

CITY OF WEST TORRENS



Notice of Panel Meeting

Notice is Hereby Given that a Meeting of the
COUNCIL ASSESSMENT PANEL

will be held in the George Robertson Room, Civic Centre
165 Sir Donald Bradman Drive, Hilton

on

TUESDAY, 8 DECEMBER 2020
at 5.00pm

Hannah Bateman
Assessment Manager

City of West Torrens Disclaimer

Council Assessment Panel

Please note that the contents of this Council Assessment Panel Agenda have yet to be considered and deliberated by the Council Assessment Panel therefore the recommendations may be adjusted or changed by the Council Assessment Panel in the process of making the formal Council Assessment Panel decision.

Note: The plans contained in this Agenda are subject to copyright and should not be copied without authorisation.

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1 MEETING OPENED**1.1 Evacuation Procedures****2 PRESENT****3 APOLOGIES****4 CONFIRMATION OF MINUTES****RECOMMENDATION**

That the Minutes of the meeting of the Council Assessment Panel held on 10 November 2020 be confirmed as a true and correct record.

5 DISCLOSURE STATEMENTS

In accordance with section 7 of the *Assessment Panel Members – Code of Conduct* the following information should be considered by Council Assessment Panel members prior to a meeting:

A member of a Council Assessment Panel who has a direct or indirect personal or pecuniary interest in a matter before the Council Assessment Panel (other than an indirect interest that exists in common with a substantial class of persons) –

- a. must, as soon as he or she becomes aware of his or her interest, disclose the nature and extent of the interest to the panel; and
- b. must not take part in any hearings conducted by the panel, or in any deliberations or decision of the panel, on the matter and must be absent from the meeting when any deliberations are taking place or decision is being made.

If an interest has been declared by any member of the panel, the Assessment Manager will record the nature of the interest in the minutes of meeting.

6 REPORTS OF THE ASSESSMENT MANAGER

6.1 2 and 4 Jervois Street, TORRENSVILLE

Application No 211/260/2020

Appearing before the Panel will be:

Representor: **Sam McInnes** of 180 Henley Beach Road, Torrensville wishes to appear in support of the representation.

Applicant: **Graham Burns** on behalf of Dome Buildings Concepts wishes to appear in response to the representation.

DEVELOPMENT APPLICATION DETAILS

| | |
|----------------------------|--|
| DESCRIPTION OF DEVELOPMENT | Demolition of existing dwelling on 4 Jervois St and change of use from office, shop and manufacturing to restaurant and ancillary car park and associated landscaping (non-complying) |
| APPLICANT | Dome Building Concepts |
| LODGEMENT DATE | 7 April 2020 |
| ZONE | Urban Corridor Zone Residential Zone |
| POLICY AREA | Business Policy Area 35 Medium Density Policy Area 19 |
| APPLICATION TYPE | Non-complying |
| PUBLIC NOTIFICATION | Category 3 |
| REFERRALS | Internal <ul style="list-style-type: none"> • City Assets • Environmental Health • Waste Management External <ul style="list-style-type: none"> • Nil |
| DEVELOPMENT PLAN VERSION | Consolidated 12 July 2018 |
| DELEGATION | <ul style="list-style-type: none"> • The relevant application proposes a non-complying form of development and the application is to be determined after a full merit assessment against the Development Plan, except where the relevant development application proposes a change of use to office in a Commercial Zone. • The relevant application is for a merit, Category 2 or Category 3 form of development, representations have been received and one or more representors wish to be heard on their representation. |
| RECOMMENDATION | Support with conditions |
| AUTHOR | Jordan Leverington |

BACKGROUND

This application has been through a variety of changes since being lodged due to the complex attributes of the site. Of most concern has been the ability to provide suitable onsite car parking. A version of this proposal in its initial form sought to utilise the car park directly to the south as it is operated by the same ownership group as that of the subject site. This proved difficult however due to the need for rights of way across multiple allotments that were in different ownership.

Time has been a critical factor in proceeding with this proposal, as they had a potential client lined up to operate from the building on 2 Jervois Street. For expediency, the Applicant decided to proceed with the current format of the application with parking provided on 2 & 4 Jervois Street even though it meant having to proceed through a non-complying process.

During public notification a representation from the owners of 4a Jervois Street was received. However, it was later withdrawn as the owner of 2 and 4 Jervois Street signed a contract to buy 4a Jervois Street. The representation and response to the representation has been left in the report as it provides additional information relevant to the proposal.

SUBJECT LAND AND LOCALITY

The subject land is formally described as Allotment 78 Filed Plan 122872 and Allotment 79 Filed Plan 122873 in the area named Torrensvile Hundred of Adelaide, Volume 5250 Folio 224 & Volume 5780 Folio 537, more commonly known as 2 & 4 Jervois Street, Torrensvile. The subject site is irregular in shape with a 28 metre (m) wide frontage to Jervois Street and a cumulative site area of 1022.22 square metres (m²).

There is a Right of Way that traverses 4 Jervois Street that provides free and unrestricted rights of way over this land for 2 Jervois Street. The shared allotment boundary between 2 & 4 Jervois Street is also the zone boundary between the Residential Zone and the Urban Corridor Zone. The subject site is also immediately adjacent a Historic Conservation Area to the south.

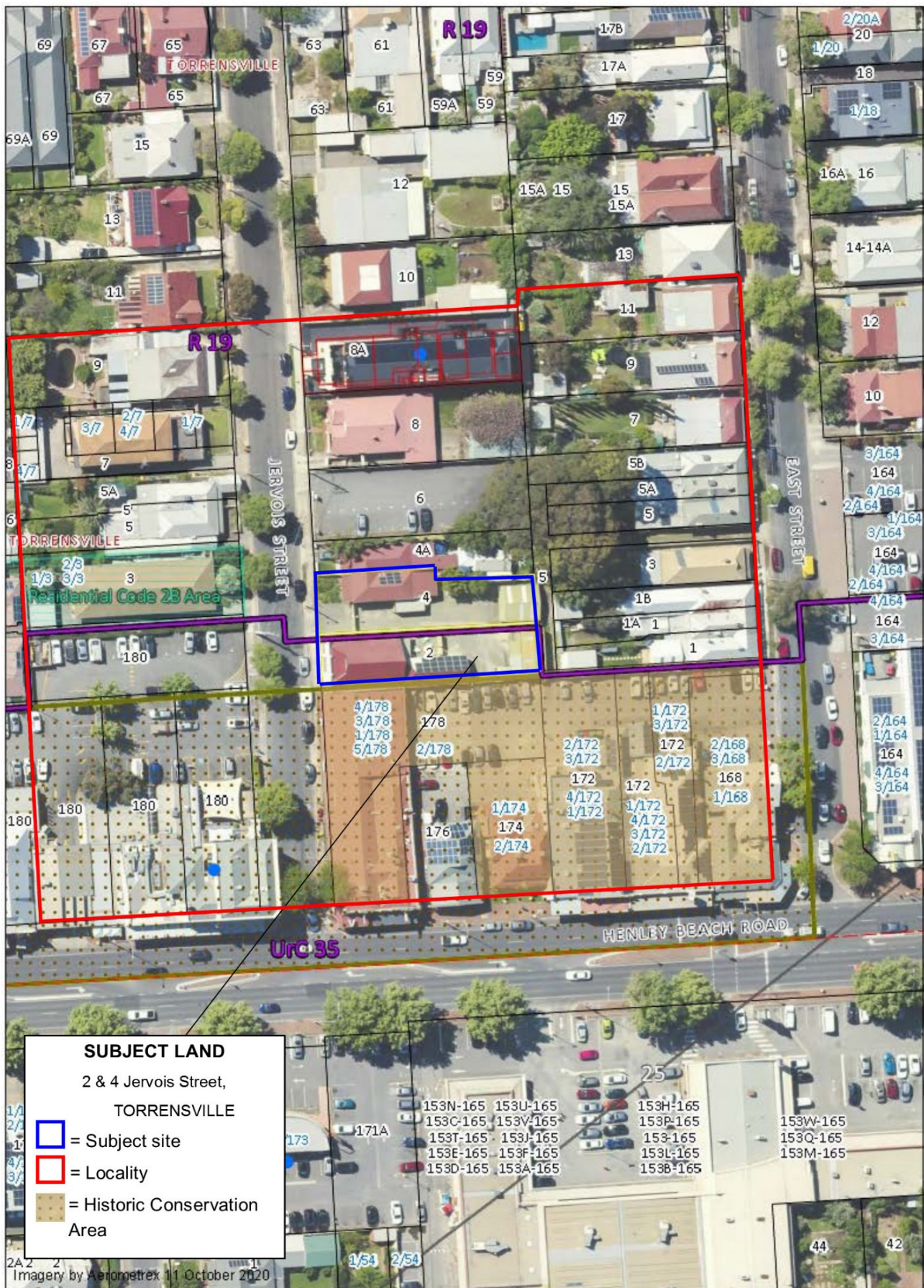
It is noted that there are no encumbrances or Land Management Agreements on the Certificate of Title.

The site currently contains four buildings, all used for non-residential purposes. 2 Jervois Street contains what was a printing factory and a detached outbuilding, 4 Jervois Street contains what used to be half of a semi-detached dwelling (used as an office) and an outbuilding. The vast majority of the site has been concreted to allow for onsite vehicle movement. The site is relatively flat and there is little to no vegetation nor Regulated Trees on the subject site or on adjoining land that would be affected by the development.

The locality consists of a mix of residential and commercial land uses. Dwellings are predominantly found to the north, north-west and east of the subject site, whilst commercial land uses are found to the south and west. Henley Beach Road is located 50 metres south of the subject site and is an arterial road.

The locality is considered to have a medium level of amenity, impacted upon by commercial activities as well as road and aircraft noise.

The site and locality are shown on the aerial imagery below.



RELEVANT APPLICATIONS

| DA Number | Description of Development | Decision | Decision Date |
|---------------|---|------------------------------|------------------|
| 211/1095/2019 | Alterations to building facade including a canopy and new entry | Development Approval Granted | 17 December 2019 |

PROPOSAL

The proposal seeks to change the use of 2 & 4 Jervois Street to a restaurant (shop) along with the construction of a car park and ancillary landscaping. In order to facilitate this, the building on 4 Jervois Street will need to be demolished. Part of the demolition works will be to make good the remaining common wall to meet current Building Code requirements, which is required for the remaining part of the dwelling at 4a Jervois Street.

The car park will gain access from the existing crossover located on 4 Jervois street and provide 15 on site carpark spaces including one for disability access. Landscaping will be primarily located along the north eastern perimeter of the allotment with some additional raised garden beds separating the car park from the outdoor eating area. Approximately a third of the remaining party wall along the northern boundary will be screened from view by the erection of a 3 metre (m) high and 7m wide vertical garden fixed to an engineered steel frame structure in front of the wall.

There are two outbuildings located at the eastern end of the allotment which will be used for storage associated with the restaurant land use.

The restaurant will be open from 8:00am to 3:00pm - Monday to Sunday and cater for up to 80 customers at any one time. A maximum of 9 staff will be needed to service these customers.

The relevant plans and documents are contained in **Attachment 2**.

NON-COMPLYING

The application is a non-complying form of development as a restaurant is listed as such in the Procedural matters section of the Residential Zone.

The applicant has provided a Statement of Effect pursuant to Regulation 17 of the *Development Regulations 2008* (refer **Attachment 2**). This document highlights a number of positive social, economic and environmental impacts associated with the proposed development as follows:

- Staff and visitors will be able to park onsite rather than within the public street network;
- The adaptive reuse of the existing building is an economical use of it; and
- This proposal will generate employment opportunities.

The Applicant has not indicated any negative impacts likely to arise from the proposed development which might include noise from people using the carpark to the adjoining residential properties, the additional demand on on-street parking or odours generated through cooking.

These aspects will be further discussed later in this report.

Should the CAP resolve to approve the application, the concurrence of the State Commission Assessment Panel is required. Although the need for a concurrence has since been dispensed with, as it was lodged before the policy change (14 of May this year), this concurrence is still necessary. Alternatively, should the CAP be minded to not support the application, there are no

appeal rights afforded to the Applicant. As the Administration resolved, under delegation, to proceed with an assessment of the proposal, the application is now presented to the Panel for a decision.

PUBLIC NOTIFICATION

The application is a Category 3 form of development pursuant to Schedule 9 of the *Development Regulations 2008*.

| | |
|--|--|
| Properties notified: | 70 properties were notified during the public notification process. |
| Representations: | Two representations were received, but one has since been withdrawn |
| Persons wishing to be heard: | <ul style="list-style-type: none"> Sam McInnes of 180 Henley Beach Road, Torrensville wishes to be heard |
| Summary of the representations: | <p>Summary of representation:</p> <ul style="list-style-type: none"> Disclosure and appropriateness of the proposed operating hours; What is the nature of the private functions being proposed; Permanent and clear signage stating that customers and staff not park at the Hotel Royal carpark or 6 Jervois St, Torrensville. The detrimental impact of the proposed demolition upon the adjoining dwelling and party wall of 4A Jervois Street; How the footings, party wall, roof and common fencing of 4A Jervois Street is to be finished and made good by the applicant; The impact of the proposed landscaping and vertical garden upon the footings of the party wall; and The negative impact upon the residents of 4A Jervois Street and nuisance generated from the use of the café, outdoor dining area, driveway, loading bay and car park; |
| Applicant's response to representations | <p>Summary of applicant's response:</p> <ul style="list-style-type: none"> Operating hours will be 8am to 3pm, 7 days a week; Private functions will not be the primary use of the land. It is intended to people to celebrate wedding anniversaries, birthdays or staff retirements; This is not considered to amount to a functions centre; A Structural Inspection Report has been procured and has found that the boundary structure will be structurally adequate following the demolition of the maisonette. The suggestion of retaining the existing dwelling and providing car parking behind does not provide sufficient parking for the proposed development The amenity impacts will be negligible The restaurant will replace a much noisier printing workshop Noise is expected to be minimal and offset from the traffic noise of Henley Beach Road. |

One of the representations was withdrawn because the owner of 4a Jervois Street has sold that property to the owners of 2 & 4 Jervois Street, Torrensville.

