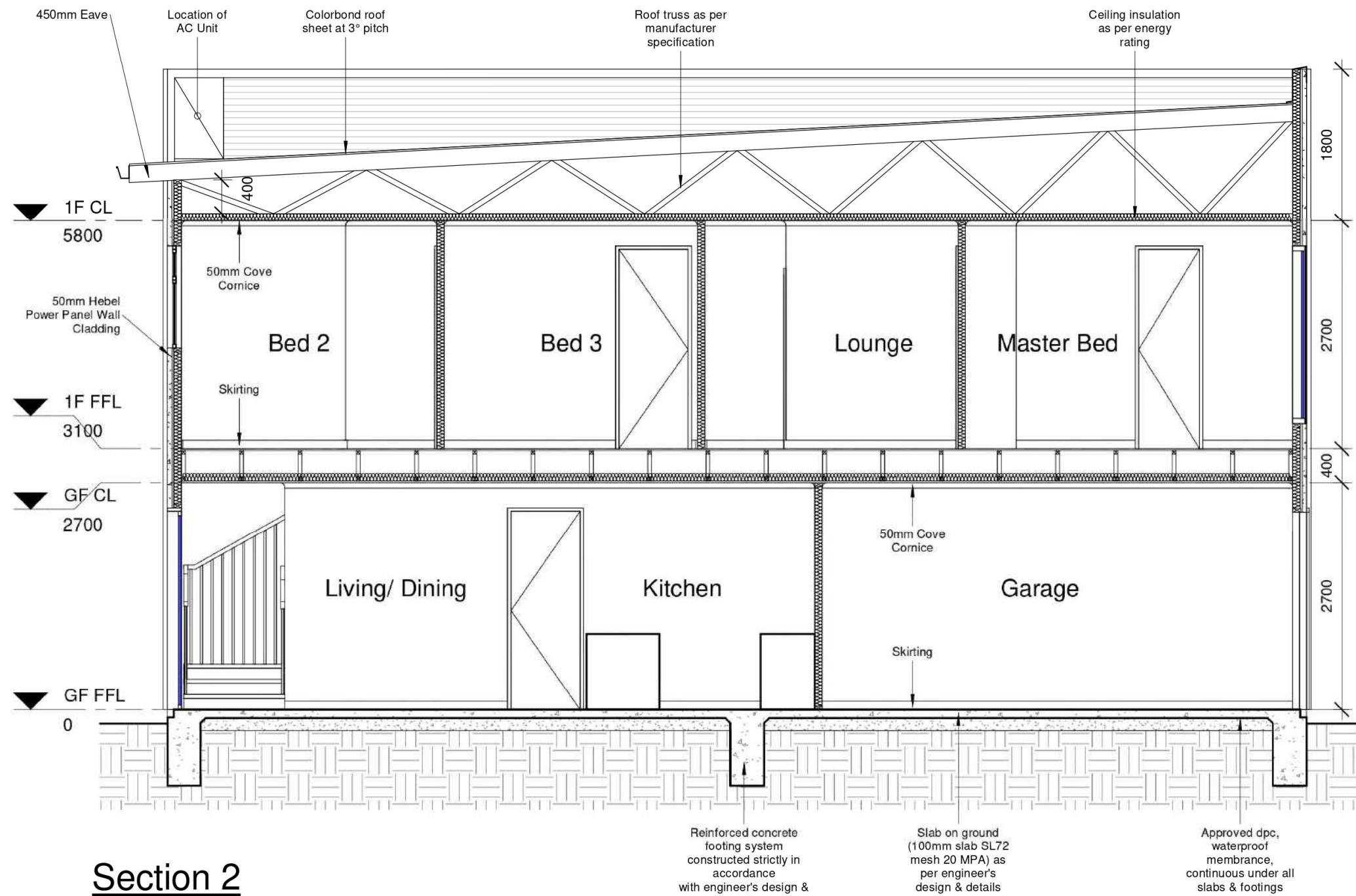
Scale
As indicated

Sheet No.
A108

CONTRACTOR NOTE:
CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK. FIGURED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY.

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Section 2

1 : 50

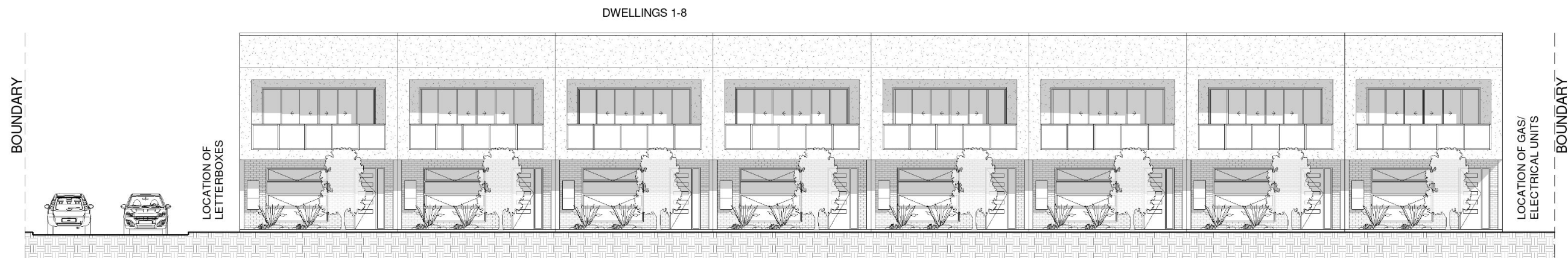
Mrs Tania Russell
 5-9 Palmyra Ave, Torrensville
 Palmyra Housing Development

Revision Date 17.08.21
 Scale 1 : 50
 Sheet No. A109

CONTRACTOR NOTE:
 CONTRACTORS ARE TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY.

NEW CREATION GROUP BUILDING CONTRACTORS
 309 North East Road, Hampstead Gardens
 Phone: (08) 8367 5111
 Fax: (08) 8367 5333
 Email: info@newcreationgroup.com.au





Front Streetscape

1 : 150

Mrs Tania Russell
 5-9 Palmyra Ave, Torrensville
 Palmyra Housing Development

Revision Date
 01.11.21
 Scale
 1 : 150
 Sheet No.
 A106

CONTRACTOR NOTE:
 CONTRACTORS ARE TO
 VERIFY ALL DIMENSIONS ON
 SITE BEFORE COMMENCING
 ANY WORK. FIGURED
 DIMENSIONS SHALL TAKE
 PREFERENCE OVER SCALED
 DIMENSIONS AND ANY
 DISCREPANCY SHALL BE
 REPORTED TO THE
 DESIGNER IMMEDIATELY.

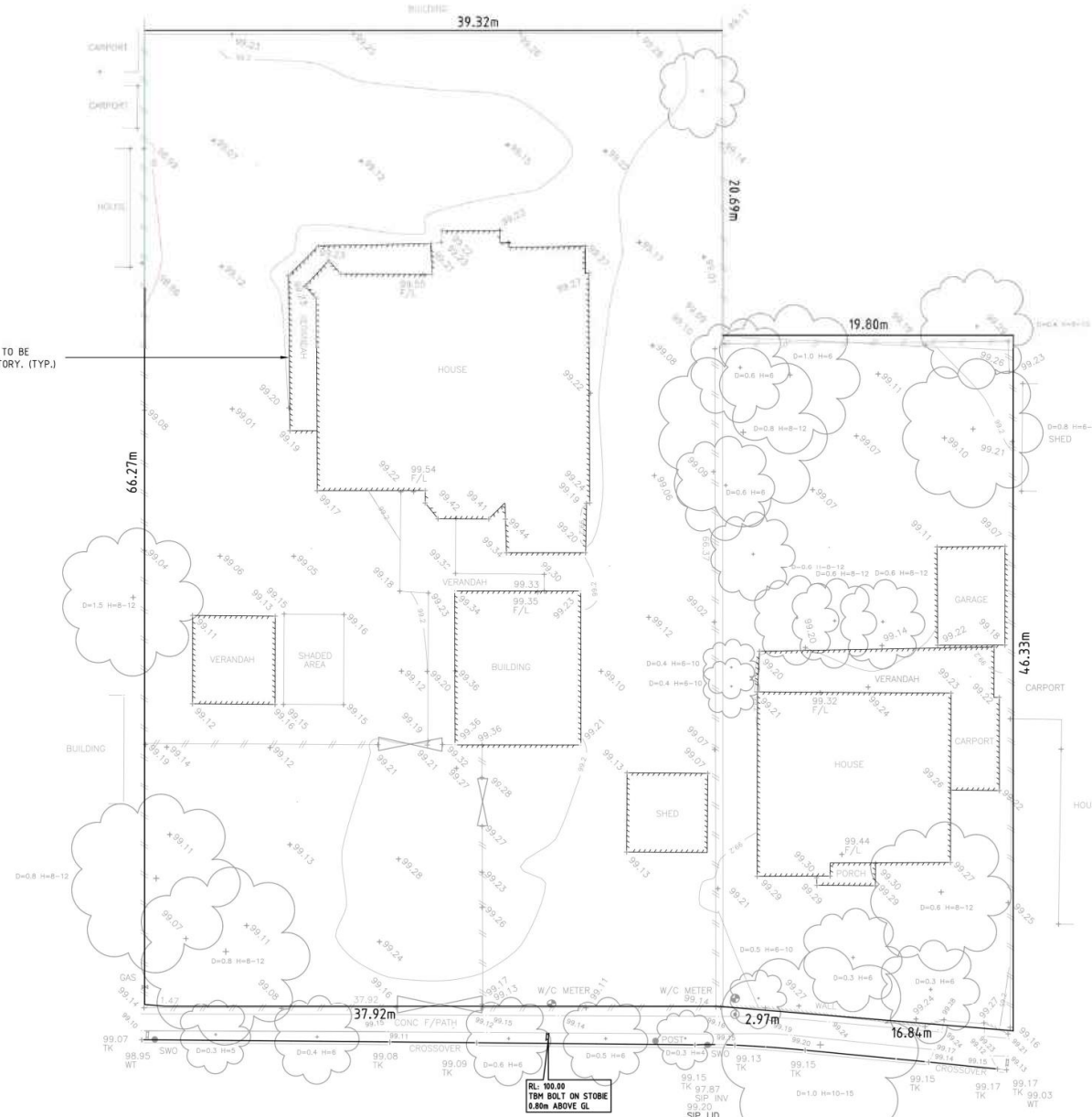
**NEW CREATION GROUP
 BUILDING CONTRACTORS**
 309 North East Road, Hampstead Gardens
 Phone: (08) 8367 5111
 Fax: (08) 8367 5333
 Email: info@newcreationgroup.com.au





ALL TREES WITHIN THE SITE BOUNDARIES ARE TO BE REMOVED AND THE VOIDS BACKFILLED WITH COMPACTED SATURATED SOIL REFER TO CIV.

WHERE EXISTING STRUCTURES ARE TO BE REMOVED, PRE-WETTING IS MANDATORY. (TYP.)



PALMYRA AVENUE



NOTES:
 1. THIS IS AN ENGINEERING SURVEY ONLY AND SHALL NOT BE TAKEN AS A BOUNDARY IDENTIFICATION SURVEY. THE BOUNDARY DATA SHOWN IS TO BE TAKEN AS A GUIDE ONLY.
 2. CONTACT DIAL BEFORE YOU DIG PRIOR TO COMMENCEMENT OF WORKS TO VERIFY THE LOCATION AND DEPTH OF EXISTING SERVICES.
 3. WHERE TREES ARE TO BE REMOVED, BACKFILL THE VOIDS WITH COMPACTED SATURATED SOIL.