A copy of the representations and the applicant's response is contained in **Attachment 3**.

INTERNAL Referrals

| Department | Comments |
|-----------------------------|---|
| City Assets | <ul style="list-style-type: none"> The proposal provides sufficient on-site parking; The bike rack should be relocated to be in front of car park 13 so that the loading zone can be widened Delivery vehicles should be limited to an Small Rigid Vehicle (SRV) size if deliveries are to occur during the operating hours; Outside of the operating hours the carpark layout is capable of accommodating Medium Rigid Vehicle (MRV) |
| Environmental Health | <ul style="list-style-type: none"> Outlined a number of requirements that the premises will need to meet in order to comply with Food Safety Standards 3.2.2 and 3.2.3 Requested a condition be added to any approval that delivery and waste collection vehicles need to comply with the Local Nuisance and litter control Act |
| Waste Management | <ul style="list-style-type: none"> The amended waste management solution for the proposed development at 2 & 4 Jervois Street appropriately addresses previous concerns regarding storage and collection of waste receptacles. |

A copy of the relevant referral responses is contained in **Attachment 4**.

RELEVANT DEVELOPMENT PLAN PROVISIONS

The subject land is located within:

- Urban Corridor Zone, High Street Policy Area 35; and
- Residential Zone, Medium Density Policy Area 19.

as described in the West Torrens Council Development Plan. The relevant Desired Character statements are as follows:

Urban Corridor Zone - Desired Character:

This zone will contain an innovative mix of medium density (45-70 dwellings per hectare) and high density (70-200 dwellings per hectare) residential development, together with community and employment land uses, along the Port Road, Anzac Highway, Richmond Road and Henley Beach Road corridors. The combination of land uses will vary within these corridors. Some locations will contain a genuine land use mix with ground floor shops, restaurants and offices, and upper level residential, while other areas will give primacy to residential development. Other parts of the zone will have a strong employment focus.

The function of main roads in the zone, particularly Port Road, Richmond Road and Anzac Highway, as major transport corridors will be protected by providing access to allotments from secondary road frontages and rear access ways as much as possible. Parking areas will be consolidated, shared (where possible) and screened from the street or public spaces. Allotments with car parking fronting Port Road, Anzac Highway, Richmond Road and Henley Beach Road will be redeveloped with built form closer to the road and reconfigured car parking areas.

As one of the key zones in the City of West Torrens where there will be transformation in built form, new buildings will be recognised for their design excellence. These buildings will establish an interesting pedestrian environment and human-scale at ground level through careful building articulation and fenestration, verandas, balconies, canopies and landscaping. In general, the greatest height, mass and intensity of development will be focussed at the main road frontage. Buildings of 3 or more storeys will be the predominant built form. It is for these reasons that dwellings other than detached dwellings will be the predominant form of residential development.

Overlooking, overshadowing and noise impacts will be moderated through careful design. Impacts on adjoining zones where development is lower in scale and intensity will be minimised through transition of building heights and setbacks, judicious design and location of windows and balconies, and the use of landscaping. The transition of building heights and setbacks, and judicious design is especially important adjacent Character Policy Areas, including those Character Policy Areas at Glandore and Ashford. The use of blank walls in these transitional areas, especially at the rear and side of allotments, will be avoided. Plant and service equipment will be enclosed and screened from view from the street and neighbouring allotments.

Where buildings are set back from main roads, landscaping will contribute to a pleasant pedestrian environment and provide an attractive transition between the public and private realm. Large scale development in the zone will facilitate the establishment of areas of communal and public open space, and create links with existing movement patterns and destinations in the zone. Front fencing in the zone will be kept low and/or visually permeable.

Some parts of the zone, including allotments in Thebarton and Keswick, are potentially contaminated because of previous and current industrial activities. In these circumstances, development is expected to occur on a precautionary basis if site contamination investigations identify potential site contamination, particularly where it involves sensitive uses such residential development.

The Thebarton brewery has potential to cause nuisance to future users and residents within this zone through noise and odour. To mitigate potential adverse impacts, residential development north of Smith Street that is likely to be sensitive to brewery operations should generally be avoided unless interface mitigation measures have been implemented (or will be implemented within an acceptable period) such that the anticipated impacts are within acceptable limits.

Noise and air amenity with the zone is not expected to be equivalent to that expected from living in a purely residential zone.

High Street Policy Area 35 - Desired Character:

The policy area will predominantly contain a mix of retail, offices, commercial, community and medium density residential development. The mix of complementary land uses will assist in extending the usage of the policy area beyond normal working hours to enhance its vibrancy and safety.

Development will take place at medium densities. The fine grained subdivision pattern, where allotments are narrow but deep, will be maintained to encourage development that supports a variety of tenancies and provides visual interest. Where there are larger/wider allotments, built-form will reinforce this desirable fine grained appearance of older development in the policy area (i.e. many, separate, narrower tenancies). In order to achieve the desired transformation of the policy area, dwellings other than detached dwellings will be the predominant form of residential development.

Where development has a mix of land uses, non-residential activities such as shops, offices and consulting rooms will be located on lower levels with residential land uses above.

The public realm along Henley Beach Road will provide a comfortable and interesting place for pedestrians. To achieve this, development will shelter the footpath with verandas, awnings and similar structures, as well as providing frequent pedestrian entries and clear windows to the street. Buildings will be built with zero set back from the main street, with the occasional section of building set further back to create intimate but active spaces for outdoor dining and interesting building entrances. Buildings west of Marion Road will have a maximum height of 3 storeys and between Marion Road and South Road buildings will have a maximum height of 4 storeys. East of South Road buildings will be 3- 6 storeys and these buildings will include parapets at lower levels to create a clear demarcation between the taller levels (4-6 storeys in total), which will be setback further from Henley Beach Road.

Buildings and structures within Historic Conservation Areas identified on the Overlay Map WeTo/4 - Heritage and Overlay Map WeTo/5 - Heritage will be adapted and reused while maintaining their heritage qualities, with development encouraged towards the rear and behind the front facades. Buildings adjacent to State Heritage places, Local Heritage places and contributory items will contain design elements and building materials that are complementary to such buildings.

Residential Zone - Desired Character:

This zone will contain predominantly residential development. There may also be some small-scale non-residential activities such as offices, shops, consulting rooms and educational establishments in certain locations. Non-residential activities will be complementary to surrounding dwellings.

Allotments will be at very low, low and medium densities to provide a diversity of housing options in different parts of the zone. The range of allotment sizes will support the desired dwelling types anticipated in each policy area, and the minimum allotment sizes shall be treated as such in order to achieve the Desired Character for each policy area and, in turn, reinforce distinction between policy areas. Row dwellings and residential flat buildings will be common near centres and in policy areas where the desired density is higher, in contrast to the predominance of detached dwellings in policy areas where the distinct established character is identified for protection and enhancement. There will also be potential for semi-detached dwellings and group dwellings in other policy areas.

Residential development in the form of a multiple dwelling, residential flat building or group dwelling will not be undertaken in a Historic Conservation Area.

Landscaping will be provided throughout the zone to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.

Medium Density Policy Area 19 - Desired Character:

Allotments in this policy area will be at medium density, accommodating a range of dwelling types including semi-detached, row and group dwellings, as well as some residential flat buildings and some detached dwellings on small allotments. There will be a denser allotment pattern close to centre zones where it is desirable for more residents to live and take advantage of the variety of facilities focused on centre zones.

New buildings will contribute to a highly varied streetscape. Buildings will be up to 2 storeys, except for allotments fronting Brooker Terrace, Marion Road and Henley Beach Road, and overlooking the Westside Bikeway, where buildings will be up to 3 storeys in height and provide a strong presence to streets. Garages and carports will be located behind the front facade of buildings.

Development will be interspersed with landscaping, particularly behind the main road frontage, to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.

Additional provisions of the Development Plan which relate to the proposed development are contained in **Attachment 1**.

QUANTITATIVE STANDARDS

The proposal is assessed for consistency with the quantitative requirements of the Development Plan as outlined in the table below:

| DEVELOPMENT PLAN PROVISIONS | STANDARD | ASSESSMENT |
|---|--|--|
| CARPARKING Table WeTo/6 Off-street Vehicle Parking Requirements for Designated Areas | 3-5 car parks per 100m ² of gross leasable floor area Restaurant (216m ² x 5 = 11) Storage (118m ² x 3 = 3.5) Demand = 15 (rounded up) | 15 Car parks Satisfies |
| LANDSCAPING Landscaping, Fences and Walls PDC 4 | Min 10% of site area = 102m ² | 103m ² Satisfies |
| GROSS LEASABLE AREA PDC 2 Urban Corridor Zone High Street Policy Area 35 | <2000m ² | 334.25m ² Satisfies |

ASSESSMENT

As the subject site straddles two zones and policy areas, the relevant provisions of each must be considered when assessing this application. The merits or otherwise of the proposed development are discussed under the following sub headings:

Land Use

The proposed restaurant land use is listed as non-complying within the Procedural Matters section of the Residential Zone, however it is listed as an envisaged type of development in the Urban Corridor Zone.

There are two detached outbuildings located on site, one on 2 Jervois Street and the other on 4 Jervois Street. They have both been nominated to be used for ancillary storage purposes.

PDC 2 of the Residential Zone states that non-complying development is generally inappropriate, however this should not be construed as it being unsupportable. There are a series of scenarios where despite being classified as non-complying, where a proposal could be wholly supportable. It is the Administration's opinion that this application is one of those scenarios.

The site and locality are significant to the formation of this opinion as they both mitigate the potential negative effects arising from such land uses within a Residential Zone. As previously described, the site is formed of two allotments and crosses the zone boundary between the Urban Corridor Zone and Residential Zone. The difference in impacts between this development being located in or immediately adjacent to the Residential Zone are considered negligible. It should also be noted that the allotment within the Residential Zone is already being used for commercial purposes (office and car park) and has been since 1998.

This is not the first intrusion of a non-residential activity occurring in the Residential Zone in the locality. There is a carpark at 6 Jervois Street which provides overflow parking for the hotel located at 180 Henley Beach Road. This intrusion of commercial development into the Residential Zone is also evident east of the subject site on East Street and Shipster Street Torrensville. This creates an existing character of a transition between commercial and residential rather than a hard border. This is also reflected by the non linear boundary between the two zones.

The Residential Zone supports small scale non-residential development that serves the local community. One of the land uses described by PDC 1 of the Residential Zone, is a shop with a gross leasable floor area less than 250m². A restaurant is a derivative of a shop as described by the definition of a shop within the Development Regulations 2008 (underlining for emphasis):

shop means—

(a) premises used primarily for the sale by retail, rental or display of goods, foodstuffs, merchandise or materials; or

(b) a restaurant; or

(c) a bulky goods outlet or a retail showroom; or

(d) a personal service establishment,

but does not include—

(e) a hotel; or

(f) a motor repair station; or

(g) a petrol filling station; or

(h) a plant nursery where there is no sale by retail; or

(i) a timber yard; or

(j) service trade premises; or

(k) service industry;

It is not known why a Restaurant land use has then been specifically listed in the Procedural Matters section of the Residential Zone as being Non-complying. It is probable that it was listed as non-complying as restaurants can have quite significant impacts to sensitive land uses such as dwellings if not managed properly. It is noted that this listing is regardless of the gross leasable floor area, whereas a shop is non-complying only when the gross leasable floor area exceeds 250m².

The Desired Character of the Residential Zone supports non-residential land uses when they are of a small scale and complementary to surrounding dwellings. The 80 customer capacity and 8am - 3pm operating hours are considered a small scale operation. In addition, since the proposal will utilise existing buildings and the subject site is already being used for non-residential activities, it is considered that the land use is consistent with the desired character.

Amenity

The proposed restaurant land use has potential to detrimentally impact the amenity of adjoining residential land uses by way of noise and odours.

Noise

The potential noise impact is expected to be generated by the people using the outdoor dining area, the northern car parking area in particular and also by deliveries / waste collection.

Objective 1, 2 and 3 of the Interface between Land Uses module calls for adverse impacts between conflicting land uses to be minimised and to protect desired land uses and community health.

When considering the impact of the proposed development on the adjoining residential properties, it is important to consider the current amenity of the locality. As previously discussed, the locality crosses the boundary between the Residential Zone and the Urban Corridor Zone. As expected, there is a lesser level of amenity here than what is expected in a purely residential environment. Further, the locality is located beneath the Adelaide Airport flight path and in close proximity to Henley Beach Road which is an arterial road. These noise intrusions are existing amenity impacts and to some degree will lessen the potential impact from the proposed development.

A representation has raised concern with the scope of functions being proposed at the site. It is considered that this is more of a competitive commercial concern rather than a planning concern. The maximum capacity of people and operating hours proposed would be the same regardless of whether there is a function or normal operations. The Applicant has provided further detail in response to this aspect and has stated that functions will be an ancillary activity and not the main focus of their business operations. Functions are anticipated to be in the form of birthdays, wedding anniversaries and retirement type events. That being the case it is important to note that no controls will or can be put in place to limit the type of function occurring. The hours of operation and maximum capacity are remain the most effective controls and have been added as conditions to the staff recommendation should the CAP be minded to support the proposal.

The withdrawn representation had raised concern with potential noise impacts from patron's vehicles, service vehicles and people using the outdoor dining area. This remains a relevant consideration. Noise from cars parking and people getting in and out of their cars will not be new for this locality as there is already large carparks in the immediate locality (see Figure 1). There is also a private laneway running along the rear (eastern) boundary of the subject site which provides rear vehicular loading to the allotments fronting East Street and is immediately adjacent the private open space of 4a Jervois St. The representor had raised concern with the potential noise impact generated by the proposed carpark on their rear yard and private open space. This impact will be limited as the useable private open space section of 4a Jervois is located away from the proposed carpark along its northern boundary. This is immediately adjacent the existing carpark to the north. Whilst it is acknowledged that there will be some impact, this is not considered to be fatal to the application as the locality is already impacted by this noise from the existing car parks and vehicle manoeuvring areas in close proximity.



Figure 1: Aerial image showing carparks in the locality

The proposed restaurant will operate from 8:00am to 3:00pm Monday to Sunday. These are quite reasonable hours and not expected to conflict with the residential amenity, i.e. operating when people expect to be able to sleep. Even when adjoining residents are home on weekends, there will be limited noise generated by the proposal. A condition has been added to the staff recommendation to ensure that any noise generated complies with EPA noise standards. Impact from carparks is not new to the locality due to the existence of other car parks in close proximity. A condition has been added to the staff recommendation to limit the operating hours of the restaurant and attendance of service vehicles. It is noted that the Local Nuisance and Litter Control Act seeks to avoid noisy activity before 7am and after 7pm (Monday to Saturday) and 9am to 7pm (Sunday). As the proposal fits within these time frames, it is considered to satisfy Objective 1, 2 & 3 as they relate to noise.

Odour

The proposed restaurant land use has the potential to generate odours from preparing and cooking meals as well as waste storage. PDC 12 of the Interface between Land Uses module seeks development to incorporate air pollution control measures to prevent harm to human health or unreasonable interference with the amenity.

The business operator has advised Council's Environmental Health team that the kitchen will be used primarily for the assembly of meals rather than cooking, as this will occur offsite. As the applicant has three stores in Adelaide, this is likely the easiest way to ensure consistency and efficiency across all stores.

The Statement of Effect has nominated the following collection frequency for each type of waste:

- general waste bin, collected once or twice weekly;
- cardboard recycling bin, collected weekly or fortnightly; and
- organics bin, collected weekly.

This has been considered appropriate by Councils waste management team and is supported. The bins will be stored adjacent the southern boundary of the site which is located well away from adjoining residential properties.

For these reasons it is considered that there will not be a detrimental impact to the amenity of the locality due to odours. A condition has also been recommended for the ongoing upkeep of this enclosure to minimise odour and vermin.

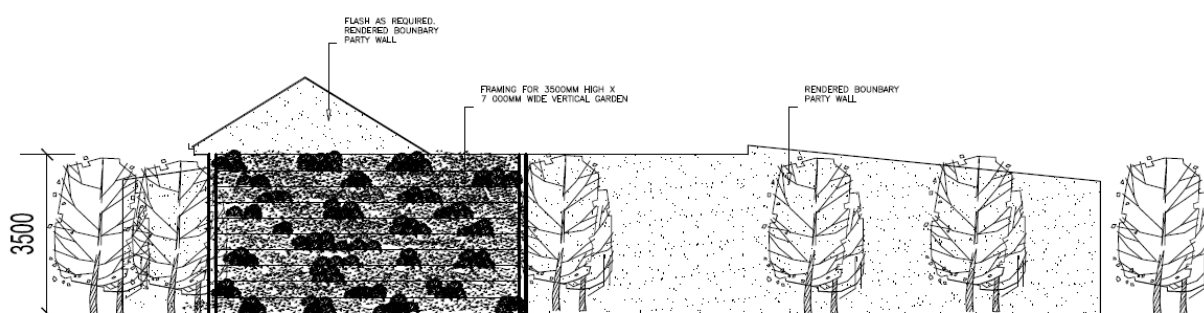
Built Form

No additional buildings will be constructed, but half of an existing semi-detached building will be demolished. This is in order to provide sufficient space for on-site car parking. The existing party wall will remain and will be rendered and painted. This is quite a large blank wall which would result in an unappealing vista if it were not for the proposed landscaping, as described below.

Landscaping

A variety of landscaping has been included into this proposal including shrubs, ground covers and a vertical garden. Whilst the areas have been nominated with a basic schedule of planting, there is no indication of the numbers or structure of planting to be provided within this space, including the vertical garden. Due to the area necessary for vehicle manoeuvring, landscaping has primarily been located along the northern boundary within a 1.2m wide garden bed. This is also the location of the vertical garden which will partially screen the boundary wall. Given the minimal area set aside for landscaping it is important to ensure that the quality of what is provided enhances the development as a whole, provides some shading for vehicles and offsets heat loading of the hard paved surfaces. In this regard it is considered appropriate to impose a reserved matter to seek provision of a more detailed landscape plan nominating the numbers and types of planting to be included within the designated strips, ensuring there is inclusion for appropriate tree plantings to provide some shading.

The vertical garden not only increases the square meterage of landscaping provided, but will also effectively screen a large portion of the boundary wall visible from the public realm. This wall will become visible once the dwelling on 4 Jervois Street is removed leaving the shared party wall in situ. Due to its primary purpose of preventing the transmission of fire, these walls lack fenestration and as a result are visually uninteresting. The proposed vertical garden will be 3m high and 7m long.



ELEVATION OF BOUNDARY WALL WITH VERTICAL GARDEN

Figure 2: Vertical garden elevation

In addition to this area, some moveable planter boxes have been proposed to separate the car parking area from the outdoor dining area.

The species proposed within the landscaped areas are:

- River Bottlebrush
- Seaberry Saltbush
- Sweet Bursaria
- Lavender Grevillea
- Native Bluebell
- Garland Lily
- Ruby Salt bush
- Creeping Booballa

These are all Australian natives and as such are well suited to our climate due to their drought tolerance. This is consistent with PDC 2 of the Landscape, Fences and Walls module which calls for native species which are oriented towards the street frontage.

Parking and Access

Onsite parking

A representor has raised concern with the potential for staff and customers from the proposed development to use their carpark at 180 Henley Beach Road or their overflow car park at 6 Jervois Street. The applicant has agreed to place signs in prominent locations advising patrons that they are not permitted to park in either of the carparks owned and operated by the Royal Hotel. Details of this signage is yet to be finalised and as such has not be included in this application. Should they be considered development, a separate application will be necessary.

The proposal includes the construction of a 15 space sealed carpark, which includes a disabled park as well as a shared loading bay / carpark.

As the site is made up of two allotments and the majority of parking is located on the allotment not containing the restaurant, a Land Management Agreement (LMA) was deemed necessary. This is to ensure that in the long term the proposed parking will always be available whilst this use is in operation. Without it, the allotment containing the majority of car parking (4 Jervois St) could be sold and used for something else. The LMA has been drafted and signed but not yet placed on the Certificates of Title. Council's legal provider has suggested that the CAP authorise the issuing of the Development Plan Consent to the Assessment Manager so that consent can be issued once the LMA has been noted on the relevant Certificates of Titles. Because the provision of parking goes to the heart of whether this application is appropriate, it cannot be added as a condition or reserved matter. The recommendation has therefore been drafted accordingly.

Council's traffic engineer has reviewed the application in conjunction with Table WeTo/6 of the Development Plan which sets out car parking rates for designated areas. The Urban Corridor Zone is listed as a Designated Area and therefore should provide 3-5 carparks per 100m² of Gross Leasable Floor Area. In accordance with previous legal advice, the rate of parking can be scaled anywhere between 3-5, depending on the type of land use being proposed. For example an office land use is considered to have a lesser car parking demand to that of a restaurant. Council's Traffic Engineer has deemed that the storage areas (Areas 3 & 4) have the lowest rate of 3 per 100m² car park rate, whilst the restaurant (Areas 1 & 2) have the highest 5 per 100m² rate attributed to them. This has resulted in a demand of 14 spaces, as the proposal provides 15, it is considered to have satisfied the minimum car parking demand and therefore accords with the Development Plan requirements.

On street parking

Notwithstanding the quantitative parking requirements being met, with a maximum of 80 customers and 9 staff, the proposed development is likely to generate a peak demand higher than the 15 car parks being provided on site. This is likely to result in patrons and staff parking in the road network.

Immediately adjacent the site, Jervois Street has parking controls that prevent parking along the western side and limits parking along the eastern side to a maximum of 2 hours. This will encourage people to park further north along Jervois Street or find alternate ways of getting to and from the site.

State Government has intentionally imposed these car parking rates in order to encourage the use of alternative modes of transport. The subject site is well positioned to take advantage of this with a bike lane and public transport (buses and taxis) frequently travelling along on Henley Beach Road.

The proposal is expected to draw patronage from the significant number of dwellings in the local area. For these people it will be easier to walk to the site, rather than drive and find a car park.

Bicycle and motorbike parking

When the application was referred to Council's Engineers the plans made mention of a 'bike park' located between carpark 15 and area 3. Our engineer assumed that this referred to a bicycle park rather than motorbike park. Based on this, it was suggested that it should be relocated to be in front of car park 13 in order to widen the loading zone. The applicant has since confirmed and provided amended plans which clearly identify this park as being for motorbikes. They have also identified three bicycle parks located adjacent the planter boxes and outdoor dining area. It is not possible to relocate the motorbike park to be in front of park 13 and therefore has not been requested of the Applicant. As the loading zone is of sufficient size and most service vehicles will attend the site outside of operating hours, it is considered that the current format is satisfactory.

Table WeTo/7 Off-street Bicycle Parking Requirements, states how many bicycle parks should be provided for a development, however it should be noted that this only applies to residential or mixed use developments. As the proposal is neither of these, bicycle parking is not required. Nonetheless, it is great to see that this has been provided as it will encourage staff and customers to ride rather than drive.

Access

Vehicular access to the site will continue to utilise the existing crossover and Right of Way arrangement currently located over 4 Jervois Street. This crossover is of sufficient size to provide safe and convenient access in accordance with PDC 2 of the Transport and Access Module of the Development Plan.

Council's traffic engineer has provided comment that when deliveries are made during operating hours than the maximum size vehicle entering the site should be limited to an SRV. However if attending the site outside of the operating hours then the carpark is of sufficient size to allow an MRV to service the site. A condition to this effect has been added to the staff recommendation.

Waste Management

The proposal provides a waste bin enclosure adjacent the southern boundary at the eastern end of the site. This will provide storage for three bins:

- 1100L cardboard waste;
- 1100L general waste; and
- 240L organic waste.

This has been considered by Council's waste management team as being appropriate for the proposed land use and therefore can be supported. The types of bins being provided as well as their storage location is being undertaken in accordance with PDCs 2 and 6 of the Waste Module. PDC 2 seeks the storage, treatment and disposal of waste to be undertaken without impairment to health or the environment. PDC 6 seeks that the waste be screened from view and located so that it avoids impact with adjoining sensitive environments. The location of the bin storage area onsite is adjacent a carpark located on the adjoining site to the south. This is neither a sensitive use nor one which is likely to be impacted by the proximity to the bins.

Advertising

Approval for the signage is not part of this application, however indicative locations have been shown on the elevations. A separate application will require approval before signage that meets the definition of development can be erected.

SUMMARY

Despite the non-complying nature of the proposal, it is considered to exhibit sufficient merit to warrant gaining a Development Plan Consent subject to the concurrence of the State Commission Assessment Panel and the notation of the LMA on the relevant Certificates of Title.

The form and function of the proposed restaurant is not considered to create any impacts which will be significantly detrimental to the neighbouring residential land uses. It is acknowledged that there will be some noise generated from parking and service vehicles, however if undertaken during the hours proposed, these are not considered unreasonable and can be appropriately managed.

Having considered all the relevant Objectives and Principles of the Development Plan, the proposal is not considered to be seriously at variance with the Development Plan.

On balance the proposed development sufficiently accords with the relevant provisions contained within the West Torrens Council Development Plan Consolidated 12 July 2018 and warrants Development Plan Consent.

RECOMMENDATION

The Council Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to AUTHORISE the Assessment Manager to GRANT Development Plan Consent for Application No. 211/260/2020 by Dome Building Concepts to undertake Demolition of existing dwelling on 4 Jervois St and change of use from office, shop and manufacturing to restaurant and ancillary car park and associated landscaping (non-complying) at 2 & 4 Jervois Street, Torrensville (CT 5250/224 & 5780/537) subject to the concurrence of the State Commission Assessment Panel, the Land Management Agreement being noted on the relevant Certificates of Title and the following Reserved Matters and conditions of consent:

The following information shall be submitted for further assessment and approval by the City of West Torrens as reserved matters under Section 33(3) of the *Development Act 1993*:

1. A detailed landscaping plan specifying all areas of the land to be landscaped, a list of the species to be planted, the height of the species at the time of planting and the estimated mature height of all plants shall be submitted to and approved by Council prior to the granting of Development Approval.

Reason: To enhance the amenity of the site and locality and to mitigate against heat loading.

Pursuant to Section 42(1) of the *Development Act 1993*, the Council reserves its decision on the form and substance of any further conditions of Development Plan Consent that it considers appropriate to impose in respect of the reserved matters outlined above.

Development Plan Consent Conditions

1. The development shall be undertaken, completed and maintained in accordance with the following plans and information detailed in this application except where varied by any condition listed below:

- a) Site Plan by Dome Building Concepts, Drawing no. 14, Dated 13/07/2020.
- b) Floor Plan by Dome Building Concepts, Drawing no. 34, Dated 13/07/2020.
- c) Elevation Plan by Dome Building Concepts, Drawing no. 44, Dated 13/07/2020.
- d) Elevation Plan by Dome Building Concepts, Drawing no. 00, Dated 13/07/2020.
- e) Existing Site Plan by Dome Building Concepts, Drawing no. 17, Dated 13/07/2020.
- f) Statement of Effect by Masterplan, Dated August 2020

Reason: To ensure the proposal is developed in accordance with the plans and documents lodged with Council.

2. The maximum number of patrons at the premises at any one time shall not exceed 80 people.

Reason: To ensure the proposal is developed in accordance with the plans and documents lodged with Council and ensure there is sufficient car parking available

3. The number of staff to occupy the premises at any one time shall not exceed 9 people.

Reason: To ensure the proposal is developed in accordance with the plans and documents lodged with Council and ensure there is sufficient car parking available.

4. The establishment of all landscaping shall occur no later than the next available planting season after substantial completion of the development. Such landscaping shall be maintained in good health and condition to the reasonable satisfaction of Council at all times. Any dead or diseased plants or trees shall be replaced with a suitable species.