LEGEND:

- EXISTING SPOT LEVEL
- EXISTING CONTOUR

ISSUE	DATE	AMENDMENT	APPROVED
A	15.02.2021	FOR APPROVAL	KP

PROJECT: PROPOSED RESIDENCES
 AT: 7-9 PALMYRA STREET
 TORRENSVILLE
 FOR: MRS TANIA RUSSELL

DRAWING TITLE				
LEVEL PLAN				
SCALE	DRAWN	ENGINEER	DATE	
1:200	KP	KP	10.02.2021	
SURVEYED BY OTHERS	PROJECT No.	DRAWING No.	ISSUE	SHEET SIZE
	210209	C1	A	A1



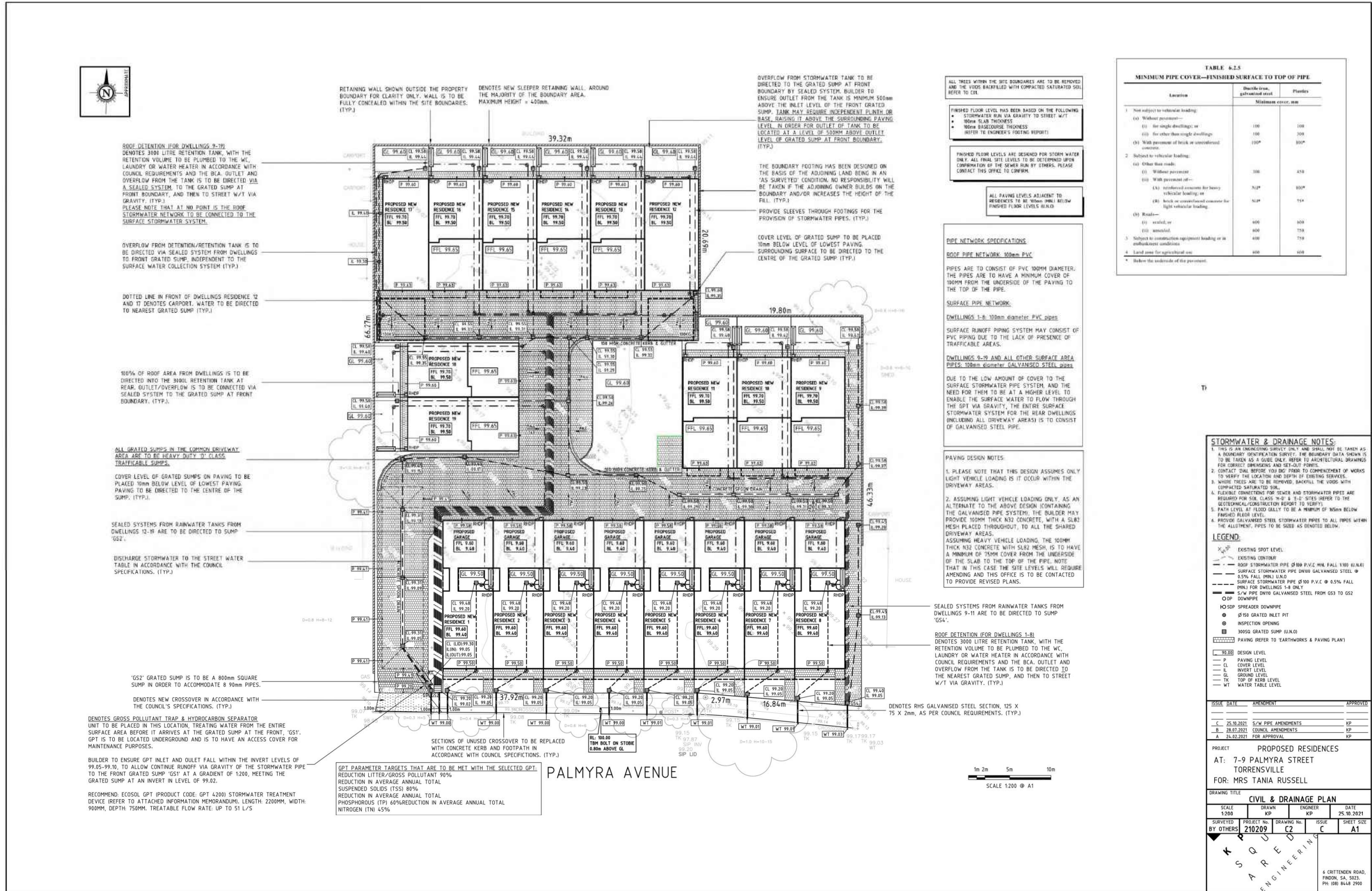


TABLE 6.2.5
MINIMUM PIPE COVER—FINISHED SURFACE TO TOP OF PIPE

Location	Minimum cover, mm	
	Ductile iron, galvanized steel	Plastics
1. Not subject to vehicular loading:		
	(a) Without pavement—	
	(i) for single dwellings; or	100
(ii) for other than single dwellings	100	
(b) With pavement of brick or uncracked concrete	100*	100*
2. Subject to vehicular loading:		
	(a) Without pavement—	
	(i) reinforced concrete for heavy vehicular loading; or	300
(ii) brick or uncracked concrete for light vehicular loading	300*	300*
(b) Road—		
(i) sealed, or	400	400
(ii) unsealed	400	400
3. Subject to construction equipment loading or in embankment conditions	400	400
4. Land uses for agricultural use	400	400

* Below the underside of the pavement.

ALL TREES WITHIN THE SITE BOUNDARIES ARE TO BE REMOVED AND THE VOIDS BACKFILLED WITH COMPACTED SATURATED SOIL. REFER TO C/L.

FINISHED FLOOR LEVEL HAS BEEN BASED ON THE FOLLOWING:
 • STORMWATER RUN VIA GRAVITY TO STREET W/T
 • 100mm SLAB THICKNESS
 • 100mm BASECOURSE THICKNESS
 (REFER TO ENGINEER'S FOOTING REPORT)

FINISHED FLOOR LEVELS ARE DESIGNED FOR STORM WATER ONLY. ALL FINAL SITE LEVELS TO BE DETERMINED UPON COMPLETION OF THE SEWER RUN BY OTHERS. PLEASE CONTACT THIS OFFICE TO CONFIRM.

ALL PAVING LEVELS ADJACENT TO RETAINMENTS TO BE 100mm MINIMUM BELOW FINISHED FLOOR LEVELS (R/L).

PIPE NETWORK SPECIFICATIONS
ROOF PIPE NETWORK: 100mm PVC
 PIPES ARE TO CONSIST OF PVC 100MM DIAMETER. THE PIPES ARE TO HAVE A MINIMUM COVER OF 100MM FROM THE UNDERSIDE OF THE PAVING TO THE TOP OF THE PIPE.

SURFACE PIPE NETWORK
 DWELLINGS 1-8: 100mm diameter PVC pipes
 SURFACE RUNOFF PIPING SYSTEM MAY CONSIST OF PVC PIPING DUE TO THE LACK OF PRESENCE OF TRAFFICABLE AREAS.
 DWELLINGS 9-19 AND ALL OTHER SURFACE AREA PIPES: 100mm diameter GALVANIZED STEEL pipes

PAVING DESIGN NOTES
 1. PLEASE NOTE THAT THIS DESIGN ASSUMES ONLY LIGHT VEHICLE LOADING AS IT OCCURS WITHIN THE DRIVEWAY AREAS.
 2. ASSUMING LIGHT VEHICLE LOADING ONLY, AS AN ALTERNATE TO THE ABOVE DESIGN (CONTAINING THE GALVANIZED PIPE SYSTEM), THE DRAINER MAY PROVIDE 100MM THICK 132 CONCRETE, WITH A SLAB MESH PLACED THROUGHOUT, TO ALL THE SHARED DRIVEWAY AREAS.
 ASSUMING HEAVY VEHICLE LOADING, THE 100MM THICK 132 CONCRETE WITH SLAB MESH IS TO HAVE A MINIMUM OF 75MM COVER FROM THE UNDERSIDE OF THE SLAB TO THE TOP OF THE PIPE, NOTE THAT IN THIS CASE THE SITE LEVELS WILL REQUIRE AMENDING AND THIS OFFICE IS TO BE CONTACTED TO PROVIDE REVISED PLANS.

STORMWATER & DRAINAGE NOTES:
 1. THIS IS AN ENGINEERING SURVEY ONLY AND SHALL NOT BE TAKEN AS A BOUNDARY IDENTIFICATION SURVEY. THE BOUNDARY DATA SHOWN IS TO BE TAKEN AS A GUIDE ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR CORRECT DIMENSIONS AND SET-OUT POINTS.
 2. CONTACT DIAL BEFORE YOU DIG. PRIOR TO COMMENCEMENT OF WORKS TO VERIFY THE LOCATION AND DEPTH OF EXISTING SERVICES.
 3. WHERE TREES ARE TO BE REMOVED, BACKFILL THE VOIDS WITH COMPACTED SATURATED SOIL.
 4. FLEXIBLE CONNECTIONS FOR SEWER AND STORMWATER PIPES ARE REQUIRED FOR SIZE CLASS "B" & "C" SITES (REFER TO THE GEOTECHNICAL/CONSTRUCTION REPORT TO VERIFY).
 5. PATH LEVEL AT FLOOD GALLY TO BE A MINIMUM OF 150mm FINISHED FLOOR LEVEL.
 6. PROVIDE GALVANIZED STEEL STORMWATER PIPES TO ALL PIPES WITHIN THE ALLIEMENT. PIPES TO BE SIZED AS DENOTED BELOW.

LEGEND

- EXISTING SPOT LEVEL
- EXISTING CONTOUR
- ROOF STORMWATER PIPE Ø100 P.V.C. (W/ FALL 1/100 (R/L))
- SURFACE STORMWATER PIPE UNDR GALVANIZED STEEL Ø
- 0.5% FALL (MIN) UNDR
- SURFACE STORMWATER PIPE Ø100 P.V.C. @ 0.5% FALL (MIN) FOR DWELLINGS 1-8 ONLY
- S/W PIPE D110 GALVANIZED STEEL FROM G3 TO G52
- DOWNPIPE
- HO S/D SPREADER DOWNPIPE
- Ø150 GRATED INLET PIT
- INSPECTION OPENING
- 300SQ GRATED SUMP (UNDR)
- PAVING (REFER TO 'EARTHWORKS & PAVING PLAN')
- DESIGN LEVEL
- PAVING LEVEL
- COVER LEVEL
- INVERT LEVEL
- GROUND LEVEL
- TK TOP OF KERB LEVEL
- WT WATER TABLE LEVEL

ISSUE DATE AMENDMENT APPROVED

C	25.10.2021	S/W PIPE AMENDMENTS	KP
B	28.07.2021	COUNCIL AMENDMENTS	KP
A	24.02.2021	FOR APPROVAL	KP

PROJECT PROPOSED RESIDENCES
AT: 7-9 PALMYRA STREET
TORRENSVILLE
FOR: MRS TANIA RUSSELL

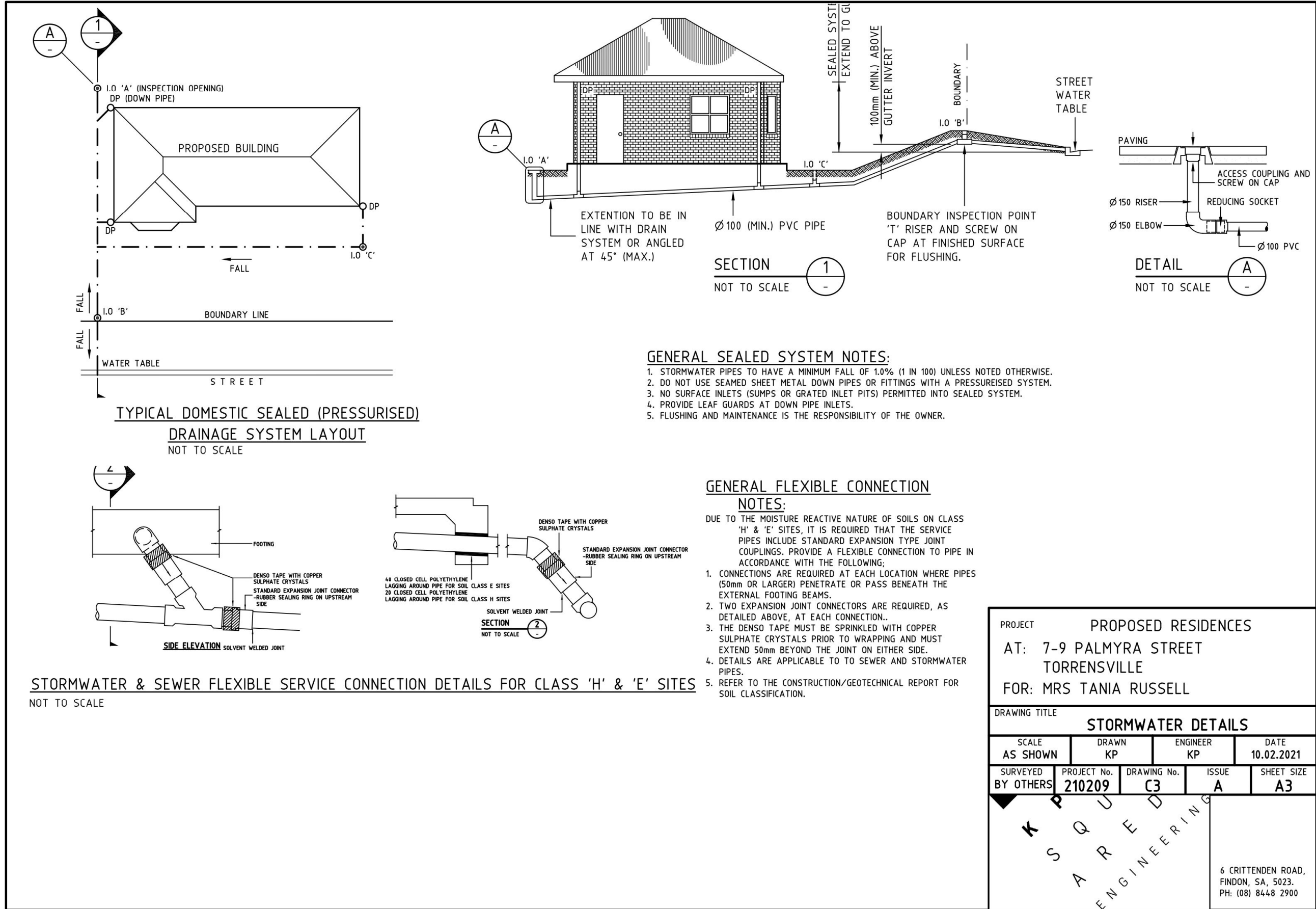
DRAWING TITLE CIVIL & DRAINAGE PLAN
SCALE 1:200
SCALE DRAWN ENGINEER DATE
 1:200 KP KP 25.10.2021