Reason: To provide amenity for the occupants of the development and those of adjacent properties.

5. The hours of operation of the restaurant (shop) approved herein shall be limited to 8:00am to 3:00pm - Monday to Sunday.

Reason: To retain amenity for the occupants of adjacent properties.

6. Delivery and waste collection vehicles shall not attend the site outside of the following hours:

| | |
|----------------------------|-----------|
| Monday-Saturday | 7am - 7pm |
| Sunday and public holidays | 9am - 7pm |

Reason: To retain amenity for the occupants of adjacent properties.

7. The outbuildings described as Areas 3 & 4 on the site plan shall only be used for the ancillary storage for the approved restaurant land use.

Reason: To ensure the proposal is developed in accordance with the plans and documents lodged with Council.

8. Prior to the occupation or use of the development, all driveways, parking and vehicle manoeuvring areas shall be constructed and surfaced with concrete, bitumen or paving, and shall be drained and maintained in a good condition at all times to the reasonable satisfaction of Council.

Reason: To provide safe and convenient parking and manoeuvring areas for users of the development.

9. All carparking spaces shall be linemarked, in accordance with Australian Standard 2890.1, 2004 Parking Facilities, Part 1, Off Street Carparking, prior to the occupation of the proposed development. Linemarking and directional arrows shall be clearly visible at all times.

Reason: To provide safe and convenient parking and manoeuvring areas for users of the development.

10. The loading and unloading of goods and merchandise shall be carried out on the subject land and is not permitted to be carried out in the street.

Reason: To maintain the flow of traffic and ensure the ongoing safety of the street for travellers.

11. The maximum size of service vehicles accessing the site, including the refuse collection vehicle, shall be limited to a SRV during the approved operating hours or an MRV outside of the approved operating hours.

Reason: To ensure the ongoing use and safety of vehicle parking and manoeuvring areas.

12. Stormwater runoff from hard surfaced areas shall be directed to a stormwater treatment system or device to ensure that all debris, litter, sediment, fuels and oil products are removed prior to any controlled release to Council's stormwater system.

Reason: To ensure adequate protection to Council's stormwater system.

13. Bin enclosure to be kept clean and lids closed at all times (other than when filling bin with rubbish).

Reason: To minimise odour and assist in vermin control.

14. Any music or other amplified noise shall not exceed 8dB above the level of background noise in any octave band of the sound spectrum.

Reason: To provide amenity for the occupants of the development and those of adjacent properties.

Attachments

1. **Relevant Principles of Development Control**
2. **Statement of Effect, plans, CT's and draft LMA**
3. **Representations, response to representations and withdrawal of representation**
4. **Referrals**

Relevant Development Plan Provisions

| | | |
|-------------------------------------|-----------------------------------|---|
| <u>General Section</u> | | |
| Centres and Retail development | Objectives | 1 & 2 |
| | Principles of Development Control | 2 |
| Crime Prevention | Objective | 1 |
| | Principles of Development Control | 1, 2, 3, 5, 6, 7 & 10 |
| Energy Efficiency | Objectives | 1 |
| | Principles of Development Control | Nil |
| Interface between Land Uses | Objectives | 1, 2 & 3 |
| | Principles of Development Control | 1, 2, 4, 5, 6, 8, 9, 10, 11, 12 & 13 |
| Landscaping, Fences and Walls | Objectives | 1 & 2 |
| | Principles of Development Control | 1, 2, 3, 4, 5 & 6 |
| Orderly and Sustainable Development | Objectives | 1, 2, 3, 4 & 5 |
| | Principles of Development Control | 1, 3, 5 & 7 |
| Transportation and Access | Objective | 2 |
| | Principles of Development Control | 1, 2, 8, 12, 13, 14, 21, 23, 24, 30, 32, 34, 35, 36, 37, 41, 42 & 43 |
| Waste Residential Zone | Objectives | 1 & 2 |
| | Principles of Development Control | 1, 2, 3, 4 & 5 |
| | Objective | 4 |
| Medium Density Policy Area 19 | Principles of Development Control | 1, 2, 3, 4 & 5 |
| | Objective | 1 |
| Urban Corridor Zone | Principles of Development Control | 1 & 2 |
| | Objectives | 1, 2, 3, 4, 6, 7 & 9 |
| High Street Policy Area | Principles of Development Control | 1, 2, 3, 5, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 27, 28, 29, 30 & 31 |
| | Objectives | 1, 2 & 6 |
| | Principles of Development Control | 1, 2, 3, 4, 5 & 7 |

STATEMENT OF EFFECT

Demolish Maisonette and Convert Printing Workshop into Shop (Café)

For Carrabs Nominees (DA 211/260/2020)
at 2-4 Jervois Street Torrensville



Prepared by
MasterPlan SA Pty Ltd
ABN 30 007 755 277, ISO 9001:2015 Certified
33 Carrington Street, Adelaide SA 5000
Telephone: 8193 5600, masterplan.com.au

August 2020
(Amended 20 October 2020)



1.0 INTRODUCTION

This Statement of Effect has been prepared in support of an application by Dome Building Concepts on behalf of Carrabs Nominees to convert the printer's workshop premises at 2-4 Jervois Street Torrensville into a shop (café, with associated off-street parking). The application includes the demolition of the maisonette at 4 Jervois Street to provide on-site parking for café employees and customers.

The application is non-complying because the maisonette at 2 Jervois Street is in the Residential Zone, while the printing workshop is in the Urban Corridor Zone (see Map WeTo/4). It has been agreed that the proposal will be assessed as non-complying development because of the site's use in the Residential Zone for vehicle parking, storage and landscaping.

The Statement of Effect has been prepared in accordance with Regulation 17(5) of the *Development Regulations 2008*.

2.0 NATURE OF DEVELOPMENT AND LOCALITY

2.1 The Development

The development includes the demolition of the maisonette at 4 Jervois Street, alterations and additions to the former printer's workshop at 2 Jervois Street, the provision of off-street parking for employees and customers and associated landscaping. The two (2) sheds at the rear of the site will be retained and used for ancillary storage purposes.

The proposal is shown as a set of drawings prepared by Dome Building Concepts at **Attachment A**:

- Proposed Site Plan (2538/20, Sheet 1 of 4 (Drawing / Issued / Amendment, dated 12 October 2020).
- Existing Building with New Fit Out (2590/20, Sheet 3 of 7, dated 13 March 2020).
- Existing Elevation to Jervois Street (2590/20, Sheet 4 of 4, dated 13 March 2020).
- Elevation to Boundary Wall (2590/20, dated October 2020).
- Existing Site Plan (2590/90, Sheet 1 of 7, dated April 2020).

The proposed café has been designed with a seating capacity for 80 persons.

The employee and customer carpark will occupy both allotments and will be accessed from the existing driveway crossover to Jervois Street. The carpark will accommodate 15 parking spaces, including one (1) disabled space with an associated shared space. Two (2) parking spaces in the rear shed marked as 'Area 4' on the Proposed Site Plan will be removed, and the shed used for ancillary storage purposes.



The carpark includes a turning bay at the eastern end for vehicles to turn around should the carpark be full. Provision is also made for waste collection vehicles to access the waste bins. The existing driveway crossover to Jervois Street, used by the previous printing workshop, will be retained.

Three waste bins will be provided. The bins will be stored in the enclosure marked on the proposed Site Plan:

- one (1) x 1,100 litre general waste bin, collected once or twice weekly;
- one (1) x 1,100 litre cardboard recycling bin, collected weekly or fortnightly; and
- one (1) x 240 litre organics bin collected weekly.

Café deliveries will be made through the rear door, next to the kitchen. It is expected that milk deliveries will be made two (2) times per week, in the morning. Fresh food and packaged food and beverages will be delivered not less than three (3) days per week, in the morning.

A round identification sign will be installed above the front door facing into Jervois Street. The sign is shown on Sheet 4 of 4 (Existing Elevation to Jervois Street) and will have a diameter of approximately 800 millimetres. The identification sign will be internally illuminated. A second sign will be affixed to the underside of the canopy so as to be visible from Henley Beach Road.

The party wall for the maisonette left standing following demolition will be made good to ensure its structural stability. Relevant details will be submitted when application is made for Building Rules Consent following receipt of Development Plan Consent for this application. It is proposed to install a frame to the party wall for a vertical garden to provide an attractive outlook for the café and outdoor dining area. This detail is shown on the Elevation of Boundary Wall drawing.

The proposal has been amended in accordance with advice from CIRQA Pty Ltd. CIRQA advises that:

1. *The attached proposal has a floor area of 330.69 square metres including the outdoor dining (I have excluded 'Area 4' and 'Area 5' from this assessment as I understand that 'Area 4' has 2 staff spaces and 'Area 5' does not appear to relate to any floor area on the plan). On this basis, the site would have a requirement for between 10 and 17 spaces based upon the relevant designated area parking rates (3 to 5 spaces per 100 m²). Given that 17 spaces (including 2 staff spaces within 'Area 4' are proposed), the change-of-use will provide sufficient parking to satisfy the parking requirements of Council's Development Plan.*
2. *We would need to accommodate at least an 8.8 metre MRV on-site to undertake refuse collection. We would likely be able to do so, but would need to restrict spaces 10-15 to allow for the truck to turn around. We could specify that refuse collection will only occur outside of regular operating hours (late afternoon if the site is to be a café open in the mornings or early morning if the café will operate into the evening).*



3. *Deliveries would be limited to a similar size vehicle (8.8 metre MRV) and would be required to access the site at similar times. We could state that deliveries will occur with smaller vehicles if anticipated delivery hours were more irregular.*

The applicant has no objection to conditions being imposed on the approval in accordance with CIRQA's advice, including a condition which specifies that Area 4 not be used for parking purposes.

A draft Land Management Agreement (LMA) has been prepared by Botten Levinson Lawyers for the site. The LMA has been prepared to ensure that the carpark on 2 Jervois Street will at all times be available for use by customers and employees of the café on 4 Jervois Street.

The draft LMA is at **Attachment B**.

2.2 The Locality

The locality is a mixture of commercial and retail development with frontage to both sides of Henley Beach Road, extending for a short distance into the side streets leading from this road, and a mixture of residential development along the side streets.

The side streets are wide, and tree lined. Two (2) hour parking restrictions apply to prevent all day parking.

A range of dwelling styles and heights exist along Jervois Street and other side streets.

The eastern side of Jervois Street includes a customer carpark associated with the Hotel Royal on the western side of the road, and Druid's Hall a short distance to the north of the carpark.

The locality immediately surrounding the development site is best described as being mixed in character, with non-residential uses dominating.

3.0 RELEVANT DEVELOPMENT PLAN PROVISIONS

The development application was dated 3 April 2020. It is therefore assumed that the application was registered on or shortly after this date. On this basis, it is assumed that the relevant Development Plan for assessment purposes is the City of West Torrens Development Plan consolidated version dated 12 July 2018.

With regard to the nature and location of the proposed development, and the character of the surrounding locality, the most relevant Development provisions are:

General Section

Advertisements

- Objectives: 3.
Principles: 1, 2, 4 and 8.



Centres and Retail Development

Objectives: 1 and 3.

Principles: 1 and 2.

Crime Prevention

Objectives: 1.

Principles: 1, 2, 3, 4, 5, 6, 8 and 10.

Design and Appearance

Objectives: 1.

Principles: 1, 2, 13, 14, 15 and 19.

Interface between Land Uses

Objectives: 1 and 3.

Principles: 1, 3, 5 and 6.

Landscaping, Fencing and Walls

Objectives: 1 and 2.

Principles: 1, 2, 4 and 5.

Orderly and Sustainable Development

Objectives: 3, 4 and 5.

Principles: 1.

Transportation and Access

Objectives: 2.

Principles: 5, 8, 10, 12, 14, 23, 24, 32, 34, 35, 36, 37, 40, 41, 42 and 43.

Waste

Principles: 2, 5 and 6.

Zone Section

Residential Zone

Objectives: 4.

Desired Character Statement.

Principles: 1, 3 and 5.

Medium Density Policy Area 19

Desired Character Statement.

Principles: 1 and 2.



Urban Corridor Zone

Objectives: 1, 3, 5 and 6.
Principles: 1, 4, 7, 12, 15, 20, 21 and 22.

High Street Policy Area 35

Objectives: 1, 4, 5 and 6.
Principles: 3, 4, 5, 6 and 7.

4.0 COMPLIANCE WITH DEVELOPMENT PLAN

The most important issues which require assessment against the Development Plan are:

- (i) Is the proposal an appropriate kind of land use for the site?
- (ii) Will the proposal complement its surroundings, especially residential development in the Residential Zone?
- (iii) Has adequate provision been made for the off-street parking of customer and employee vehicles?
- (iv) Has adequate and appropriate provision been made for the storage and collection of waste materials?
- (v) Have adequate and appropriate arrangements been made to legally secure the access and parking layout which is proposed for the shop/café, given that the proposal will occupy two (2) separate allotments?

4.1 Land Use

The shop/café at 2 Jervois Street will be located entirely within the Urban Corridor Zone, and most of the associated customer and employee carpark will be in the Residential Zone.

The site's use for shop/café purposes is entirely consistent with the land uses envisaged for the Urban Corridor Zone, where Zone Principle 1 specifies "shop or group of shops" as one (1) of a number of envisaged types of development.

The part of the site in the Residential Zone will be used for associated parking and access purposes. Amongst other things, it is noted that a shop of less than 250 square metres gross leasable floor area is listed as an envisaged form of development in the Residential Zone. It follows that such development would be expected to be provided with associated parking and access arrangements, also in the Residential Zone. It logically follows that the provision of customer and employee parking for shop-type development in the Residential Zone is contemplated.



Residential Zone Principle 3 specifies the criteria to be applied when assessing the suitability of non-residential development in the Zone. I am satisfied that the use of 4 Jervois Street in the Residential Zone for associated parking and access purposes will be of a nature and scale that will:

- serve the local community, namely persons living in the surrounding neighbourhood, who may choose to walk, cycle or drive to the café;
- be consistent with the character of the locality in that it will deliver a small amount of off-street parking to service an existing non-residential development at 2 Jervois Street, in a locality where other land, also in the Residential Zone, has been set aside for off-street customer parking (see for example, the Royal Hotel carpark a short distance to the north in Jervois Street); and
- not impact the amenity of nearby residents because the carpark is small, and the parking wall of the adjacent cottage will be landscaped with hanging plants supported on a trellis fixed to the wall.

4.2 Complement Residential Surroundings

The customer and employee carpark will be situated opposite the Hotel Royal carpark, and one (1) property removed from the hotel's overflow carpark at 6 Jervois Street. It will also be located north of the shared carpark behind retail and commercial development fronting onto Henley Beach Road, between Jervois Street and East Street.

The residential surroundings to the north of the site will benefit from the provision of off-street parking for the café because it will minimise the demand for on-street parking along Jervois Street and, in turn, improving the residential amenity for the owners and occupiers of houses on both sides of Jervois Street.

It is also relevant to note that there will be one only vehicle crossover to the site. This will assist in maximising the amount of on-street parking available for residents and visitors of residential properties in Jervois Street. It will also be consistent with Residential Zone Principle 18(a) which requires development to "preserve and enhance streetscapes by...limiting the number of driveway crossovers".

4.3 Off-Street Parking

The Proposed Site Plan (Drawing 2538/19 Sheet 1 of 4 dated 13 July 2020) accords with advice received from CIRQA Pty Ltd. It provides 15 off-street parking spaces, all 2.6 metres wide, and provision for one (1) shared space next to Jervois Street and dedicated bicycle parking.

The driveway closest to Jervois Street will be 6.6 metres wide, reducing to 6.1 metres wide at the rear of the site. While the shed marked as Area 4 on the Site Plan can accommodate a further two (2) vehicles, it is proposed that the shed be used for ancillary storage purposes only.

CIRQA advises, as quoted above, that "the change of use will provide sufficient parking to satisfy the parking requirements of Council's Development Plan".



We concur with CIRQA's findings and therefore consider that the proposal will "provide off-street vehicle parking and specifically marked disabled car parking places to meet anticipated demand in accordance with Table WeT/2 – Off Street Vehicle Parking Requirements" (General Section: Vehicle Parking PDC 34). The parking spaces will furthermore be "consistent with Australian Standard AS 2890 Parking Facilities" and have been designed "to avoid the need for vehicles to reverse onto public roads" (PDCs 35 and 36).

4.4 Storage and Collection of Waste

The proposal will be provided with dedicated bins to store waste, recyclables and green organics. The location of these bins is shown on the Site Plan, and it will be noted that the lidded bins will be enclosed with 'Ironstone' coloured Colorbond sheeting with double gates opening outwards to allow collection vehicles to access the bins. The Site Plan notes that the adjacent parking space is to be kept clear between 7.00 am and 10.00 am daily to permit unobstructed access by waste collection vehicles.

The waste storage and collection area has been designed and sited in accordance with General Section: Waste PDC 6 which requires waste and/or recyclable materials generated by development to include:

... designated collection and storage area(s) that are:

- (a) screened and separated from adjoining areas*
- (b) located to avoid impacting on adjoining sensitive environments or land uses*
- (c) designed to ensure that wastes do not contaminate stormwater or enter the stormwater collection system*
- (d) located on an impervious sealed area graded to a collection point in order to minimise the movement of any solids or contamination of water*
- (e) protected from wind and stormwater and sealed to prevent leakage and minimise the emission of odours*
- (f) stored in such a manner that ensures that all waste is contained within the boundaries of the site until disposed of in an appropriate manner*

The proposal has been designed to satisfy all of the criteria listed in PDC 6 above.

5.0 EXPECTED SOCIAL, ECONOMIC AND ENVIRONMENTAL EFFECTS

5.1 Social Effects

The proposal will have a positive social effect on the locality by ensuring that customer and employee vehicles are capable of being parked on the subject land rather than on Jervois Street. This will ensure that residents and their visitors are able to park on Jervois Street within safe and convenient distance of the associated residence.



5.2 Economic Effects

The proposal will have a positive economic effect on the locality by ensuring that the former printing workshop is economically used for purposes that are more in line with the Development Plan's envisaged use of the site. The proposal will also generate employment during the construction stage. When the café is operating, it is possible that some employees could be drawn from the surrounding locality.

5.3 Environmental Effects

Apart from adaptively reusing an existing building, and ensuring that wastes are properly segregated into appropriate bins, the proposal is not expected to deliver any other significant benefits.

6.0 CONCLUSIONS

It is concluded that the proposal by Carrabs Nominees to demolish the structure at 4 Jervois Street, to adaptively reuse the former printing workshop at 2 Jervois Street as a shop/café and to develop a customer and employee carpark over both allotments, is not seriously at variance with the Development Plan and is deserving of Development Plan Consent.

Included with this Statement of Effect is:

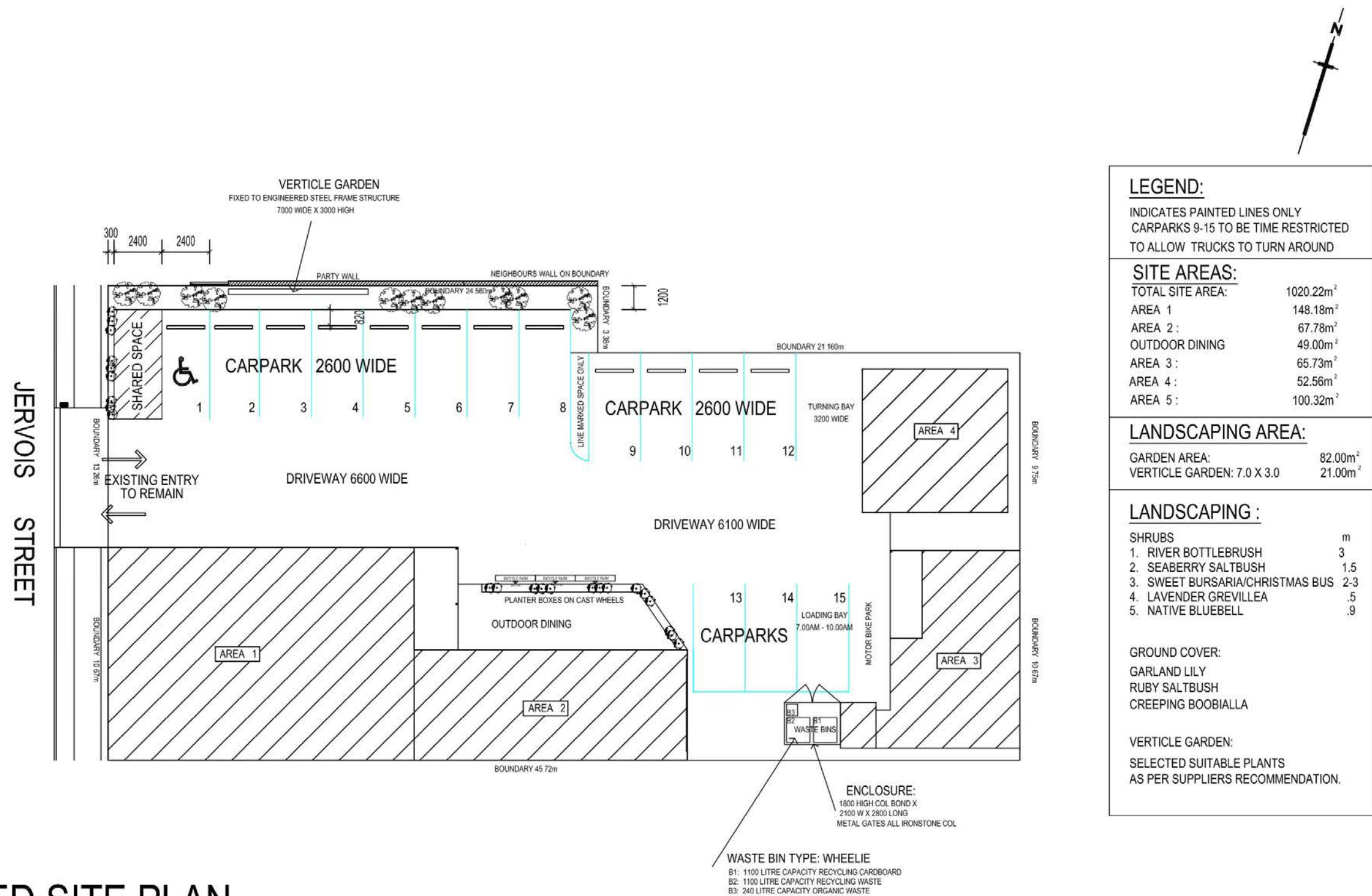
- **Attachment A:** A set of plans of the proposed development, prepared by Dome Building Concepts; and
- **Attachment B:** A draft Land Management Agreement prepared by Botten Levinson Lawyers.

Graham Burns PIA (Fellow)
B/A in Planning

20 October 2020

ATTACHMENT A

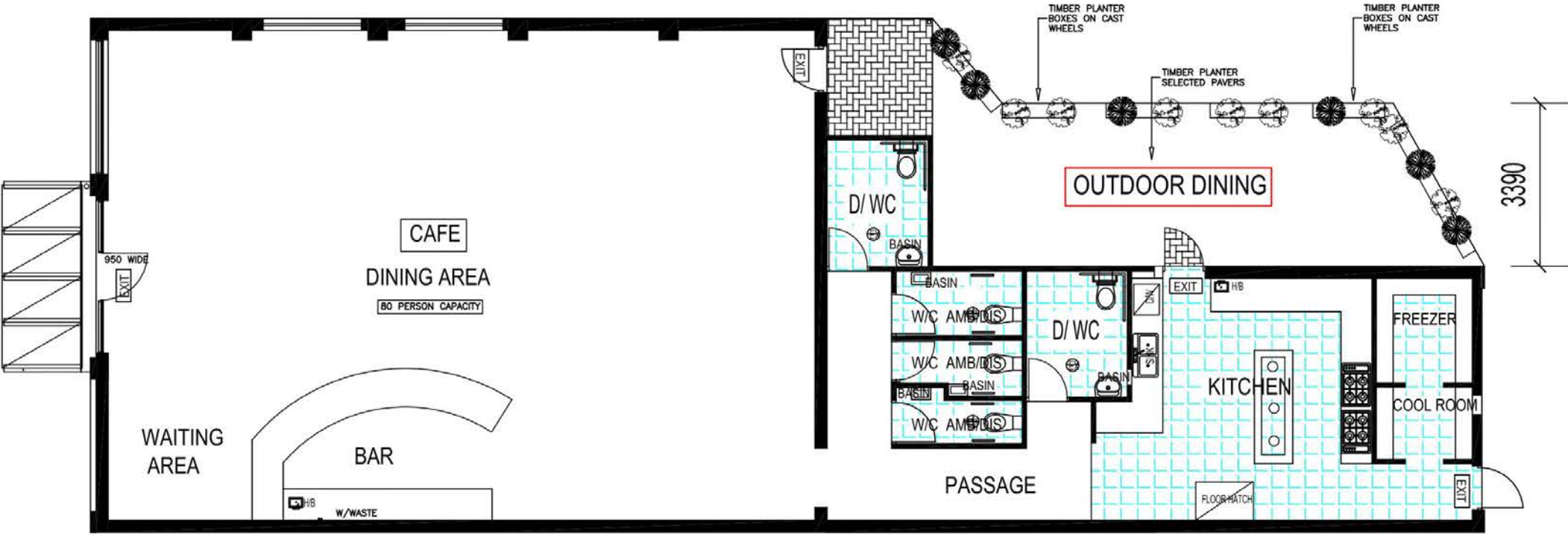
Plans of the Proposed Development



PROPOSED SITE PLAN
SCALE 1:200

| | | | | | | | |
|--|-------------------------|--|--|--------|--|--|--------------------------|
| DRAWING / ISSUED / AMENDMENT | Client: | Project: | Figured dimensions shall take preference over scaled drawings. Verify dimensions and all levels prior to commencing work. Any discrepancy to be reported to Dome Building Concepts immediately. | AREAS: | DRAWN: DANNUNZIO DATE: 13.07.2020 CHECKED: PRINT: | DOME BUILDING CONCEPTS UNITY HOUSE PO BOX 133, BURNSIDE SA 5066 email: admin@domebuildingconcepts.com.au Ph: 0411 600 506 | Page: |
| AMENDED VERTICLE GARDEN 13.10.2020 AMENDED BICYCLE & MOTOR BIKE PARKS 11/20 | CARRABS NOMINEES | PROPOSED DEVELOPMENT 2 - 4 JERVOIS STREET TORRENSVILLE SA | © Copyright Signature: _____ These designs are copyright. Legal action will be taken against any infringement in part or in whole unless written authority is given by Dome Building Concepts. | | | | PLANNING APPROVAL |
| JOB NUMBER: 2538 / 19 DEVELOPEMENT APP: | | | | | | Scale: 1 : 200 | 1 4 |


[illegible]