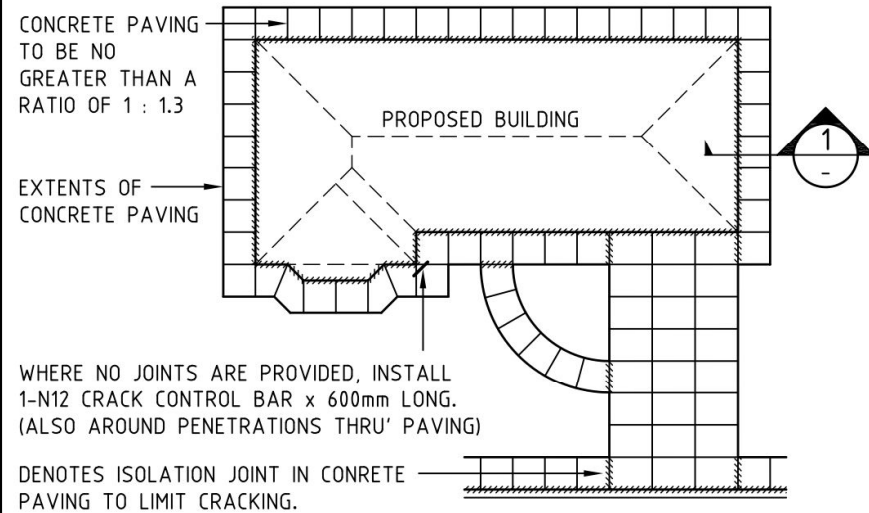
SURVEYED PROJECT No. DRAWING No. ISSUE SHEET SIZE

BY OTHERS	210209	C2	C	A1
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K S Q U O U D S A R E D E N G I N E E R I N G

6 CRITTENDEN ROAD,
 FRODOB, SA 5023.
 PH: (08) 8448 2900

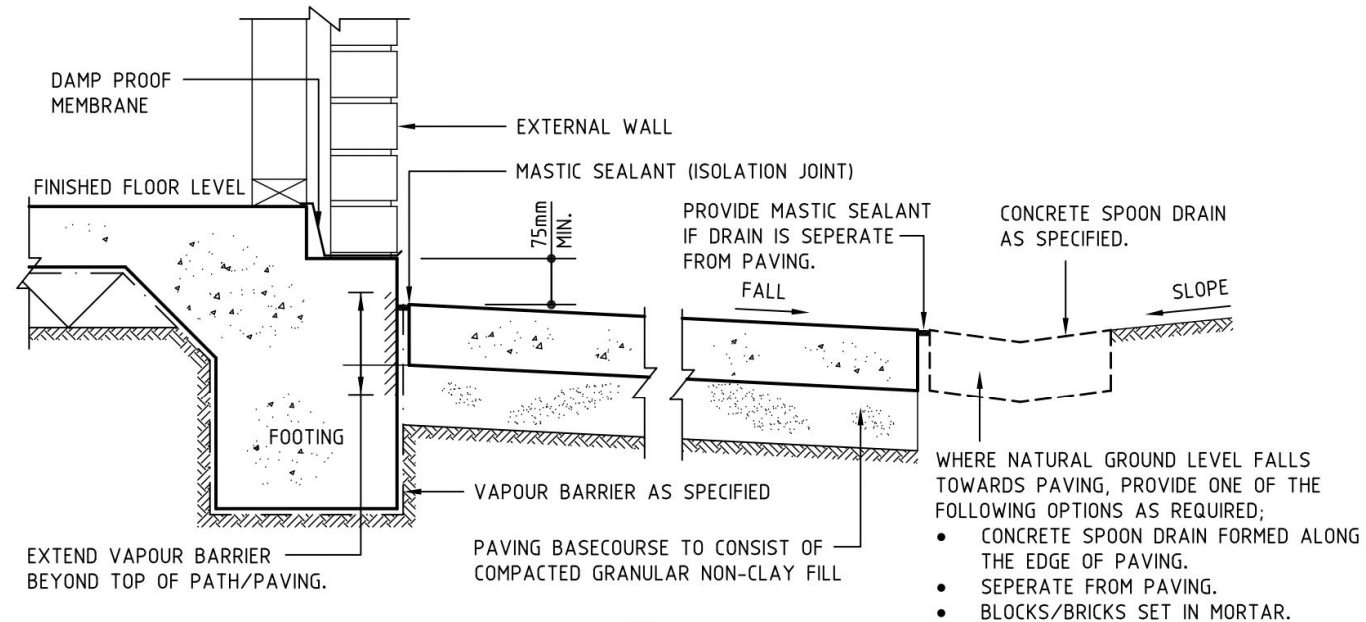




TYPICAL CONCRETE PAVING LAYOUT AROUND BUILDING
NOT TO SCALE

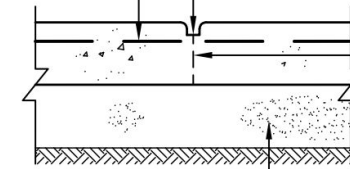
GENERAL PAVING NOTES:

- UNLESS NOTED OTHERWISE, PAVED AREAS SHALL HAVE A MINIMUM WIDTH OF 900mm. A PREFERABLE WIDTH OF 1200mm SHOULD BE ADOPTED FOR CLASS 'E-D' SITES.
- WHERE CONCRETE PAVEMENTS ARE ADOPTED, REFER TO THE TABLE BELOW:
 - CLASS 'A' OR 'S' SITES - MIN. CROSSFALL=1:30
 - FOOT TRAFFIC (2m) - 75mm THICK CONCRETE WITH SL52 FABRIC CENTRAL
 - LIGHT VEHICULAR TRAFFIC (3m) - 100mm THICK CONCRETE WITH SL62 FABRIC CENTRAL
 - CLASS 'M' SITES - MIN. CROSSFALL=1:20
 - FOOT TRAFFIC (2m) - 75mm THICK CONCRETE WITH SL52 FABRIC CENTRAL
 - LIGHT VEHICULAR TRAFFIC (3m) - 100mm THICK CONCRETE WITH SL62 FABRIC CENTRAL
 - CLASS 'H' SITES - MIN. CROSSFALL=1:20
 - FOOT TRAFFIC (2m) - 75mm THICK CONCRETE WITH SL62 FABRIC CENTRAL
 - LIGHT VEHICULAR TRAFFIC (4m) - 100mm THICK CONCRETE WITH SL72 FABRIC CENTRAL
 - CLASS 'E' SITES - MIN. CROSSFALL=1:20
 - FOOT TRAFFIC (3m) - 100mm THICK CONCRETE WITH SL72 FABRIC CENTRAL
 - LIGHT VEHICULAR TRAFFIC (4m) - 120mm THICK CONCRETE WITH SL82 FABRIC CENTRAL
- CONCRETE PAVING AND GROUND LEVEL ADJACENT TO THE BUILDING PERIMETER SHALL BE GRADED 50mm OVER 1 METRE (1:20) AWAY FROM THE BUILDING. MINIMUM CROSSFALLS MAY ALSO BE DESIGNED IN ACCORDANCE WITH THE MAXIMUM ALLOWABLE FALLS DENOTED IN 'AS 1428 DESIGN FOR ACCESS & MOBILITY'. [Xm] DENOTES THE MAXIMUM DISTANCE BETWEEN CONTROL JOINTS (NOTING THAT LENGTH OF ADJACENT SIDES SHOULD BE IN THE RATIO OF 1 TO 1.3 MAX).
- BRICK, BLOCK & BITUMEN PAVEMENTS SHALL ADHERE TO CROSSFALLS AS NOTED BELOW FOR CLASS 'A, S, M, H & E' SITES. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- WHERE PAVING CONSTRUCTION IS UNDERTAKEN ON CLASS 'H' OR 'E' SITES, IT IS PREFERABLE TO COMMENCE PAVING WORK AT THE END OF WINTER WHEN SITE SOIL IS STILL WET TO HELP LIMIT A REDUCTION IN CROSSFALLS. SHOULD TO BUILDING BE OCCUPIED DURING THE WINTER MONTHS WITH NO PAVING PROVIDED, ENSURE THAT THE SOIL SURFACE TO THE PERIMETER OF THE BUILDING IS MAINTAINED TO A WELL DRAINED STATE UNTIL SUCH TIME THAT PAVING IS INSTALLED. SHOULD IT BE NECESSARY TO CONSTRUCT PAVING ON THESE TYPES OF SOILS DURING OTHER TIMES OF THE YEAR, I.E THE END OF SUMMER, THE CROSSFALLS SHALL BE TWICE OF THAT INDICATED IN NOTE "2".
- SHOULD TO DWELLING BE OCCUPIED DURING THE WINTER MONTHS WITH NO PAVING PROVIDED, ENSURE THAT THE SOIL SURFACE TO THE PERIMETER OF THE BUILDING IS MAINTAINED TO A WELL DRAINED STATE UNTIL SUCH TIME THAT PAVING IS INSTALLED.
- ALL PAVEMENTS MUST BE SET DOWN 75mm BELOW THE REBATE.
- PAVING SHALL BE PREPARED ON A FIRM CLEAN BASE WHERE ALL BUILDING DEBRIS IS REMOVED FROM THE PERIMETER OF THE BUILDING. A COMPACTED QUARRY RUBBLE BASE IS TO BE PROVIDED AS REQUIRED TO ELEVATE PAVING AND ACHIEVE NECESSARY CROSSFALLS.
- PAVEMENTS SHALL NOT BREACH THE DAMP PROOF COURSE OR BUILT-IN DAMP PROOF MEMBRANE UNLESS OTHER ADEQUATE DAMP-PROOFING MEASURES HAVE BEEN TAKEN.
- REACTIVE SOILS MAY CAUSE PAVING TO SEPERATE HORIZONTALLY FROM THE BUILDING PERIMETER. IT IS IMPORTANT THAT ANY GAPS BETWEEN THE BUILDING AND PAVING BE IMMEDIATELY SEALED WITH A FLEXIBLE MASTIC SEALANT.
- PROVIDE EGDE DRAINS WHERE NECESSARY TO DIVERT RUNOFF CLEAR OF THE BUILDING.
- PROVIDE TERMITE PROTECTION TO AS 3660.1.



SECTION 1
NOT TO SCALE

PROVIDE 30mm COVER TO REINFORCEMENT. 20mm DEEP TOOLED JOINT.

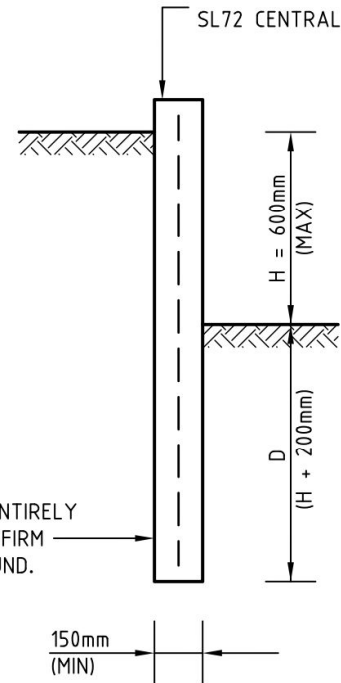


ENSURE THAT WEAKNESS IS FORMED ALONG LINE OF JOINT BY ONE OR BOTH OF THE FOLLOWING OPTIONS;

- CUTTING EVERY THIRD CROSS-WIRE OF THE REINFORCEMENT.
- FORCING A TROWEL THROUGH THE CONCRETE ALONG THE JOINT TO SEPERATE CONCRETE AGGREGATES.

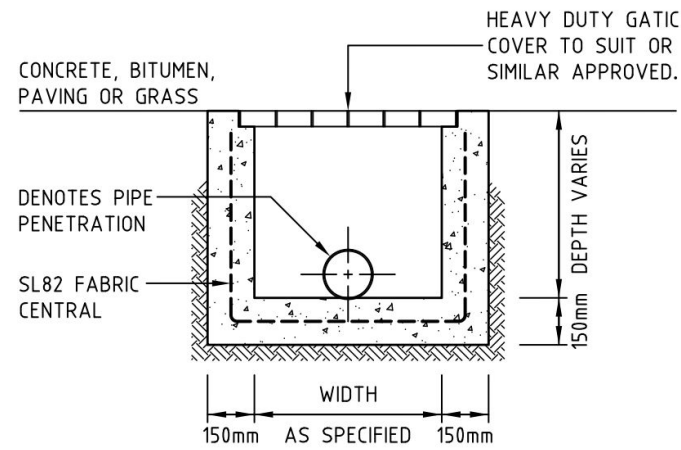
PAVING BASECOURSE TO CONSIST OF COMPACTED GRANULAR NON-CLAY FILL.