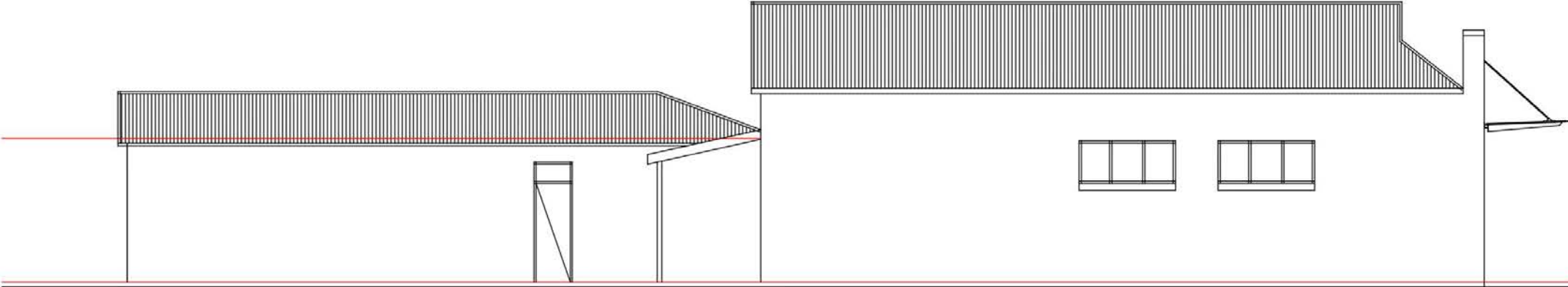


TOTAL EXISTING BUILDING AREA : 240.22M2

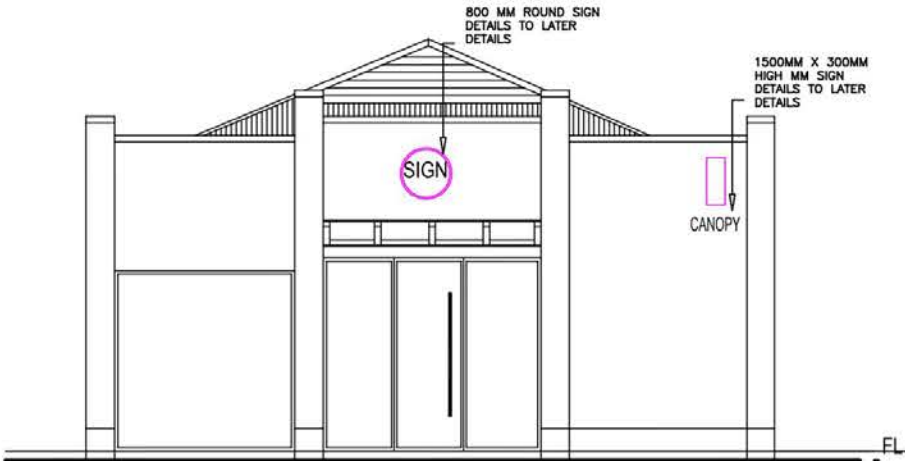
EXISTING BUILDING WITH NEW FIT OUT

SCALE 1:100

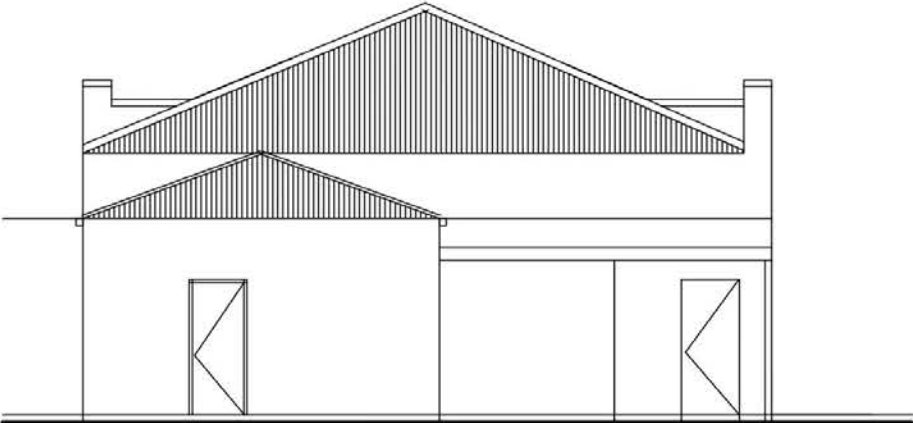
| | | | | | | | | | | | | |
|-----------------------------------|-------------------|--|--|---|---|---|---|--|--------------------------------------|--|----------|----------|
| DRAWING / ISSUED / AMENDMENT | | client: CARRABS NOMINEES | project: PROPOSED DEVELOPMENT 2-4 JERVOIS STREET TORRENSVILLE SA | Figured dimensions shall take preference over scaled drawings. Verify dimensions and all levels prior to commencing work. Any discrepancy to be reported to Dome Building Concepts immediately. ©Copyright: Signature: _____ These designs are copyright. Legal action will be taken against any infringement in part or in whole unless written authority is given by Dome Building Concepts. | AREAS: SUITE 1: SUITE 2: TOTAL AREA : 344 M2 | DRAWN: DANNUNZIO DATE: 13.03.2020 CHECKED: PRINT:  | DOME BUILDING CONCEPTS UNITY HOUSE PO BOX 133, BURNSIDE SA 5066 email: admin@domebuildingconcepts.com.au PH: 0411 600 506 | | page: DEVELOPMENT APPROVAL | | | |
| AMENDED 16.4.2020 | | | | | | | | | scale: 1 : 100 | | 3 | 4 |
| JOB NUMBER: 2594/20 | DEVELOPEMENT APP: | | | | | | | | | | | |



ELEVATION TO INTERNAL DRIVEWAY



ELEVATION TO JERVOIS STREET



ELEVATION FROM REAR OF SITE

EXISTING ELEVATION TO JERVOIS STREET

SCALE 1:100

| | | | | | | | |
|---------------------------------------|-------------------------|---|---|---|--|--|--------------------------------------|
| DRAWING / ISSUED / AMENDMENT | client: | project: | Figured dimensions shall take preference over scaled drawings. Verify dimensions and all levels prior to commencing work. Any discrepancy to be reported to Dome Building Concepts immediately. | AREAS: | DRAWN: DANNUNZIO DATE: 13.03.2020 CHECKED: PRINT: | DOME BUILDING CONCEPTS UNITY HOUSE PO BOX 133, BURNSIDE SA 5066 email: admin@domebuildingconcepts.com.au PH: 0411 600 506 | page: DEVELOPMENT APPROVAL |
| AMENDED 06.06.2020 POSITIONS OF SIGNS | CARRABS NOMINEES | PROPOSED DEVELOPMENT | ©Copyright Signature: _____ These designs are copyright. Legal action will be taken against any infringement in part or in whole unless written authority is given by Dome Building Concepts. | SUITE 1: SUITE 2: TOTAL AREA : 344 M2 | | | scale: 1 : 100 |
| AMENDED 16.4.2020 | | 2-4 JERVOIS STREET TORRENSVILLE SA | | | | | 4 |
| JOB NUMBER: 2594/20 | DEVELOPEMENT APP: | | | | | | 4 |



| | |
|------------------|-----------------------|
| TOTAL SITE AREA: | 1020.22m ² |
| AREA 1 | 148.18m ² |
| AREA 2 : | 67.78m ² |
| AREA 3 : | 65.73m ² |
| AREA 4 : | 52.56m ² |
| AREA 5 : | 100.32m ² |

Page 35

ATTACHMENT B

Draft Land Management Agreement

THIS AGREEMENT is made the day of 2020

BETWEEN: **BEVERLEY OFFICE PTY LTD (ACN 004 044 937)** of 30 Elmo Street, WESTBOURNE PARK SA 5041 (**Owner**)

AND: **CITY OF WEST TORRENS** of 165 Sir Donald Bradman Drive HILTON 5033 (**Council**)

together the **parties**

BACKGROUND

- A. The Owner is the registered proprietor in fee simple of the land in Certificate of Title Register Book Volume 5250 Folio 224 (**2 Jervois Street**) and Certificate of Title Register Book Volume 5780 Folio 537 (**4 Jervois Street**) together comprising the land known as 2-4 Jervois Street Torrensville SA 5031 (**the Land**).
- B. Dome Building Concepts, as agent of the Owner, has sought development approval from the Council under the *Development Act 1993* (**the Act**) pursuant to DA 211/260/2020 (**Development Application**) to undertake development described by the Council as "demolition and change of use from office, shop and manufacturing to restaurant, store and car park (non-complying)" (**Proposed Development**).
- C. The restaurant will be established within an existing building at 2 Jervois Street but will utilise car parking across both parcels of the Land. A copy of the Site Plan showing the location of the restaurant and the car parking proposed in the Development Application is contained in **Annexure A**.
- D. The Council wishes to ensure that the car parks on the Land are available for use in association with the Proposed Development.
- E. The Owner has agreed to make 15 car parking spaces available on the Land for use by the customers and staff of the Proposed Development (**car parking spaces**).
- F. Pursuant to section 57A(2) of the Act, the parties have agreed to enter into this Agreement in relation to matters relevant to the Development Application on the terms and conditions which follow.

NOW THIS DEED WITNESSES

INTERPRETATION

- 1. The parties acknowledge that the Background above is true and accurate and agree that it shall form part of the terms of this Agreement.
- 2. In the interpretation of this Agreement unless the context otherwise requires or admits:
 - 2.1. a reference to any party includes a person, corporate body, partnership, association, government body or any other entity, and shall include any executors, administrators, successors and permitted assigns;
 - 2.2. a reference to the **Owner** includes each person registered or entitled to be registered as a proprietor of an estate in fee simple over 2 Jervois Street or 4 Jervois Street or part thereof, and includes a successor in title to an estate in fee simple to the Land;

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- 2 -

- 2.3. a reference to the **Council** includes any agent or employee of the Council who is authorised by the Council;
- 2.4. a reference to **Business Day** means a day that is not a Saturday, Sunday or public holiday in South Australia;
- 2.5. any term which is defined in the statement of the names and descriptions of the parties or in the Background has the meaning there defined;
- 2.6. words importing the singular number or plural number are deemed to include the plural number and the singular number respectively;
- 2.7. words importing any gender include both genders;
- 2.8. where two or more persons are bound hereunder to observe or perform any obligation or agreement whether express or implied then they shall be bound jointly and each of them severally;
- 2.9. references to any statute or subordinate legislation include all statutes and subordinate legislation amending, consolidating or replacing the statute or subordinate legislation referred to;
- 2.10. words and phrases used in this Agreement which are defined in the Act or in regulations made under the Act, will have the meaning ascribed to them by the Act or regulations as the case may be.
3. Clause headings are provided for reference purposes only and shall not be used in the interpretation of this Agreement.
4. The requirements of this Agreement are at all times to be construed as additional to any requirements upon either party in relation to Land under the Act or any other legislation affecting the Land.

OBLIGATIONS OF THE OWNER

5. The Owner is liable to the Council for any act or omission on the part of an officer, employee, contractor, agent, invitee, lessee or licensee of the Owner which, if done or not done by the Owner would constitute a breach of this Agreement.
6. Where a person ceases to be an Owner, such person ceases to be a party to this Agreement, but without prejudice to rights or obligations already accrued.
7. The Owner warrants and represents that all persons with a legal interest in the Land consent to the Owner entering into this Agreement.
8. The Owner agrees:
 - 8.1. to make not less than 15 car parking spaces available on the Land for the use of customers and staff of the Proposed Development during the hours of operation of the Proposed Development;
 - 8.2. that of the 15 car parking spaces, not less than 12 of those spaces will be provided on 4 Jervois Street;
 - 8.3. to not develop or seek to develop or permit the development of the Land in any manner that would or might reduce or limit the ability of the Land to accommodate the car parking spaces referred to in clause 8.1, or impede the use of the car parking spaces in any manner.

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- 3 -

9. The car parking spaces shall be configured in the manner approved under the Development Application or such other configuration as may be approved by the Council.
10. Nothing in this Deed otherwise prevents the Owner from:
 - 10.1. permitting the car parking spaces to be used in association with other uses or activities outside of the hours of operation of the Proposed Development; or
 - 10.2. seeking to use or develop the Land for other purposes, subject to the cessation of use of the Land in accordance with the Proposed Development;

OPERATION AND APPLICATION OF THE AGREEMENT

11. Upon execution, this Agreement is effective as a land a Land Management Agreement pursuant to 57A(1) of the Act.
12. This Agreement is the whole agreement between the parties in relation to the matters contained within it.

ABOUT THE COUNCIL

13. The Council may delegate any of its powers under this Agreement pursuant to law.
14. The Council enters into this Agreement as a "designated authority" acting under section 57A(2) of the Act and not in any other capacity. This Agreement does not preclude or pre-empt the exercise by the Council of any other regulatory function of power.

COUNCIL'S POWERS OF ENTRY

15. The Council, including any employee or agent of the Council authorised by the Council, may at any reasonable time enter the Land for the purpose of:
 - 15.1. inspecting the Land and any building or structure on the Land; or
 - 15.2. exercising any other powers of the Council under this Agreement or pursuant to law.
16. If the Owner is in breach of any provision of this Agreement, the Council may, by notice served on the Owner, specify the nature of the breach and require the Owner to remedy the breach within such reasonable time as may be nominated by the Council in the notice. If the Owner fails to remedy the breach, the Council or its servants or agents may carry out the requirements of the notice and in doing so may enter and perform any necessary works upon the Land and recover all reasonable costs thereby incurred from the Owner.
17. If in a notice referred to in clause 14 the Council requires the removal of a building or structure from the Land, the Council and its servants or agents are authorised and empowered by the Owner to enter and remove the building or structure from the Land and to dispose of it in any manner determined by the Council provided that if the building or structure has any monetary value then the Council must use its best endeavours to realise that monetary value and must after the disposal account to the Owner and pay to the Owner the realised value less all reasonable and reasonably associated expenses incurred.

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- 4 -

18. In the event of a breach or threatened breach of the Agreement by the Owner, the Council may (without limiting any other remedy available to the Council, including under Part 11 of the Act), obtain an injunction restraining the Owner from committing a breach of the Agreement without proving any actual damage has or will be sustained by the Council. The parties agree that a breach of this Agreement by the Owner may cause injury for which damages may not be an adequate remedy to the Council.

RECISSION

19. In the event that any development authorisation obtained for the Proposed Development lapses, expires or is cancelled by virtue of the provisions of the Act without being implemented, the Council agrees to rescind this Agreement at the request of the Owner and the reasonable costs of and incidental to the preparation, stamping and registration of the Agreement of Rescission shall be borne by the Owner.

VARIATION AND WAIVER

20. This Agreement may only be varied by a supplementary deed or agreement signed by the Council and the Owner.
21. The Council may, conditionally or unconditionally, waive compliance by the Owner with the whole or any part of the Owner's obligations under this Agreement.
22. To be effective, the waiver must be in writing and signed by the Council.
23. The failure, delay, relaxation or indulgence by a party in exercising a power or right under this Agreement is not a waiver of that power or right.
24. An exercise of a power or right under this Agreement does not preclude a further exercise of it or the exercise of another right or power.

OPERATION OF THIS AGREEMENT

25. The parties agree that the provisions of this Agreement will not become binding or impose an obligation on them unless and until Development Approval under the Act is granted to the Development Application.

NOTING OF THIS AGREEMENT

26. Each party shall do and execute all such acts, documents and things necessary so that as soon as practicable following the execution of this Agreement by all parties, the Agreement is noted against the respective Certificate(s) of Title for the Land pursuant to the provisions of Section 57A(14) of the Act in priority to any other registered instrument.

SEVERANCE

27. Where a clause or part of a clause in this Agreement would, but for this clause, be unenforceable:
- 27.1. the clause or part of the clause shall be read down to the extent necessary to avoid that result; or

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- 5 -

- 27.2. where the clause or part of the clause cannot be read down, it may be severed from this Agreement and the remainder of the clause or of the Agreement shall continue in force, unless this would result in a material change to the intended effect of the Agreement.

GOVERNING LAW

28. This Agreement is governed by the law in South Australia.

CONSENTS

29. The Owner warrants that no other party has a legal interest in the Land or any part of it pursuant to section 57A(12) of the Act.

NOTICES

30. A notice, demand, consent, approval or communication under this Agreement (**Notice**) must be:
- 30.1. in writing, in English and signed by a person authorised by the sender; and
 - 30.2. hand delivered or sent by prepaid post or electronic mail.
31. The postal and electronic mail addresses for Notices will be those as expressed on the certificate of title for that part of the Land for which the recipient is the registered proprietor or as otherwise provided to the Council for that recipient as part of the ordinary business purposes of the Council. A Notice is deemed to be received:
- 31.1. if hand delivered, on delivery;
 - 31.2. if sent by pre-paid priority post two Business Days after posting (or seven Business Days after posting if posting to or from a place outside Australia);
 - 31.3. if sent by pre-paid standard post:
 - 31.3.1. four Business Days after posting
 - 31.3.2. seven Business Days after posting if posting from a city outside the city of the recipient;
 - 31.3.3. 12 Business Days after posting if posting to or from a place outside Australia;
 - 31.4. if sent by electronic mail, at the time and on the day shown in the sender's electronic mail delivery report, if it shows that the Notice was sent to the recipient's electronic mail address last Notified by the recipient to the sender.
 - 31.5. However if the Notice is deemed to be received on a day that is not a Business Day or after 5:00pm, the Notice is deemed to be received at 9:00am on the next Business Day.
32. If two or more persons comprise a party, Notice to one is effective Notice to all.
33. Each party authorises its solicitor to sign Notices on its behalf.

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COSTS

34. The Owner must pay to the Council on demand the Council's reasonable costs and expenses (including legal expenses) of preparing, negotiating, stamping and noting this Agreement.

COUNTERPARTS

35. This Agreement may be executed in any number of counterparts which together will constitute one instrument. A party may execute this Agreement by signing any counterpart.

EXECUTED AS AN AGREEMENT

EXECUTED by **BEVERLEY OFFICE PTY LTD**
(ACN 004 044 937) in accordance with Section
127 of the *Corporations Act 2001 (Cth)*:

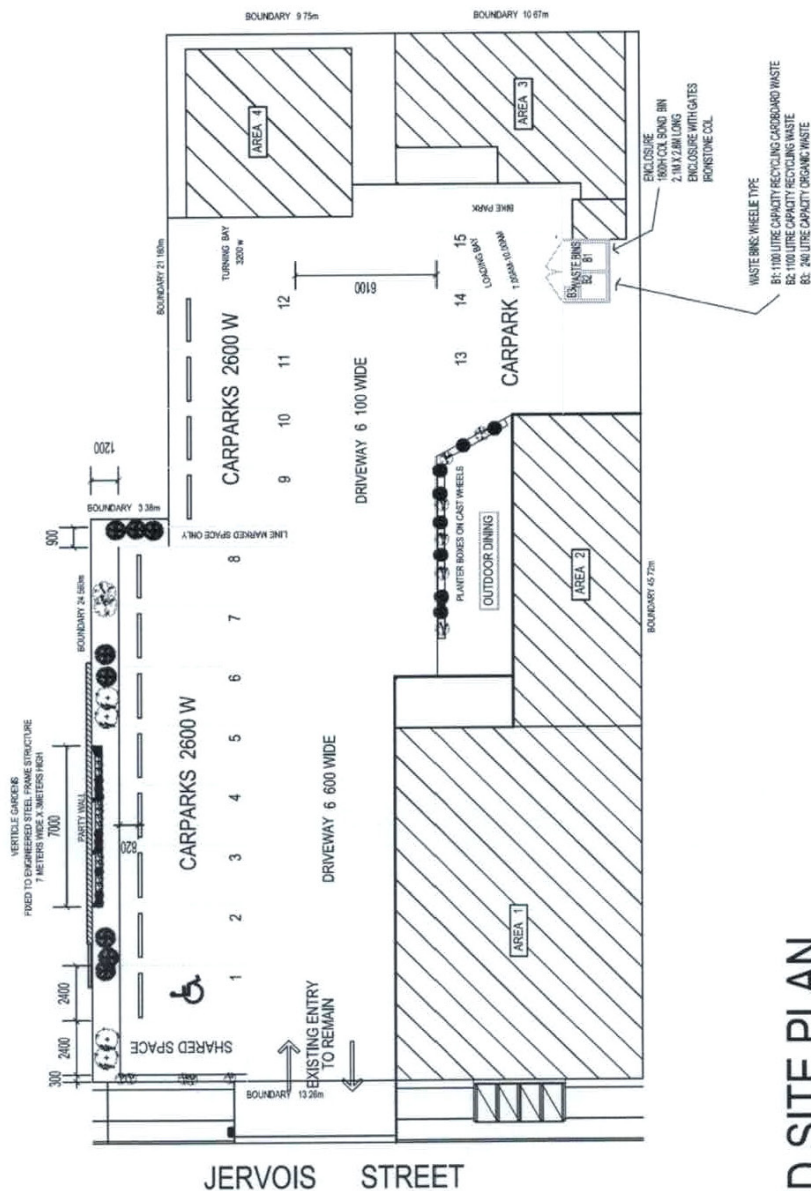
Signature Sole Director/Secretary

Bruno Carradas
Name (print)

Date 20/10/2020

ANNEXURE A

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PROPOSED SITE PLAN
SCALE 1:200

| | | | | | | | | | | | | | | | | | | | | | |
|--|--|------------------|-----------------------|---------------------|----------------------|----------------------|---------------------|-----------------------------------|--------|-------------------|---------------------|-------------------|---------------------|--------------|----------------------|----------------|--|---------------|--|-------------------|--|
| <p>LEGEND:</p> <p>INDICATES PAINTED LINES ONLY CARPARKS 9-15 TO BE TIME RESTRICTED TO ALLOW TRUCKS TO TURN AROUND</p> | <p>SITE AREAS</p> <table> <tr> <td>TOTAL SITE AREA:</td><td>1020.22m²</td></tr> <tr> <td>AREA 1:</td><td>148.16m²</td></tr> <tr> <td>AREA 2:</td><td>67.76m²</td></tr> <tr> <td>OUTDOOR DINING</td><td>49.00m</td></tr> <tr> <td>AREA 3:</td><td>65.73m²</td></tr> <tr> <td>AREA 4:</td><td>52.56m²</td></tr> <tr> <td>AREA 5:</td><td>100.32m²</td></tr> </table> | TOTAL SITE AREA: | 1020.22m ² | AREA 1: | 148.16m ² | AREA 2: | 67.76m ² | OUTDOOR DINING | 49.00m | AREA 3: | 65.73m ² | AREA 4: | 52.56m ² | AREA 5: | 100.32m ² | | | | | | |
| TOTAL SITE AREA: | 1020.22m ² | | | | | | | | | | | | | | | | | | | | |
| AREA 1: | 148.16m ² | | | | | | | | | | | | | | | | | | | | |
| AREA 2: | 67.76m ² | | | | | | | | | | | | | | | | | | | | |
| OUTDOOR DINING | 49.00m | | | | | | | | | | | | | | | | | | | | |
| AREA 3: | 65.73m ² | | | | | | | | | | | | | | | | | | | | |
| AREA 4: | 52.56m ² | | | | | | | | | | | | | | | | | | | | |
| AREA 5: | 100.32m ² | | | | | | | | | | | | | | | | | | | | |
| | <p>LANDSCAPING AREA : 103 M2</p> <p>GARDEN AREA: 82M2</p> <p>VEHICLE GARDEN: 7M WIDE X 3M HIGH = 21M2</p> | | | | | | | | | | | | | | | | | | | | |
| | <p>LANDSCAPING</p> <table> <tr> <td>SHRUBS</td><td>(w)</td></tr> <tr> <td>1. RIVER BUTLERBUSH</td><td>3</td></tr> <tr> <td>2. SEABERRY SALTBUSH</td><td>1.5</td></tr> <tr> <td>3. SWEET BURCHARD / CHRISTMAS BUS</td><td>2-3</td></tr> <tr> <td>4. KANGAROO APPLE</td><td>3</td></tr> <tr> <td>5. WHITE BLUEBELL</td><td>3</td></tr> </table> <table> <tr> <td>GROUND COVER</td><td></td></tr> <tr> <td>GRASSLAND LILY</td><td></td></tr> <tr> <td>RUBY SALTBUSH</td><td></td></tr> <tr> <td>CREeping BOOIBALL</td><td></td></tr> </table> <p>VEHICLE GARDEN selected suitable plants as per suppliers recommendation</p> | SHRUBS | (w) | 1. RIVER BUTLERBUSH | 3 | 2. SEABERRY SALTBUSH | 1.5 | 3. SWEET BURCHARD / CHRISTMAS BUS | 2-3 | 4. KANGAROO APPLE | 3 | 5. WHITE BLUEBELL | 3 | GROUND COVER | | GRASSLAND LILY | | RUBY SALTBUSH | | CREeping BOOIBALL | |
| SHRUBS | (w) | | | | | | | | | | | | | | | | | | | | |
| 1. RIVER BUTLERBUSH | 3 | | | | | | | | | | | | | | | | | | | | |
| 2. SEABERRY SALTBUSH | 1.5 | | | | | | | | | | | | | | | | | | | | |
| 3. SWEET BURCHARD / CHRISTMAS BUS | 2-3 | | | | | | | | | | | | | | | | | | | | |
| 4. KANGAROO APPLE | 3 | | | | | | | | | | | | | | | | | | | | |
| 5. WHITE BLUEBELL | 3 | | | | | | | | | | | | | | | | | | | | |
| GROUND COVER | | | | | | | | | | | | | | | | | | | | | |
| GRASSLAND LILY | | | | | | | | | | | | | | | | | | | | | |
| RUBY SALTBUSH | | | | | | | | | | | | | | | | | | | | | |
| CREeping BOOIBALL | | | | | | | | | | | | | | | | | | | | | |

[illegible]

CONSENTS

NATIONAL AUSTRALIA BANK LTD (ACN 004 044 937) being a person with a legal interest in the Land by way of registered mortgage 13125076 consents to the Owner entering into this agreement.

**BOTTEN
LEVINSON**
Lawyers

DATED

2020

AGREEMENT

BETWEEN

BEVERLEY OFFICE PTY LTD (ACN 004 044 937)

(Owner)

And


CITY OF WEST TORRENS

(Council)

LAND MANAGEMENT AGREEMENT

Botten Levinson
Level 1 Darling Building
28 Franklin Street
ADELAIDE SA 5000
Telephone: 08 8212 9777
Facsimile: 08 8212 8099

2





Government of South Australia
Department of Planning,
Infrastructure and Public Transport

Product
Sale/Type
Customer Reference
Order ID
Cost

Register Search Plus
CT 4350/565
35762018 04:51 AM
18108
2718029001815
\$34.50

The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.

Certificate of Title - Volume 5250 Folio 224

Parent Title(s) CT 4350/565

Creating Dealing(s) CONVERTED TITLE

Title Issued 24/03/1965 Edition 3 Edition Issued 17/11/2003

Estate Type

FEE SIMPLE

Registered Proprietor

DAVID BEALE PTY. LTD. (ACN 065 433 820)
OF 2-4 JERVOLD STREET TORRENSVILLE SA 5031

Description of Land

ALLOTMENT 75 FILED PLAN 122672
IN THE AREA NAMED TORRENSVILLE
HUNDRED OF ADELAIDE

Easements

TOGETHER WITH FREE AND UNRESTRICTED RIGHT(S) OF WAY OVER THE LAND MARKED C

Schedule of Dealings

NIL

Notations

| | |
|---------------------------|-----|
| Dealings Affecting Title | NIL |
| Priority Notices | NIL |
| Notations on Plan | NIL |
| Registrar-General's Notes | NIL |
| Administrative Interests | NIL |

Land Services

Page 1 of 2

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Government of South Australia
Department of Planning,
Transport and Infrastructure

Product

Date/Time

Customer Reference

Order ID

Cost

Register Search Plus
(CT 4390/224)

26/06/2018 09:31AM

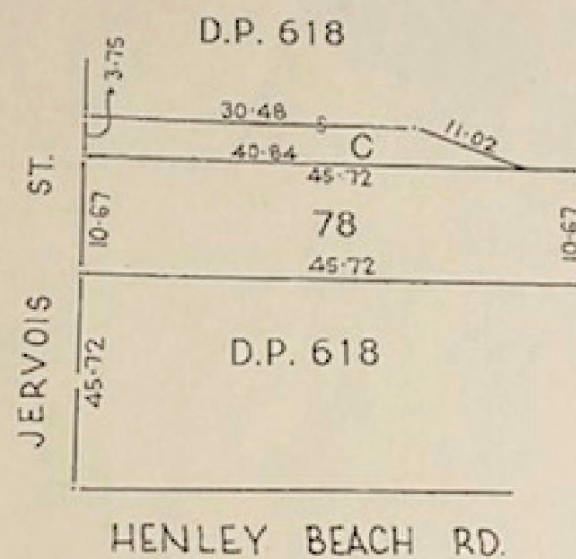
18106

20180628001853

\$34.50

This plan is scanned for Certificate of Title 4390/965
See title text for easement details.