CONCRETE PAVING CONTROL JOINT DETAIL
NOT TO SCALE



CONCRETE PLINTH DETAIL
N.T.S

PROJECT					PROPOSED RESIDENCES									
AT:					7-9 PALMYRA STREET									
					TORRENSVILLE									
FOR:					MRS TANIA RUSSELL									
DRAWING TITLE										EARTHWORKS & PAVING DETAILS				
SCALE		DRAWN		ENGINEER		DATE								
AS SHOWN		KP		KP		10.02.2021								
SURVEYED		PROJECT No.		DRAWING No.		ISSUE		SHEET SIZE						
BY OTHERS		210209		C4		A		A3						
										6 CRITTENDEN ROAD, FINDON, SA, 5023. PH: (08) 8448 2900				

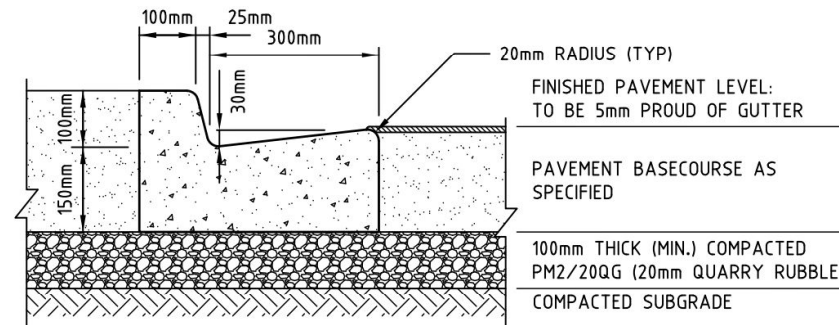


GRADED SUMP

1:20

NOTES:

1. REFER TO 'STORMWATER PIT SCHEDULE' FOR PIT DIMENSIONS.
2. PENETRATION FOR PIPES SHALL BE APPROX. 50mm GREATER THAN THE OVERALL DIAMETER OF PIPE. PIPES SHALL BE FINISHED FLUSH WITH THE INTERNAL FACE OF THE SUMP. A STIFF MORTAR MIX SHALL BE PACKED INTO THE SPACE FROM BOTH SIDES OF STRUCTURE. THE INTERNAL FACE SHALL BE FINISHED SMOOTH AND A 150mm THICK BAND ON CONCRETE SHALL BE POURED OUTSIDE THE SUMP TO SEA THE PENETRATION.
3. WHERE SUMPS CONSIST OF MORE THAN ONE PRECAST UNIT, THE JOINTS SHALL BE SEALED WITH BUTYL MASTIC FLEXIBLE PIPE SEALANT AROUND THE OUTSIDE AND A 1:3 SAND CEMENT GROUT ON THE INSIDE OF THE SUMP.

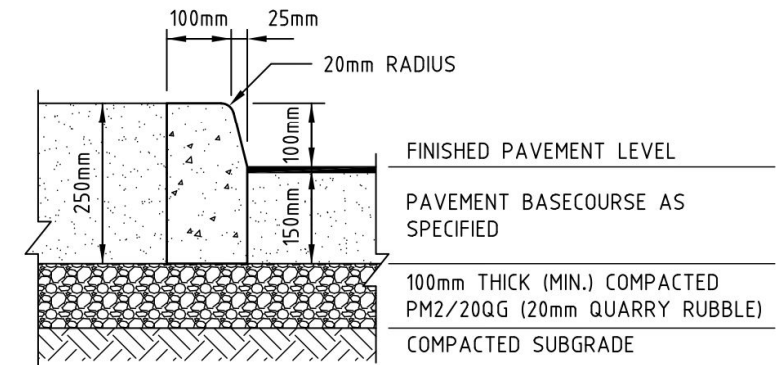


100mm HIGH KERB & GUTTER

1:10

NOTE:

PROVIDE 10mm WIDE x 20mm DEEP TOOLED JOINTS AT 3.0m CRS (MAX.) FORCE A TROWEL THROUGH JOINTS DURING CONCRETE POUR TO SEPARATE AGGREGATES AND INFLUENCE CRACKING AT THESE LOCATIONS.

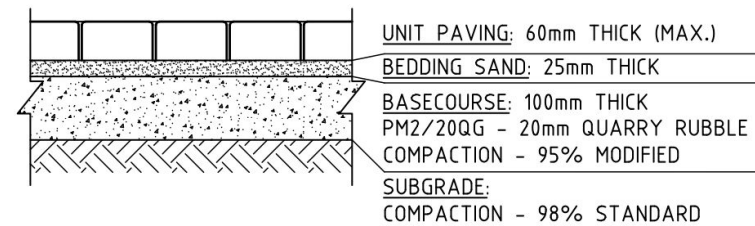


100mm HIGH KERB

1:10

NOTE:

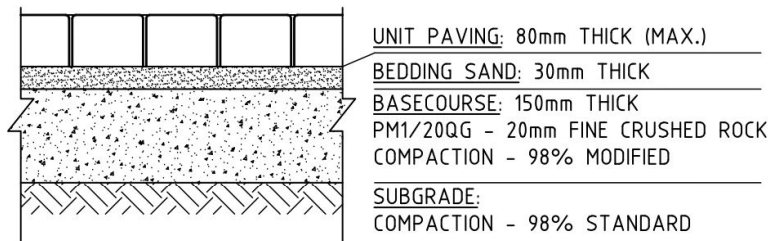
PROVIDE 10mm WIDE x 20mm DEEP TOOLED JOINTS AT 3.0m CRS (MAX.) FORCE A TROWEL THROUGH JOINTS TO SEPARATE AGGREGATES AND INFLUENCE CRACKING AT THESE LOCATIONS.



UNIT PAVEMENT

NON-VEHICULAR DUTY

1:10

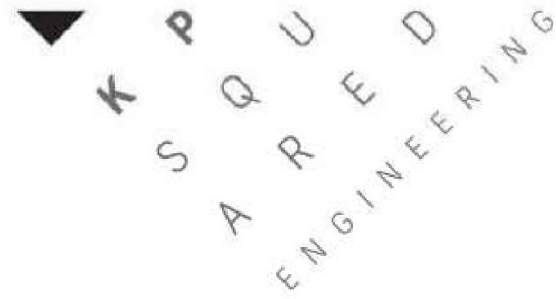


UNIT PAVEMENT

VEHICULAR DUTY

1:10

PROJECT					PROPOSED RESIDENCES									
AT:					7-9 PALMYRA STREET									
					TORRENSVILLE									
FOR:					MRS TANIA RUSSELL									
DRAWING TITLE										CIVIL DETAILS				
SCALE		DRAWN		ENGINEER		DATE								
AS SHOWN		KP		KP		10.02.2021								
SURVEYED		PROJECT No.		DRAWING No.		ISSUE		SHEET SIZE						
BY OTHERS		210209		C5		A		A3						
										6 CRITTENDEN ROAD, FINDON, SA, 5023. PH: (08) 8448 2900				



STORMWATER DESIGN CALCULATIONS

PROJECT ADDRESS:	7-9 PALMYRA STREET, TORRENSVILLE
COUNCIL:	CITY OF WEST TORRENS
JOB NUMBER:	210209
DATE:	10 FEBRUARY 2021
ISSUE:	A
CONTACT DETAILS:	KP Squared Engineering Pty Ltd 6 Crittenden Road, Findon, SA, 5023. PH: (08) 8448 2900

Project
 7-9 Palmyra Street,
 Torrensville, SA, 5031
 [-34.925032, 138.556344]
 [34°55'30.1"S 138°33'22.8"E]

Designed in accordance with
 ARR 2019, AS/NZS 3500.3:2018,
 and related engineering documentation

Page
 Job No. CC1/A
 210209
 Date 10/02/21
 Eng KP

1:20 ARI (5 minute duration)
 Total Site Area
 i = 121 mm/hr (5 minute duration)
 A = 3531.73 m²

Runoff Calculations

Council Requirements: For proposed development totaling between 1000 and 4000 square metres, stormwater detention measures are required to limit the peak discharge rate for the critical 20 year ARI storm event to the equivalent predevelopment 20 minute storm with a 0.25 runoff coefficient applied to the site.

Pre-development runoff

Impervious Area -
 Pervious Area -

A_i = 684 m²
 A_p = 2847.73 m²

C_i = 0.9
 C_p = 0.1
 C_n = [(C_i x A_i) + (C_p x A_p)]/A
 C_n = 0.25

Flow Rate -

Q₂₀ = (C_n x i x A)/3600
 Q_{pre} = 29.68 Litres/sec

-Therefore we must limit post-development outflow to 29.68 litres/second.

Post-development surface schedule

Impervious Area (Roof)	Ari =	1758.05	m ²
Impervious Area (Paving)	Api =	1074.78	m ²
Pervious Area (Landscaping)	Alp =	698.90	m ²
<u>Section 1 (Dwellings 1-8)</u>			
Total Section Area	A =	1081.51	m ²
Impervious Area (Roof)	Ari =	782.4	m ²
Impervious Area (Paving)	Api =	115.44	m ²
Pervious Area (Landscaping)	Alp =	183.67	m ²
<u>Section 2 (Dwellings 9-11)</u>			
Total Section Area	A =	395.97	m ²
Impervious Area (Roof)	Ari =	266.9	m ²
Impervious Area (Paving)	Api =	46.59	m ²
Pervious Area (Landscaping)	Alp =	82.48	m ²
<u>Section 3 (Dwellings 18-19)</u>			
Total Section Area	A =	230.65	m ²
Impervious Area (Roof)	Ari =	177.93	m ²
Impervious Area (Paving)	Api =	11.86	m ²
Pervious Area (Landscaping)	Alp =	40.86	m ²
<u>Section 4 (Dwellings 12-17)</u>			
Total Section Area	A =	688.1	m ²
Impervious Area (Roof)	Ari =	530.82	m ²
Impervious Area (Paving)	Api =	35.39	m ²
Pervious Area (Landscaping)	Alp =	121.89	m ²
<u>Section 5 (Shared Driveway + Landscaping)</u>			
Total Section Area	A =	1135.5	m ²
Impervious Area (Roof)	Ari =	0	m ²
Impervious Area (Paving)	Api =	865.5	m ²
Pervious Area (Landscaping)	Alp =	270.00	m ²

Post-development runoff

Surface Runoff (Uncontrolled from Dwellings 1-8)					
Total Area	A =	299.11	m ²		
Impervious Area (Paving)	A =	115.44	m ²	Ci =	0.9
Pervious Area (Landscaping)	A =	183.67	m ²		
	$Q_{\text{surface}} =$	$(C_n \times i \times A)/3600$		Cp =	0.1
	$Q_{\text{surface}} =$	4.12	Litres/sec	Cn =	$[(C_i \times A_i) + (C_p \times A_p)]/A$
				Cn =	0.41
	$Q_{\text{surface}} =$	4.12	Litres/sec		

Therefore, as 4.12 l/s is uncontrolled flow from the front 8 dwellings (1-8), and the maximum allowable flow from the site is to be limited to 29.68 l/s, then the surface water from the rear eleven dwellings (9-19) and the common driveway is to be limited to 15.06 l/s and the remaining allowable flow of 10.50 l/s is to be divided between the nineteen dwellings for the roof runoff, that is, the runoff from the roof area of each dwelling is to be limited to 0.50 l/s.

Surface Runoff (Controlled from 11 rear dwellings + common driveway)					
Total Area	A =	1474.57	m ²		
Impervious Area (Paving)	A =	959.34	m ²	Ci =	0.9
Pervious Area (Landscaping)	A =	515.23	m ²		
	$Q_{\text{surface}} =$	$(C_n \times i \times A)/3600$		Cp =	0.1
	$Q_{\text{surface}} =$	30.73	Litres/sec	Cn =	$[(C_i \times A_i) + (C_p \times A_p)]/A$
				Cn =	0.62
	$Q_{\text{surface}} =$	30.73	Litres/sec		

Allowed Surface Runoff	$Q_{\text{surface (allowed)}} =$	15.06	Litres/sec
Area remaining		1474.57	m ²
Coeff Permeability		0.62	
Time of conc.		5	min
ARI Storm		20 year	
Max Outflow Qp		15.06	l/sec
	$Q_{\text{surface}} =$	30.7284003889	Litres/sec

Duration min	Duration seconds	Intensity mm/hr	Inflow rate Ip l/sec	Inflow Vol Vi m3	Max Storage Smax m3
1 min	60	186	47.2353923333	2834.12354	1930.52354
2 min	120	163	41.3944567222	4967.334806667	3160.134806667
3 min	180	145	36.8232897222	6628.19215	3917.39215
4 min	240	131	33.2679376111	7984.305026667	4369.905026667
5 min	300	121	30.7284003889	9218.520116667	4700.520116667
10 min	600	87.6	22.2463460667	13347.80764	4311.80764
15 min	900	70.6	17.9291327889	16136.21951	2582.21951
20 min	1200	59.9	15.2118279611	18254.19355333	182.1935533333
25 min	1500	52.5	13.3325704167	19998.855625	-2591.144375
30 min	1800	46.9	11.9104295722	21438.77323	-5669.22677
45 min	2700	36.4	9.2439154889	24958.57182	-15703.42818
1 hour	3600	30.2	7.6694024111	27609.84868	-26606.15132
1.5 hour	5400	23.1	5.8663309833	31678.18731	-49645.81269
2 hour	7200	19	4.8251207222	34740.8692	-73691.1308
3 hour	10800	14.3	3.6315382278	39220.61286	-123427.38714

Surface Detention Required

Detention Required (Entire Site)

4700 Litres

Flow rate (from surface cell)

$Q_{\text{orifice (tank)}} =$	15.06	Litres/sec
-------------------------------	-------	------------

Check to ensure detention tank emptied in 24 hours

Detention cell volume	4700	Litres
Flow rate per second	15.06	Litres
Total amount of seconds to empty	312.0849933599	seconds

<24 hours, therefore OK)

Detention Cell Dimensions

Length: 22.00m
 Depth: 0.10m
 Width: 5.00m
 Volume: 5050L
Both ends of cell to be have 2.50m long batters, directing the water to the central spoon drain.

Orifice Design

$Q_{\text{max}} =$	$0.6 \times A \sqrt{2 \times g \times H}$	where	$Q_{\text{max}} =$	0.0151	$g =$	9.81
$A =$	0.0094694541	m^2	$A =$?	$H =$	0.36
$A =$	$(\pi \times D^2)/4$	m	$=$	110.0	mm	
Diameter =	0.110					

PROVIDE	4700	LITRES OF SURFACE DETENTION WITH A	110	mm ORIFICE.
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Roof Runoff

Allowed Roof Runoff

$$Q_{\text{roof(allowed)}} = 10.50 \text{ Litres/sec}$$

Area remaining 1758.05 m²
 Coeff Permeability 0.9
 Time of conc. Critical min
 ARI Storm 20 year
 Max Outflow Qp 10.50 l/sec

$$Q_{\text{roof}} = 53.1810125 \text{ Litres/sec}$$

Duration min	Duration seconds	Intensity mm/hr	Inflow rate Ip l/sec	Inflow Vol Vi m3	Max Storage Smax m3
1 min	60	186	81.749325	4904.9595	4274.9595
2 min	120	163	71.6405375	8596.8645	7336.8645
3 min	180	145	63.7293125	11471.27625	9581.27625
4 min	240	131	57.5761375	13818.273	11298.273
5 min	300	121	53.1810125	15954.30375	12804.30375
10 min	600	87.6	38.501295	23100.777	16800.777
15 min	900	70.6	31.0295825	27926.62425	18476.62425
20 min	1200	59.9	26.32679875	31592.1585	18992.1585
25 min	1500	52.5	23.07440625	34611.609375	18861.609375
30 min	1800	46.9	20.61313625	37103.64525	18203.64525
45 min	2700	36.4	15.998255	43195.2885	14845.2885
1 hour	3600	30.2	13.2732775	47783.799	9983.799
1.5 hour	5400	23.1	10.15273875	54824.78925	-1875.21075
2 hour	7200	19	8.3507375	60125.31	-15474.69
3 hour	10800	14.3	6.28502875	67878.3105	-45521.6895

Roof Detention Required

Detention Required (Entire Site) 18992.1585 Litres
 Dwellings 19 Dwellings
 Detention (per dwelling) Detention = 999.5872894737 Litres
 Flow rate (per dwelling) $Q_{\text{orifice (tank)}} = 0.5526315789 \text{ Litres/sec}$

Check to ensure detention tank emptied in 24 hours

Detention tank volume (per dwelling) 999.5872894737 Litres
 Flow rate per second 0.5526315789 Litres
 Total amount of seconds to empty 1808.777 seconds :<24 hours, therefore OK)

Orifice Design

$$Q_{\text{max}} = 0.6 \times A \sqrt{2 \times g \times H}$$

A = 0.0002257618 m² where $Q_{\text{max}} = 0.0006$ g = 9.81
 A = ? H = 1

$$A = \frac{(\pi \times D^2)}{4}$$

Diameter = 0.017 m = 17.0 mm

PROVIDE 1000 LITRES OF DETENTION (PER DWELLING) WITH A 17 mm ORIFICE.

Duration	Annual Exceedance Probability (AEP)						
	63.20%	50%#	20%*	10.00%	5.00%	2.00%	1.00%
1 min	76.3	87.3	125	155	186	232	272
2 min	67.1	76.6	110	135	163	205	241
3 min	59.8	68.3	97.8	121	145	182	214
4 min	54.1	61.8	88.6	109	131	165	193
5 min	49.6	56.7	81.2	100	121	151	177
10 min	35.9	41.1	59.1	72.8	87.6	109	128
15 min	28.9	33.1	47.5	58.6	70.6	88.1	103
20 min	24.5	28.1	40.3	49.8	59.9	74.8	87.5
25 min	21.5	24.6	35.3	43.6	52.5	65.6	76.7
30 min	19.2	22	31.6	39	46.9	58.7	68.7
45 min	14.9	17.1	24.5	30.2	36.4	45.5	53.3
1 hour	12.4	14.2	20.3	25.1	30.2	37.8	44.2
1.5 hour	9.57	10.9	15.6	19.2	23.1	28.8	33.8
2 hour	7.92	9.02	12.9	15.8	19	23.7	27.7
3 hour	6.05	6.89	9.77	12	14.3	17.9	20.8
4.5 hour	4.61	5.24	7.4	9.04	10.8	13.4	15.5
6 hour	3.8	4.31	6.06	7.38	8.79	10.8	12.6
9 hour	2.87	3.25	4.54	5.52	6.55	8.01	9.22
12 hour	2.35	2.65	3.69	4.47	5.29	6.43	7.37
18 hour	1.75	1.98	2.73	3.29	3.88	4.68	5.32
24 hour	1.42	1.6	2.2	2.64	3.1	3.71	4.2
30 hour	1.2	1.35	1.85	2.21	2.59	3.09	3.48
36 hour	1.05	1.17	1.6	1.91	2.23	2.65	2.98
48 hour	0.839	0.939	1.27	1.51	1.76	2.07	2.32
72 hour	0.612	0.681	0.911	1.08	1.25	1.45	1.61
96 hour	0.488	0.542	0.718	0.843	0.969	1.12	1.24
120 hour	0.411	0.455	0.598	0.697	0.796	0.919	1.01
144 hour	0.357	0.395	0.515	0.597	0.677	0.779	0.857
168 hour	0.318	0.352	0.455	0.524	0.59	0.677	0.743

**Traffic - Parking - Transport**

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MFY Pty Ltd

ABN 79 102 630 759

JML/20-0075

5 March 2021

Mr Charles Thompson
New Creation Group Pty Ltd
309 North East Road
HAMPSTEAD GARDENS SA 5086

Dear Charles,

**PROPOSED RESIDENTIAL DEVELOPMENT
5-9 PALMYRA AVENUE, TORRENSVILLE**

I refer to the proposal for a residential development on the above site. As requested, I have reviewed the parking and traffic implications associated with the proposal. The assessment is based on the New Creation Group Site Plan dated 2 March 2021.

We note that the City of West Torrens (Council) raised several traffic engineering items as part of a preliminary assessment of an earlier iteration of the plans, providing comment on:

- access to/from the garages;
- car parking provision (on-site and on-street);
- bicycle parking provision;
- refuse collection; and
- impacts of services on vehicle manoeuvrability.

The amended plans have been prepared with consideration of these matters, as discussed in this report.

1 EXISTING SITUATION

The site currently consists of two allotments, located within the Transit Living Policy Area 36 and zoned Urban Corridor in Council's Development Plan.

Palmyra Avenue is a local residential road under the care, control and management of Council. The road is kerbed and approximately 7.2 m wide. It has footpaths on both sides of the road and no parking restrictions.

F:\20-0075 CharlesThompson 5 Mar 21.docx

20-0075
 5 March 2021
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The site is located within 300 m of the existing bus stops on Henley Beach Road, which provides for convenient public transport options for residents or their visitors.

2 THE PROPOSAL

It is proposed to redevelop the site with a group dwelling consisting of 19 three-bedroom residences, each with a double garage. The dwellings will be accessed via a two-way circulation roadway on the western side of the site.

The proposed garage and access road dimensions will comply with the requirements of Australian/New Zealand Standard, *Parking Facilities Part 1: Off-street car parking (AS/NZS 2890.1:2004* (the “Standard”). The garages will be 5.4 m wide with a 4.8 m wide door and 5.4 m long. They will be accessed via an internal roadway that will be at least 5.8 m with an additional 0.3 m clearance to obstructions greater than kerb height such as walls or fences.

Provision has been made for the storage and collection of refuse for the internal dwellings, based on the weekly waste volumes identified in Zero Waste SA’s *South Australia Better Practice Guide Waste Management for Residential and Mixed Use Developments*. Figure 1 illustrates the swept path of a refuse collection vehicle turn on-site and as such, drivers of such vehicles will be able to enter and exit the site in a forward direction.

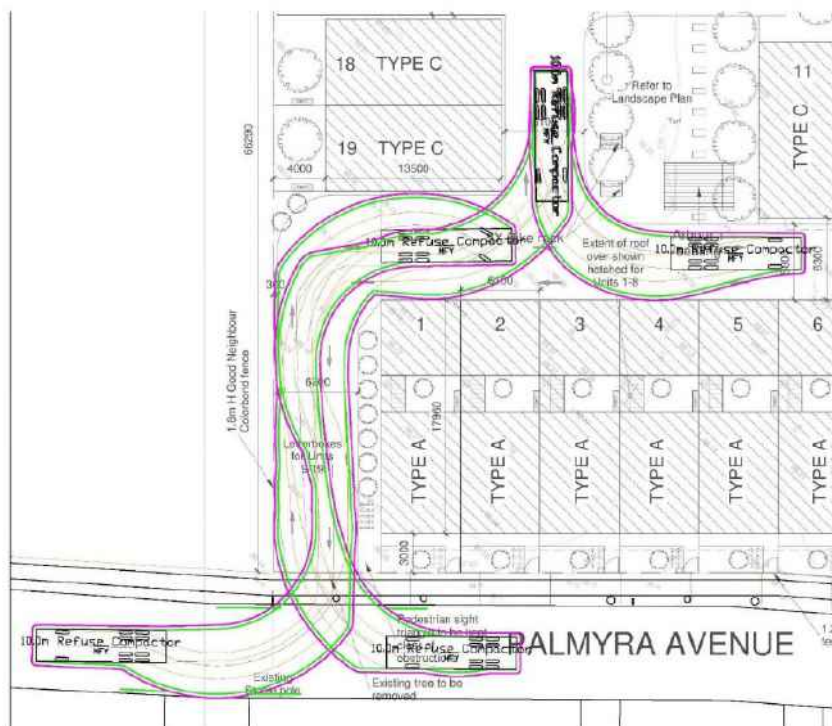


Figure 1: Swept path (refuse collection vehicle)

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The landscaping adjacent to the proposed access point will be low-lying to ensure compliance with sightlines to pedestrians in accordance with Figure 3.3 of the Standard.

3 PARKING DEMAND ASSESSMENT

3.1 VEHICULAR PARKING

3.1.1 On-site parking

Council's Development Plan identifies the following parking requirement within the Urban Corridor Zone:

- two spaces per three-bedroom dwelling; plus
- 0.25 spaces per dwelling for visitors.

The double garages will satisfy the requirement for two residential parking spaces per dwelling.

The plans do not currently provide for the five on-site visitor parking spaces nominated by the Development Plan. As an alternative, the proposed development includes a central landscaping area. This area would have the capacity to accommodate up to the five on-site parking spaces that are stipulated for visitor parking by the Development Plan but in the event that this is not provided, visitor parking would instead be accommodated on-street.

3.1.2 On-street parking provision

Palmyra Avenue has an existing on-street parking provision for up to 41 vehicles. As a result of the wider crossover associated with this development and proposed parking restrictions to accommodate the swept path for the refuse collection vehicle entering and exit the site (as shown in Figure 1), this provision will reduce by one space on the northern side of the road and one space on the southern side of the road.

Council has referenced the following clause of the Development Plan in its preliminary assessment for the site:

12. On-street vehicle parking should be provided at a ratio of one car parking space for every two allotments.

This requirement is typically related to the master planning of land division estates and therefore applies holistically to the surrounding road network. In other words, it does not require that such a parking provision be available in front of each individual allotment but rather within a walkable precinct of a development. Notwithstanding this, if this rate was to be applied to Palmyra Terrace, then the eleven existing allotments would equate to an on-street parking requirement for six of the on-street spaces.

Therefore, while the increased density associated with the proposed development will likely result in additional visitor parking demands, there would be sufficient capacity on Palmyra Avenue (and

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indeed the adjacent street network) to accommodate these vehicles, even if no additional visitor parking is provided on site.

3.2 BICYCLE PARKING

Council's Development Plan identifies a bicycle parking requirement of one space per four dwellings for residents and one space per ten dwellings for visitors to a residential development within the Urban Corridor Zone. The proposal will provide for seven bicycle parking spaces in accordance with this requirement.

4 TRAFFIC ASSESSMENT

The proposed development will result in the construction of 17 additional dwellings when compared with the existing situation. This would equate to an additional traffic demand of approximately 140 trips per day (based on eight trips per dwelling per day), or 14 additional movements in the peak hour. This additional traffic volume is very low and will have a negligible impact on the adjacent road network.

5 SUMMARY

In summary, it is proposed to develop 5-9 Palmyra Avenue, Torrensville to provide 19 residential dwellings. The proposed parking and internal road network will comply with the requirements of the relevant Australian/New Zealand Standard. The internal road layout will allow drivers to turn on site and therefore enter and exit the site in a forward direction.

Provision has been made for the storage of refuse associated with the internal units and collection by a private contractor.

The development will provide sufficient on-site parking for residents but includes a generous landscaped area in lieu of provide additional parking spaces on site for visitors. There would be limited impact on the adjacent road network as a result of this, given the capacity for on-street parking on Palmyra Avenue and nearby roads.

The additional traffic generated by the proposal will be minimal and, therefore, will not change the nature or function of the adjacent road network.

Yours sincerely,

MFY PTY LTD

A handwritten signature in black ink that reads 'Jayne Lovell'.

JAYNE LOVELL

Senior Associate



Palmyra St Torrensville				
	Botanical Name	Common Name	Number	Size
Aae	<i>Adiantum aethiopicum</i>	Maidenhair Fern	14	140
Abl	<i>Asplenium bulbiferum</i>	Birds Nest Fern	2	140
Abu	<i>Anigozanthos 'Bush Gold'</i>	Dwarf yellow Kangaroo Paw	120	140
Aca	<i>Ajuga Reitzii</i>	Bugle Flower	14	140
Ala	<i>Acacia lanigera</i>	Woolly Wattle	9	140
Ali	<i>Alternanthera 'Little Ruby'</i>	Alternanthera	40	140
Amo	<i>Acanthus mollis</i>	Bears Breeches	36	140
Aod	<i>Alocasia odora</i>	Elephants Ears	6	200
Bgi	<i>Blechnum 'Silver Lady'</i>	Silver Lady Fern	12	140
Bsc	<i>Bergenia x Schmidtii</i>	Bergenia	14	140
Cfi	<i>Corymbia ficifolia</i> c.v.	Dwarf Grafted Flowering Gum	19	300
Cfr	<i>Cordyline fruticosa</i> Rubra	Cordyline	6	140
Cja	<i>Camellia Japonica</i>	Camellia	2	200
Cmi	<i>Clivia miniata</i>	Clivia	6	140
Dan	<i>Dicksonia antarctica</i>	Soft Tree Fern	2	200
Dma	<i>Dracaena marginata</i>	Dracaena	6	200
Dre	<i>Dichondra repens</i>	Kidney Weed	56	140
Eni	<i>Eremophila nivea</i>	Native Fuchsia	31	140
Hcu	<i>Hibbertia cuneiformis</i>	Cut Leaf Guinea Flower	16	140
Hma	<i>Hydrangea macrophylla</i>	Hydrangea	2	200
Hgo	<i>Hymenosporum 'Gold Nugget'</i>	Dwarf Native Frangipani	40	140
Lli	<i>Lomandra 'Little Lime'</i>	Matt Rush	131	140
Llo	<i>Lomandra 'Lime Tuff'</i>	lily Turf	327	140
Llt	<i>Lomandra longifolia</i>	Matt Rush	24	140
Lsi	<i>Liriope 'Silver Lawn'</i>	Lily Turf	36	140
Mpa	<i>Myoporum parvifolium</i>	Creeping Boobialla	4	140

Nmo	Nandina 'Moonbay'	Dwarf Sacred Bamboo	6	200
Pli	Philodendron 'Little Phil'	Dwarf Philodendron	6	200
Pve	Plectranthus verticillius	Swedish Ivy	6	140
Pvi	Physostegia virginiana	Obedient Plant	2	140
Rco	Raphiolepis 'Cosmic White'	Indian Hawthorn	40	140
Spu	Scaevola 'Purple Dancer'	Fan Flower	149	140
Vhe	Viola hederaceae	Native Violet	20	140
Wst	Wahlenbergia stricta	Australian Bluebell	14	140
Total			1218	

STATEMENT OF REPRESENTATION
Pursuant to Section 38 of the Development Act 1993

TO Chief Executive Officer
 City of West Torrens
 165 Sir Donald Bradman Drive
 HILTON 5033

RECEIVED - CWT IM
6 SEP 2021

DEVELOPMENT No. 211/279/2021
 PROPERTY ADDRESS: 5 Palmyra Avenue, TORRENSVILLE SA 5031, 7-9 Palmyra Avenue, TORRENSVILLE SA 5031

YOUR FULL NAME	Quy Phuoc Lam
YOUR ADDRESS	4 Rawlings Avenue, Torrensville SA 5031
YOUR PHONE No	
YOUR EMAIL	
NATURE OF INTEREST	owner of land in the vicinity <small>(eg. Adjoining resident, owner of land in the vicinity etc.)</small>

REASON/S FOR REPRESENTATION
 The balconys facing Palmyra Ave will be overlooking the backyard, ~~living~~ family room, kitchen.

RECEIVED CSU WTCC
 AM 8 9 10 11 12
 PM 1 2 3 4 5
6 SEP 2021

MY REPRESENTATIONS WOULD BE OVERCOME BY
 (state action sought)
 For the overlooking balconies to be removed and for over looking windows to be made of ~~panel~~ awning vision obscuring glass. The units overlooking Palmyra Ave can be turned so the balcony overlooks the common driveway

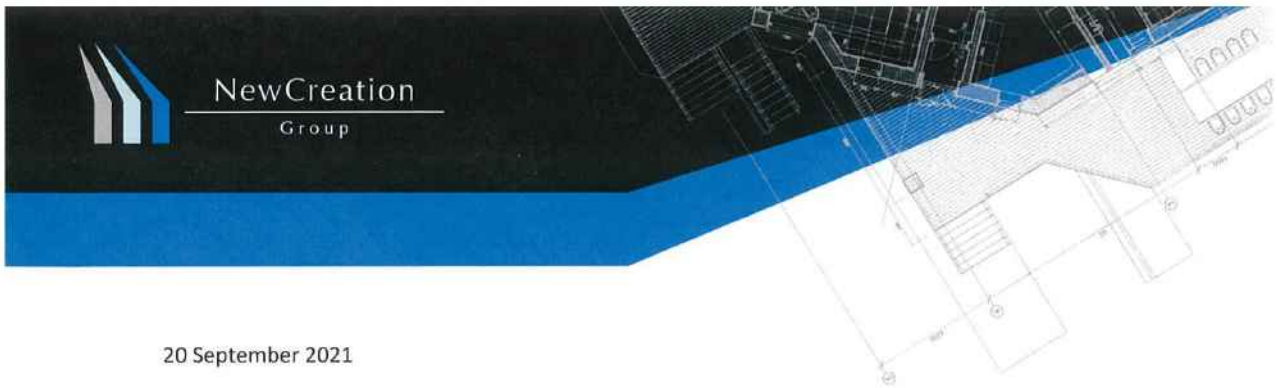
Please indicate in the appropriate box below whether or not you wish to be heard by Council in respect to this submission:

- I DO NOT WISH TO BE HEARD
- I DESIRE TO BE HEARD PERSONALLY
- I DESIRE TO BE REPRESENTED BY _____

(PLEASE SPECIFY)

SIGNED _____
 DATE 4/9/21

Responsible Officer: Brendan Fewster
 Ends: Monday 6 September 2021



20 September 2021

Brendan Fewster
Responsible Officer
City of West Torrens
165 Sir Donald Bradman Drive
HILTON SA 5033

Development Application: 211/279/2021
Location: 5 Palmyra Avenue Torrensville
7-9 Palmyra Avenue Torrensville
Proposed Development: Demolish of existing building and construction of 19 two storey dwellings with common driveway access and associated landscaping

Response To Representation Received To Above Application

- *"Some concerns for this development. I would like to know then plans for following when considering any speed limits around exit for pedestrian safety (e.g. kids) any traffic control e.g. visitor parking limits on street, in particular peak hours and bin collection days. (Thursday) since Palmyra Avenue is a narrowing road, any noise control for busy traffic on weekends"*

M Lu – 4 Blanden Ave Marden SA 5070

Applicants Response

Traffic Control & Pedestrian Safety

It is proposed to redevelop the site with a group dwelling consisting of 19 three-bedroom residences, each with a double garage. The dwellings will be accessed via a two-way circulation roadway on the western side of the site. This will allow all drivers to be able to enter and exit the site in a forward direction.

Pedestrian safety has been addressed in this application by MFY Consultants. At the exit point of the proposed driveway to Palmyra Avenue, the pedestrian site triangle is 2.0m x 2.5m and complies with the Australian/New Zealand Standards. Landscaping and fencing in this area will be low profile, and allow for clear visibility for pedestrians, cyclists and road users.

Speed limits

Palmyra Avenue is a local residential road under the care, control and management of Council. Speed limits are not part of this development application; all road users need to comply with current 50km p/h speed limit.

| Development | Commercial | Designer Homes | Additions | Renovations |



New Creation Group Pty Ltd
ABN 61 118 245 891
BLD No. 195500

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Hampstead Gardens SA 5086
HIA Member 922938

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Onsite Parking Provision

Council's Development Plan identifies the following parking requirement within the Urban Corridor Zone:

- two spaces per three-bedroom dwelling; plus
- 0.25 spaces per dwelling for visitors.

The 19 three-bedroom residence each with double garages will satisfy the requirement for two residential parking spaces per dwelling.

In addition, there are two parallel visitors parking spaces along the western edge of the central landscaped area.

Offsite Parking Provision

Palmyra Avenue has been assessed by MFY Consultants to have an existing on-street parking provision for up to 41 vehicles.

It is anticipated occupants having double garages - 38 parks and 2 visitor parks onsite and bike rack provisions, the need for additional parking off site will be minimal, however capacity is available.

Traffic Movements

The proposed development will result in the construction of 17 additional dwellings when compared with the existing situation.

This would equate to an additional traffic demand of approximately 140 trips per day (based on eight trips per dwelling per day), or 14 additional movements in the peak hour. MFY Consultants have assessed additional traffic volume as very low and will have a negligible impact on the adjacent road network.

Waste Management & Collection

External dwelling facing Palmyra Avenue will access refuse collection services from Council on their scheduled collect i.e. Thursday.

Internal dwellings will be required to arrange a private refuse collection from a suitably licensed private contractor. Access to internal via a swept path allowing refuse collection vehicle turn on-site and as such, drivers of such vehicles will be able to enter and exit the site in a forward direction. This will reduce obstruction and unnecessary congestion on Palmyra Avenue.

It is highly recommended that refuse collection days/times for internal and external dwellings should be staggered.

Below photo on refuse collection day, showing clear access on Palmyra Ave, capacity for external unit refuse collection and visitor parking.



- Reason for Representation**
"The balconies facing Palmyra Ave will be looking the backyard, living, family room, kitchen"
- My Representation Would Be Overcome By**
"For the overlooking balconies to be removed and for overlooking windows to be made of panel awning vision obscuring glass. The units overlooking Palmyra Avenue can be turned so the balcony overlooks the common driveway"

P Q Lam – 4 Rawlings Ave Torrensville

Applicants Response

Units 1-8 have been designed to be two storey dwellings fronting Palmyra Avenue and have been designed to have minimal impact on the street.

The finish floor level of the balconies is 3100mm. The upper-level sliding doors are setback 1300mm from the balcony façade. The balcony of all units is enclosed either side. The balustrade is framed glass to 1-meter-high.

See below photo of the corner property located at no. 4 Rawlings Ave Torrensville, showing two storey dwelling facing Rawlings Ave and a freestanding garage facing Palmyra Ave.

Based on the unit 1-8 balconies finish floor height, front angle of viewing and location of existing freestanding garage it would be impossible for any person standing on the balcony to overlook any rear yards in Palmyra Ave or Rawlings Ave Torrensville.

The option to apply obscuring glazing to proposed sliding door/windows would not make any difference and only reduce the light and liveability of the master bedroom area for occupants.



In addition, Palmyra Avenue has large council street trees, including

- Callistemon (Bottlebrushes) a medium and large shrub to 6m -10m high – see above photo
- Jacaranda Mimosifolia (Jacarandas) a large tree can reach a height of around 10-15m and spread of the same size – see below photo

There is currently 5 mature Bottlebrushes in front of the proposed 1-8 units and scheduled to remain in situ. These large trees and scrubs provide a perfect green break and privacy screen between dwellings. This will again reduce any overlooking or privacy concerns for residents



Incorporated in this application is a landscaping plan for common areas and individual units, by Living Picture Consultants. This plan includes a range trees, scrubs and grasses with varying height, density and colouring to soften each dwelling façade and increase privacy and wellness for both occupant and residents.

**Summary**

It is proposed to develop 5-9 Palmyra Avenue, Torrensville to provide 19 residential dwellings.

The proposed parking and internal road network will comply with the requirements of the relevant Australian/New Zealand Standard.

The internal road layout will allow drivers to turn on site and therefore enter and exit the site in a forward direction.

Provision has been made for the storage of refuse associated with the internal units and collection by a private contractor.

The development will provide sufficient on-site parking for residents but includes a generous landscaped area.

There would be limited impact on the adjacent road network as a result of this, given the capacity for on-street parking on Palmyra Avenue and nearby roads.

The additional traffic generated by the proposal will be minimal and, therefore, will not change the nature or function of the adjacent road network.

If you require any further details, please let know.

Thank you

Charles Thompson
New Creation Group

E. Charles@newcreationgroup.com.au

Preliminary Traffic, Flooding & Stormwater Assessment

Development Application No: 211/279/2021

Assessing Officer:	Brendan Fewster
Site Address:	5 Palmyra Avenue, TORRENSVILLE SA 5031, 7-9 Palmyra Avenue, TORRENSVILLE SA 5031
Certificate of Title:	CT-5720/72, CT-5798/608
Description of Development	Demolition of existing buildings and construction of 19 two-storey dwellings with common driveway access and associated landscaping

TO THE TECHNICAL OFFICER - CITY ASSETS

Please provide your comments in relation to:

- Site drainage and stormwater disposal
- Required FFL
- On-site vehicle parking and manoeuvrability
- New Crossover
- Your advice is also sought on other aspects of the proposal as follows:
.....
.....

PLANNING OFFICER - Brendan Fewster DATE 24 August, 2021



City of **West Torrens**

Between the City and the Sea

Memo

To Brendan Fewster
From Richard Tan
Date 24-Aug-2021
Subject 211/279/2021, 5 Palmyra Avenue, TORRENSVILLE SA 5031, 7-9 Palmyra Avenue, TORRENSVILLE SA 5031

Brendan Fewster,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

1.0 FFL Consideration – Finished Floor Level (FFL) Requirement

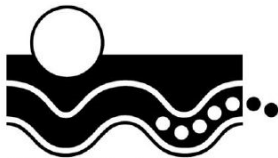
- 1.1 In accordance with the provided 'Civil & Drainage Plan' (KP, Ref: 210209-C2-A, dated 17/2/21) the FFLs of the proposed development (99.60 minimum) have been assessed as satisfying minimum requirements (99.38 minimum) in consideration of street and/or flood level information.

2.0 Verge Interaction

- 2.1 In association with new development, driveways and stormwater connections through the road verge need to be located and shaped such that they appropriately interact with and accommodate existing verge features in front of the subject and adjacent properties. Any new driveway access shall be constructed as near as practicable to 90 degrees to the kerb alignment (unless specifically approved otherwise) and must be situated wholly within the property frontage.

New driveways and stormwater connections are typically desired to be located a minimum 1.0 metre offset from other existing or proposed driveways, stormwater connections, stobie poles, street lights, side entry pits and pram ramps, etc. (as measured at the front property boundary). An absolute minimum offset of 0.5m from new crossovers and stormwater connections to other existing road verge elements is acceptable in cases where space is limited.

These new features are also desired to be located a minimum of 2.0 metres from existing street trees, although a lesser offset may be acceptable in some circumstances. If an offset less than the desired 2.0 metres is proposed or if it is requested for the street tree to be



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removed, then assessment for the suitability of such will be necessary from Council's Technical Officer (Arboriculture).

- 2.1.1 Stormwater connection is in direct conflict with the common crossover servicing multiple dwellings at the rear.

It is recommended that a civil plan indicating offset of features satisfaction to the above requirements should be provided to Council.

- 2.1.2 The proposed crossover is in direct conflict with an existing street tree. Council's Arboriculture Team has supported the removal of the existing street tree in direct conflict with the proposed crossover. However, there seems to be typo in their assessment, as highlighted in the following:

*A site investigation together with the information provided has revealed that the location of the proposed crossover for proposed development at 5 Palmyra Avenue will directly impact an existing *Callistemon viminalis* (Weeping bottlebrush) street tree located 5.0m from **eastern** boundary.*

*In this instance City Operations will support the removal of the existing street tree leaving 9.5m to accommodate the proposed crossover, while allowing for a 2.0m clearance from *Callistemon* located 11.5m adjacent proposed residence 1.*

I believed that the 'eastern' is a typo of 'western'. I leave this to the planner's consideration on whether clarification with the Arboriculture team is required.

- 2.1.3 No further assessment provided. Item still considered outstanding.

The stormwater connection for Residence 5 and Residence 7 should be relocated to ensure that 2m offset from existing street tree

It is recommended that revised plans indicating satisfaction to the above requirements should be provided to Council.

- 2.2 The shape and material of stormwater connection through the road verge area has been assessed as satisfying minimum requirements
- 2.3 The redundant kerb has been indicated to be reinstated on provided plans.



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3.0 Traffic Requirements

The following comments have been provided by Council's Traffic Consultant, Mr Frank Siow:

I refer to the above residential development on the subject site. The subject site is located within the Urban Corridor Zone Transit Living Policy Area 36 of the Development Plan.

The proposal is described in the application as the construction of 4 residential flat buildings comprising of 19 two-storey dwellings. Each dwelling would have 3 bedrooms and a double garage. There are no visitor parking spaces proposed on-site. The dwellings would be serviced by a common driveway with access to Palmyra Avenue to be located at the western boundary of the subject site. I understand private refuse trucks would collect bins on-site.

I note that Palmyra Avenue has a varying carriageway width. Adjacent to the subject site, on-street parking is permitted on both sides of the street.

3.1 Parking Assessment

The relevant parking rates for residential developments in this Policy Area are as follows:

- 2 spaces per 3+ bedroom dwelling
- 0.25 spaces per dwelling for visitors

The resident parking requirement would be satisfied by the provision of 2 garage spaces per dwelling. However there would be a parking shortfall of 4 to 5 spaces for visitor parking.

I note that there is a fairly large landscaped area proposed within a central garden area, which I understand forms part of stormwater detention for the site. However, given the significant distance visitors have to walk to reach the rear dwellings, if they are parked on the street, it would be desirable, in my opinion, to provide say 2 visitor spaces within the site. This would result in some loss of landscaping in the central garden area. (Note from City Assets: a permeable pavement parking would retained landscaping and at the same time provide visitor parking space)

The remaining visitor parking demand can be suitably accommodated by on-street parking. I note that the subject frontage of the site can satisfactorily accommodate 6 or more on-street parking spaces, as the



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8 dwellings that front Palmyra Avenue are designed with rear garage access.

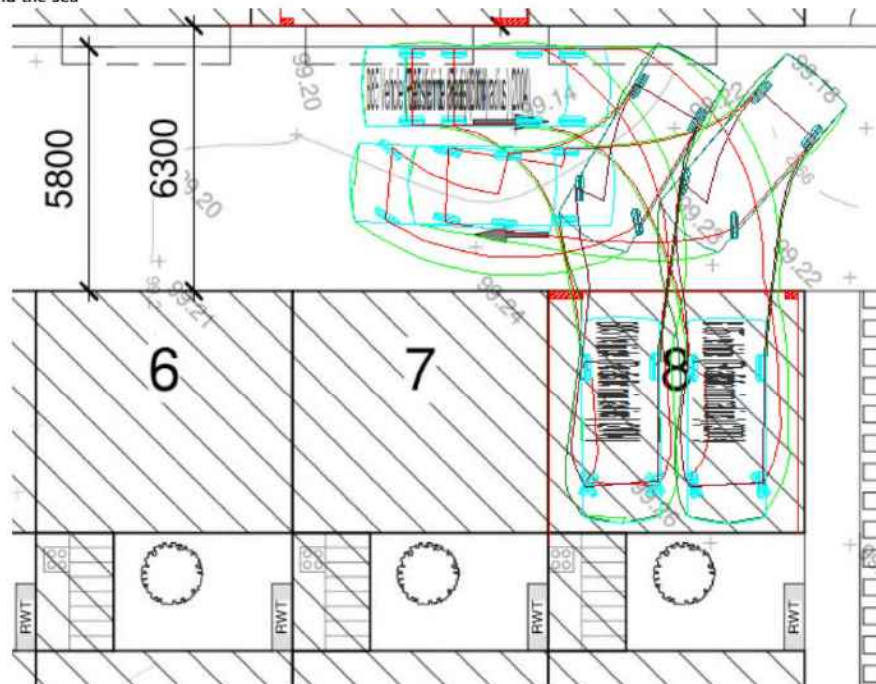
The 10 bike parking racks shown around the central garden area would satisfy the Development Plan requirement. However, in my opinion, it would be likely that residents would park their bicycles inside their own dwelling.

3.2 Parking Layout

Previously Council's Traffic Consultant has advised that the roller doors should be widened to 5.2m to enable satisfactory access. However, I noticed that some of the dwelling (ie: Unit 9) will not have sufficient width as some allowance has been used for a personal access door next to the garage door. In this case, I leave this to the planner's consideration on whether this is acceptable or not. If this is not acceptable, then further consideration such as widened the internal road may be required. The following comments provided earlier has been reattached for information:

I note that each of the garage space is shown with a storage shelf on one side or space for shelving or walkway on one side. The proposed roller doors are 4.8m wide.

My assessment indicates that the any storage shelving would likely impact on the ability of the vehicles to access the garage spaces. In addition, the proposed roller doors should be widened to say 5.2m to enable satisfactory access to the provided (see below). I recommend that both amendments described previously be adopted to ensure that satisfactory access is provided.



The following has been attached for information only:

While I leave the comment about refuse collection to others, I note that the internal roadway layout would allow the refuse truck to turnaround (after bin collection) to leave the site in a forward direction. At Palmyra Avenue, the refuse truck should be able to undertake the required exit turn, provided some parking prohibitions are implemented to keep potential parked vehicles away from the swept path requirement (see diagram below).

This may not necessarily reduce the on-street parking for the neighbouring property to the west of the subject site, as the current kerb space would only allow one vehicle to park and the parking position would merely be shifted west. On the opposite side, there is an existing crossover to assist in the truck turn, however, additional parking prohibition may need to be extended east of the crossover. These amendments to the parking controls can be reviewed by City Assets once the development is completed.



The proposed residential land use would be a low traffic generator. I do not have concerns with the traffic impact of the development on the adjacent road network.

The following comments have been provided by City Assets Department:

- 3.3** As the access driveway will service more than one property at the rear, the driveway corridor to the site will require widening to a minimum of 5.5m wide pavement width (+ 300mm offset from fences/walls/boundary) for the first 5.0m into the site to permit the passing of entering and exiting traffic. The proposed driveway has been assessed as satisfying minimum requirements.
- 3.4** No further assessment provided. Item still considered outstanding.

It is recommended that the width of the crossover servicing multiple unit is 5.5m with 0.3m flaring on each side (6.1m wide at the kerb line).

It is recommended that revised plans showing a 5.5m crossover with 0.3m flaring on each side (6.1m wide at the kerb line) be provided to Council.

- 3.5** It is also important to ensure that the functionality of this driveway entrance and passing area is not compromised by the ultimate installation of letterboxes, above ground service metres or similar.

Letter boxes and services are currently located outside the driveway passing area.

It is also recommended that any approval associated with this development included a condition of similar wording to the following;



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"No aboveground structure(s) such as letterboxes, service meters or similar are to be installed within the common driveway entrance and passing area."

3.6 No further assessment provided. Item still considered outstanding.

The internal garage length is currently proposed as 5.6m. Although not specified in the relevant Australian Standards (AS/NZS 2890.1:2004), traffic engineering best practice guides that the minimum internal length of an enclosed garage or enclosed carport space should be a minimum of 5.8m.

It is recommended that revised plans be submitted, showing garage internal dimensions are stated above.

4.0 Waste Management

4.1 Due to the nature of this application, it is recommended that further assessment from Council's Waste Management Team is required.

It is recommended that further assessment from Council's Waste Management Team is required.

5.0 Stormwater Management

5.1 Stormwater Detention

Provided information, 'Civil & Drainage Plan' (KP, Ref: 210209-C2-B, dated 28/7/21) would indicated that the applicant has chosen to adopt the 'Alternate' approach for desired stormwater management for this site.

This approach providing a good consideration of stormwater detention, stormwater volume reduction, stormwater quality improvement and stormwater re-use within each dwelling.

However, the detailing of the alternate approach is not accurate. I leave this to the planner to decide whether to condition the detailing as a condition or have the applicant to amend the plans to include the accurate detailing as following:

It is recommended that any approval associated with this development included a condition of similar wording to the following;



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- **All stormwater management measures for a dwelling, including harvest tanks and supply mechanisms, must be installed and operation prior to occupancy of that dwelling.**
- **Rainwater tank plumbed to deliver recycled water to all toilets and laundry cold water outlet. (Can also be connected to Hot Water Service if desired).**
- **A minimum of 90 percent of the roof area of each dwelling must be plumbed to direct stormwater runoff to the rainwater tank for that dwelling.**

5.2 Stormwater Quality

As the applicant adopted the 'alternate' stormwater management as per dot point 5.1, then City Assets will support basic stormwater quality devices (such as pit filter) to be installed to reduce stormwater pollutants from the stormwater flow exiting the site. Under this context, the applicant has proposed a GPT as the proprietary product and hence the stormwater quality for the site has been considered as satisfying requirements.

5.3 Other

No further assessment provided. Item still considered outstanding. The provided stormwater layout plan has indicated that each dwelling has their own stormwater pipe discharging from the property to the pit located at Palmyra Avenue. This arrangement is quite unique and potentially not construction/cost friendly. A simple substitution (such as connecting pipes to a pit and then adopt a larger diameter pipe) can be achieved to replace this arrangement.

It is recommended that the applicant reviewed the stormwater system and provide an alternate solution to current proposal.

Regards
Richard Tan
Civil Engineer

Arboricultural Assessment of Street Trees

Development Application No: **211/279/2021**

REFERRAL DUE DATE:

Assessing Officer: **Brendan Fewster**
 Site Address: **5 Palmyra Avenue, TORRENSVILLE SA 5031, 7-9 Palmyra Avenue, TORRENSVILLE SA 5031**
 Certificate of Title: **CT-5720/72, CT-5798/608**
 Description of Development **Demolition of existing dwellings and structures and construction of four (4) residential flat buildings containing nineteen (19) two storey dwellings**

TO THE TECHNICAL OFFICER – CITY ASSETS

Please provide your comments in relation to:

- The removal of or impact upon the Street Tree**
- Species of Tree:**
- Your advice is also sought on other aspects of the proposal as follows:**

PLANNING OFFICER - Brendan Fewster

DATE 17 March 2021

FROM THE TECHNICAL OFFICER

I have examined the plans as requested and provide comments as follow.

As with all development applications it must be proven beyond reasonable doubt that all alternatives have been explored so not to hinder the progress of any street tree(s).

Any proposed development that does not consider "AS4970 Protection of Trees on Development Sites", is likely to require revision until all plans accurately correspond with the specific tree information detailed in this standard.

Verge interaction must consider all services that cross council land including stormwater outlets (and other) which will need to be maintained a minimum of 2.0m from any existing street tree (unless existing or otherwise negotiated). All services must be indicated /documented on appropriate plans for Council assessment and approval.

A site investigation together with the information provided has revealed that the location of the proposed crossover for proposed development at 5 Palmyra Avenue will directly impact an existing *Callistemon viminalis* (Weeping bottlebrush) street tree located 5.0m from eastern boundary.

In this instance City Operations will support the removal of the existing street tree leaving 9.5m to accommodate the proposed crossover, while allowing for a 2.0m clearance from *Callistemon* located 11.5m adjacent proposed residence 1.

With reference to the City of West Torrens, Fees and Charges Document 2020-2021 "Tree removal for driveway construction", once Council has assessed all circumstances and considered it acceptable that a street tree can be removed, a fee is calculated based on Council's standard schedule of fees and charges.

The fee is used to offsets the loss of the asset (street tree) to the community, with funds received invested in Council's annual Greening Program.

As a result of the proposed crossover for proposed development 5 Palmyra Avenue, City Operations has considered the health, structure, form, useful life expectancy and age of the street tree and in this instance will support the removal.

A fee of \$ 750.00 will be required prior to the commencement of any work.

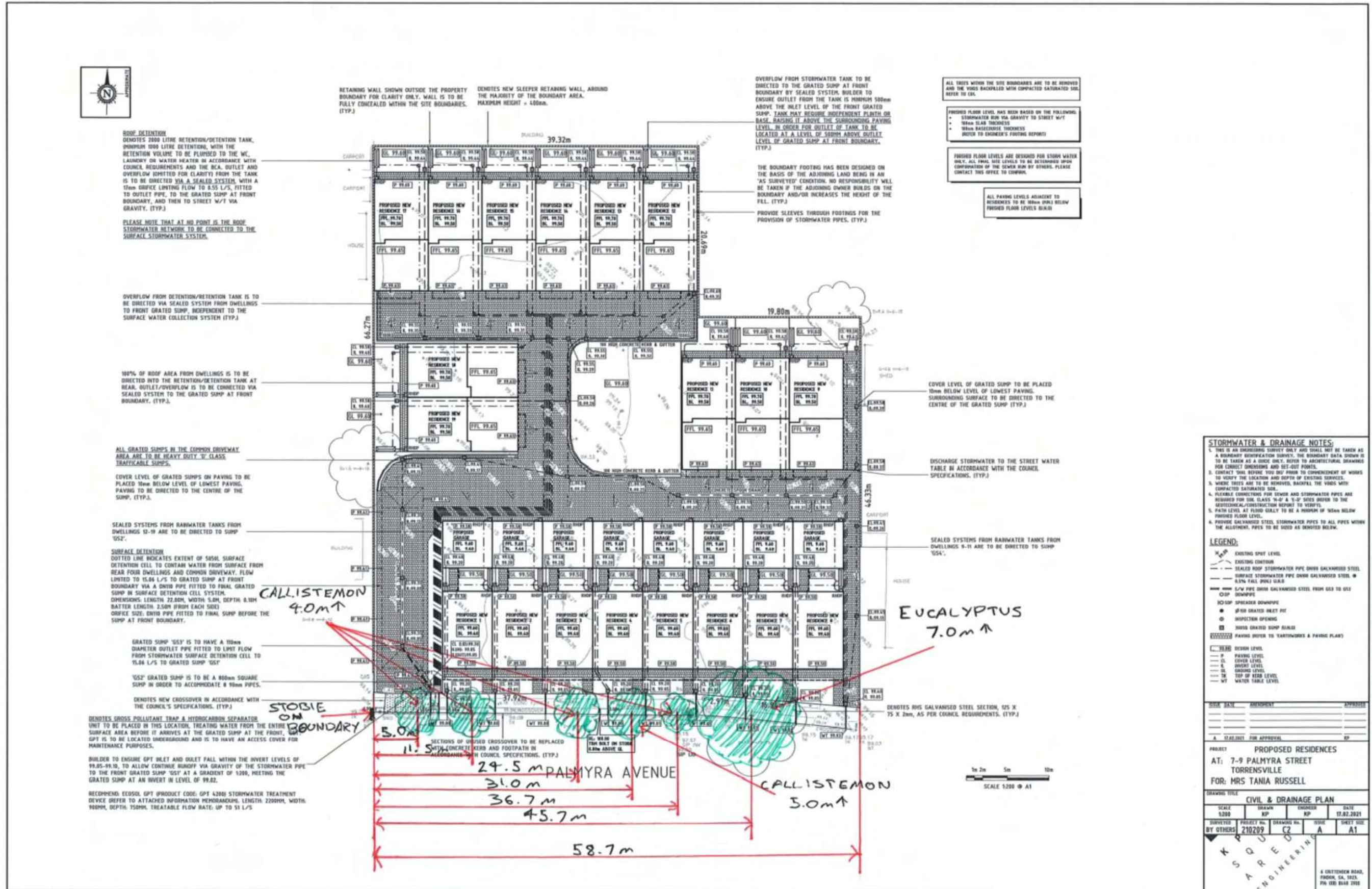
Please note, under no circumstances is any individuals other than council staff permitted to interfere with a street tree. If pruning etc. is required, council must be notified via the appropriate customer request, and council staff will perform all works associated with the community asset.

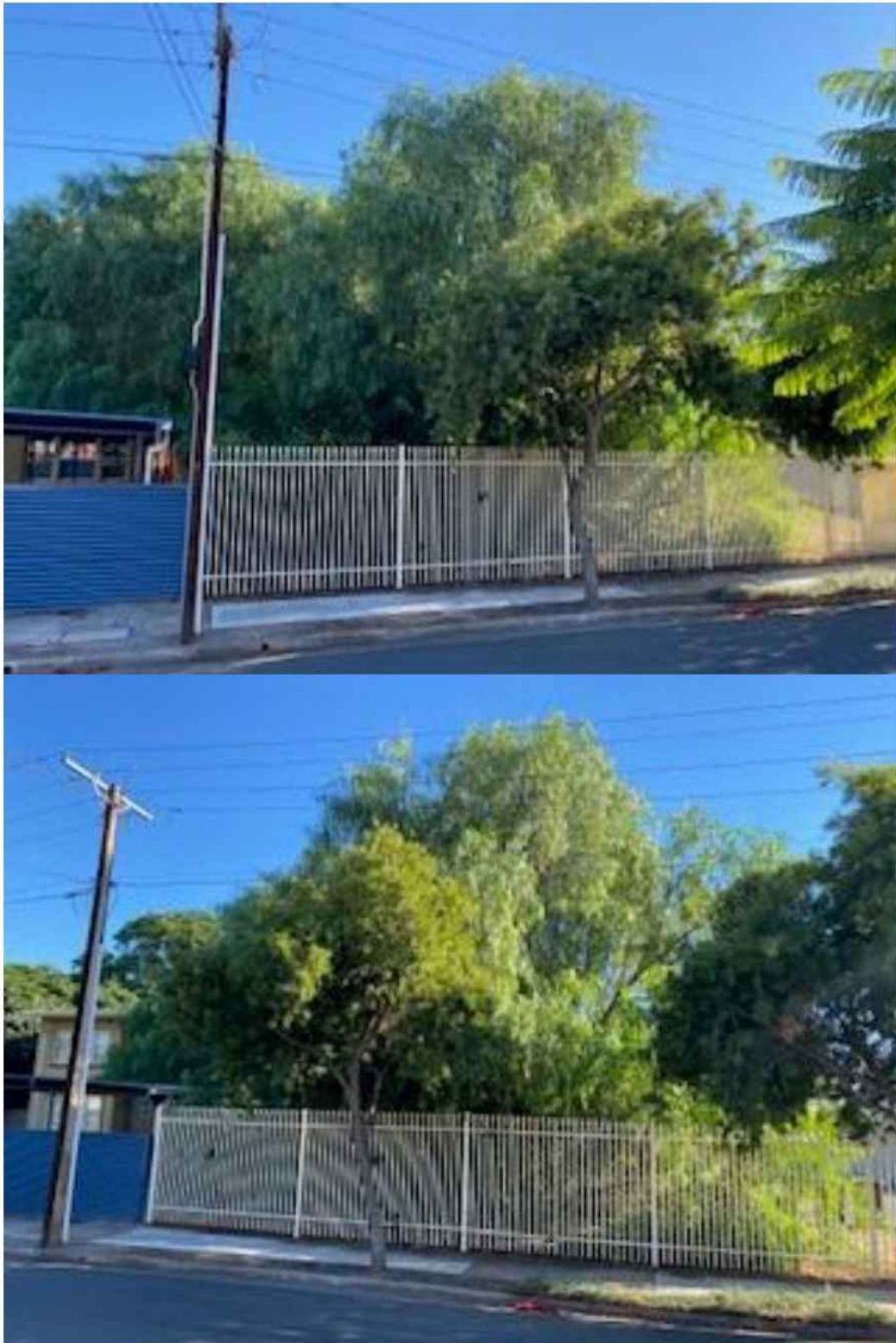
Final crossover locations will be confirmed once appropriate documentation has been received from the applicant and they have submitted "an application to construct a vehicle crossing place(s) across council land".

**Raoul Brideoake
Technical Support Officer Arboriculture (Acting)
165 Sir Donald Bradman Drive
Hilton SA 5033**

**Telephone: 8416 6333
Fax: 8443 5709**

DATE: 24/03/2021

















Waste Management Assessment

Development Application No: 211/279/2021

Assessing Officer: Brendan Fewster

Site Address: 5 Palmyra Avenue, TORRENSVILLE SA 5031, 7-9 Palmyra Avenue, TORRENSVILLE SA 5031

Certificate of Title: CT-5720/72, CT-5798/608

Description of Development: Demolition of existing dwellings and structures and construction of four (4) residential flat buildings containing nineteen (19) two storey dwellings

TO TEAM LEADER WASTE MANAGEMENT - REGULATORY SERVICES

Please provide your comments in relation to:

- Any aspect that you feel needs further attention or detail

.....



Memo

To Brendan Fewster
From Nick Teoh
Date 23-Mar-2021
Subject 211/279/2021 5 Palmyra Avenue, TORRENSVILLE SA 5031, 7-9 Palmyra Avenue, TORRENSVILLE SA 5031

Dear Brendan Fewster

The following Waste Management comments are provided with regards to the assessment of the above develop application:

Waste Management

The proposed development at 5 and 7-9 Palmyra Avenue, Torrensville exceeds the maximum number of bins (10) for a standard or shared Council waste service. The proposal outlined by MFY Pty Ltd meets the requirements for waste provision to residential dwellings through a commercial waste company.

Kind regards

Nick Teoh
Team Leader Waste Management

6.2 PDI ACT APPLICATIONS

Nil

7 REVIEW OF ASSESSMENT MANAGER DECISION

Nil

8 CONFIDENTIAL REPORTS OF THE ASSESSMENT MANAGER

Nil

9 RELEVANT AUTHORITY ACTIVITIES REPORT**9.1 Activities Summary - November 2021****Brief**

This report presents information in relation to:

1. Any development appeals before the Environment, Resources and Development (ERD) Court where the Council Assessment Panel (CAP) is the relevant authority;
2. Other appeal matters before the ERD Court of which SCAP are the relevant authority;
3. Any deferred items previously considered by the CAP
4. Summary of applications that have been determined under delegated authority where CAP is the relevant authority; and
5. Any matters being determined by the State Commission Assessment Panel (SCAP).

RECOMMENDATION

The Council Assessment Panel receive and note the information.

Development Application appeals before the ERD Court**CAP is the relevant authority**

Nil

SCAP is the relevant authority			
DA number	Address	Description of development	Status
211/M022/17	79 Port Road, THEBARTON	Multi-storey mixed use development, incorporating commercial tenancy, 2 storey car park, 9-storey residential flat building, four x 3-storey residential flat buildings and car parking	Compromise plans have been received and Council comments provided to SCAP 09 November 2020. The compromise proposal was scheduled for conciliation conference 28 January 2021. No further update available.

Deferred CAP Items

Nil

Development Applications determined under delegation (CAP is the relevant authority)

Awaiting PlanSA Portal functionality to report on relevant applications.

Development Applications pending determination by SCAP

DA Number	Reason for referral	Address	Description of development
21016709	Schedule 6	1A-1B Glenburnie Terrace Plympton	Seven storey residential flat building comprising 32 dwellings with associated carparking and landscaping Council comments sent to SCAP. Further information has been requested by ODASA.
211/M135/21 Lodged 16/03/21	Schedule 10	1 Selby Street, Kurralta Park	Construction of a 10-storey residential flat building with associated car parking and site works. Under Assessment
211/M134/21 Lodged 16/03/21	Schedule 10	4-10 Railway Terrace Mile End	Construction of a mixed use residential/commercial development comprising 51m ² commercial tenancy, two (2) residential flat buildings comprising 6 dwellings and 28 dwellings associated landscaping, carparking, communal spaces and public realm improvements (Stage 2) Under Assessment Public notification is being undertaken - closes 10 November 2021 Council comments due 1 December 2021 - City Assets currently reviewing

DA Number	Reason for referral	Address	Description of development
211/M129/21 Lodged 17/02/21	Schedule 10	8 Eton Road, Keswick	Construction of a six (6) storey mixed use building comprising residential and commercial tenancies together with car parking and landscaping. Under Assessment Council comments sent to SCAP on 18/03/21

Conclusion

This report is current as at 1 November 2021.

Attachments

Nil

10 OTHER BUSINESS

11 MEETING CLOSE