LAST PLAN REF: D.P. 618



0 5 10 15 20 Metres

Note : Subject to all lawfully existing plans of division

Land Services

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Page 2 of 2



Product Register Search Plus
 (CT 5780/537)
Date/Time 26/11/2020 11:13AM
Customer Reference cjones
Order ID 20201126003325

REAL PROPERTY ACT, 1986



South Australia

The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5780 Folio 537

Parent Title(s) CT 4390/966
Creating Dealing(s) CONVERTED TITLE
Title Issued 06/06/2000 **Edition** 4 **Edition Issued** 25/06/2019

Estate Type

FEE SIMPLE

Registered Proprietor

BEVERLEY OFFICE PTY. LTD. (ACN: 611 426 692)
 OF 30 ELMO AVENUE WESTBOURNE PARK SA 5041

Description of Land

ALLOTMENT 79 FILED PLAN 122873
 IN THE AREA NAMED TORRENSVILLE
 HUNDRED OF ADELAIDE

Easements

SUBJECT TO PARTY WALL RIGHT(S) OVER THE LAND MARKED B (T 1853929)
 SUBJECT TO FREE AND UNRESTRICTED RIGHT(S) OF WAY OVER THE LAND MARKED C
 TOGETHER WITH PARTY WALL RIGHT(S) OVER THE LAND MARKED A (T 1853929)

Schedule of Dealings

| Dealing Number | Description |
|----------------|---|
| 13125076 | MORTGAGE TO NATIONAL AUSTRALIA BANK LTD. (ACN: 004 044 937) |

Notations

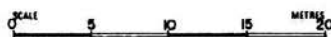
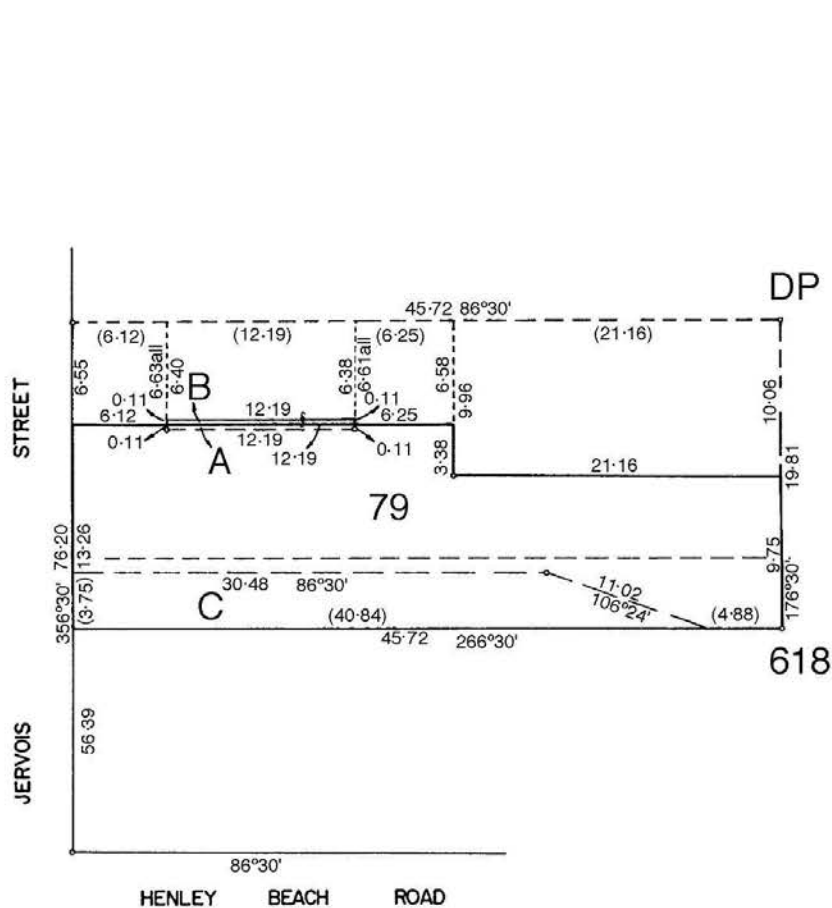
| | |
|----------------------------------|-----|
| Dealings Affecting Title | NIL |
| Priority Notices | NIL |
| Notations on Plan | NIL |
| Registrar-General's Notes | NIL |
| Administrative Interests | NIL |



Product Register Search Plus
 (CT 5780/537)
Date/Time 26/11/2020 11:13AM
Customer Reference cjones
Order ID 20201126003325

THIS PLAN IS SCANNED FOR CERTIFICATE OF TITLE 4390/966
 SEE TITLE TEXT FOR EASEMENT DETAILS

LAST PLAN REF: DP 618



NOTE: SUBJECT TO ALL LAWFULLY EXISTING PLANS OF DIVISION

Land Services SA

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Page 2 of 2



Product
Data/Time
Customer Reference
Order ID

Historical Search
28/11/2020 11:13AM
cjones
20201126003325

Certificate of Title

Title Reference: CT 5780/537
Status: CURRENT
Parent Title(s): CT 4390/966
Dealing(s) Creating Title: CONVERTED TITLE
Title Issued: 06/06/2000
Edition: 4

Dealings

| Lodgement Date | Completion Date | Dealing Number | Dealing Type | Dealing Status | Details |
|----------------|-----------------|----------------|---------------------------|----------------|--|
| 12/06/2019 | 25/06/2019 | 13125076 | MORTGAGE | REGISTERED | NATIONAL AUSTRALIA BANK LTD. (ACN: 004 044 937) |
| 12/06/2019 | 25/06/2019 | 13125075 | TRANSFER | REGISTERED | BEVERLEY OFFICE PTY. LTD. (ACN: 611 426 692) |
| 12/06/2019 | 25/06/2019 | 13125073 | WITHDRAWAL OF CAVEAT | REGISTERED | 13017774 |
| 12/11/2018 | 14/11/2018 | 13017774 | CAVEAT | REGISTERED | SOUTHERN ATMOSPHERE PTY. LTD. (ACN: 007 795 995) |
| 10/11/2003 | 17/11/2003 | 9722647 | TRANSFER | REGISTERED | DAVID BEALE PTY. LTD. (ACN: 065 433 829) |
| 11/09/2000 | 28/09/2000 | 8959262 | TRANSMISSION APPLICATION | REGISTERED | EVELYN FLORENCE MAUD BEALE (DECD), ROBERT DUDLEY HICKS (EXEC), KEITH NATHAN KENNETT (EXEC) |
| 11/09/2000 | 28/09/2000 | 8959261 | APPLICATION TO NOTE DEATH | REGISTERED | ERNEST GEORGE BEALE (DECD), EVELYN FLORENCE MAUD BEALE |

Statement of Representation



Submission date: 7 September 2020, 4:16PM

Receipt number: 3

Related form version: 2

| Question | Response |
|---|---|
| Development No. | 211/260/2020 |
| Property address | 2 & 4 Jervois St TORRENSVILLE SA 5031 |
| First name | Sam |
| Last name | McInnes |
| Address | 180 Henley Beach Rd, Torrensville SA 5031, Australia Map (-34.9239478, 138.5609278) |
| Contact number | 0411750205 |
| Email address | smcinnnes@hurleyhotelgroup.com.au |
| Nature of interest | Adjoining resident / business and owner of land in the vicinity |
| Reason/s for representation | Adjoining resident and owner of land in the vicinity. Concern about hours of operation and use of our carpark. |
| My representation would be overcome by: | 1. The applicant stating the intended hours of operation for the business, and the hours of operation that a liquor license that will be applied for. Council hearing my opinion as to whether those hours are reasonable 2. The applicant stating it's intention to hold private functions at the premises? What will be the nature of those events? 3. Permanent and clear signage erected at the premises that customers and staff of the business operating on the property are not to park at the Hotel Royal carpark, or 6 Jervois St Torrensville (the hotel overflow carpark) |
| Please indicate whether or not you wish to be heard by Council in respect to this submission: | I desire to be heard personally |
| Signature | |
| Today's date | 07/09/2020 |

**Planning Chambers Pty Ltd**

Office
219 Sturt Street Adelaide SA 5000

Postal Address
P.O Box 6196 Halifax Street SA 5000

Office 08 8211 9776
Email admin@planningchambers.com.au

ABN 92 642 898 075

7 September 2020

20-017Rep01

City of West Torrens
165 Sir Donald Bradman Drive
HILTON SA 5033

Attention: Mr J. Leverington

Dear Jordan

Re: DA 211/260/2020

I write regarding the above-mentioned non-complying development application for demolition, change in use and construction of a car park within the Urban Corridor and Residential Zones at 2-4 Jervois Street, Torrensville.

I have been engaged by Mr Chris Cartwright and Ms Julie Robinson, owners of the adjoining dwelling at 4A Jervois Street, to review the proposal and prepare the following representation in response to the Category 3 public notification of the application.

The application proposes the demolition of the southern half of the semi-detached building at 4 Jervois Street to enable the proposed change in use of the building at 2 Jervois Street to a café. The proposal also includes the construction of a car park at the rear of 2 Jervois Street and across the majority of 4 Jervois Street.

The building at 4 Jervois Street which is proposed to be demolished forms the southern half of the semi-detached dwelling owned by Mr Cartwright and Ms Robinson at 4A Jervois Street.

My client's do not dispute the applicant's right to redevelop the subject land to enable the establishment of a café however they have several concerns relating to the proposed demolition of the semi-detached building, currently zoned residential, and the potential impact of the proposal upon the amenity of adjoining land within the Residential Zone.

More particularly these concerns relate to:

- the impact of the proposed demolition upon the adjoining dwelling and party wall of 4A Jervois Street;
- how the footings, party wall, roof and common fencing of 4A Jervois Street is to be finished and made good by the applicant;
- the impact of the proposed landscaping and vertical garden upon the footings of the party wall; and
- the negative impact upon the residents of 4A Jervois Street and nuisance generated from the use of the café, outdoor dining area, driveway, loading bay and car park;

These concerns are expanded upon below.



1. Physical impacts upon 4A Jervois Street

As noted above, Mr Cartwright and Ms Robinson own 4A Jervois Street which is the northern half of the semi-detached building which is proposed to be demolished to allow for the construction of a car park. The semi-detached building to be demolished and location of the proposed car park relative to Mr Cartwright and Ms Robinson's property is shown in Figure 1 below.



Figure 1: Relative location of 2, 4 and 4A Jervois Street.



The following comment relating to the proposed demolition of the southern portion of the semi-detached building is noted within the Statement of Effect prepared by MasterPlan:

“The party wall for the maisonette left standing following demolition will be made good to ensure its structural stability. Relevant details will be submitted when application is made for Building Rules Consent following receipt of Development Plan Consent for this application. It is proposed to install a frame to the party wall for a vertical garden to provide an attractive outlook for the café and outdoor dining area. This detail is shown on the Elevation of Boundary Wall drawing.”

Whilst it is noted that details of the demolition and the ‘making good’ of the party wall will be provided should the proposal be approved, it is requested that these details be provided in advance of any approval given the extent to which these works will impact upon the footings, party wall and roof of 4A Jervois Street and the safety and security of the adjoining residents. Without these details it is impossible to make an informed comment on the proposal and the extent to which it may be supported or otherwise by Mr Cartwright and Ms Robinson.

The proposed demolition and construction of a car park, garden bed and vertical garden along the party wall has the potential for immediate and ongoing structural impacts upon the footings and integrity of the party wall. The proposed works will result in significant changes to the wetting and drying regime of the base of the party wall which may result in movement of the soil and footings underneath the party wall. The irrigation of the proposed garden bed and vertical garden are of major concern, as is the proposed attachment of the vertical garden to the party wall as noted by MasterPlan above.

It is requested that Council seek confirmation of:

- how demolition is to be undertaken including the extent to which the roofing and footings are to be removed;
- the works to make good the party wall, roof and common fencing post-demolition;
- the location and extent of the vertical garden and how it is to be irrigated and maintained;
- an engineering report detailing the structural adequacy of the footings and party wall post-demolition; and
- the potential impact or otherwise of the garden bed and vertical garden along the party wall.

Following receipt of the above my client will be able to confirm their acceptance or otherwise of the works proposed to their dwelling and the party wall.

If approval for the works is subsequently provided by Council a condition of approval should be imposed requiring the completion of a dilapidation report of 4A Jervois Street prior to any works being undertaken.



It should be noted that my client would ideally prefer that the southern portion of the building not be demolished to minimise the impacts on the party wall and the northern portion of the dwelling as discussed above. Whilst it is the applicant's right to pursue such an application it is requested that further consideration be given to either demolishing the rear sheds instead or utilising adjoining land to the south within the Urban Corridor Zone for car parking rather than demolish what appears to be a structurally sound, character maisonette and utilise land within the Residential Zone for car parking.

2. Impacts upon the amenity of 4A Jervois Street

The proposed car park, driveway and service area for the café is to be located along the length of the common boundary with 4A Jervois Street. The proposed café and the associated activity within the car park and service area has the potential to negatively impact upon the residents of 4A Jervois Street, and in particular the use of the rear private yard. The rear yard will directly adjoin four car parks and turning bay as well as being opposite an additional two car parks, the outdoor dining area, the bin storage area and loading bay. As such there is the potential for noise impacts from patrons' vehicles, commercial vehicles unloading, waste collection vehicles, use of the waste storage area and from patrons within the outdoor dining area.

No acoustic advice has been provided by the applicant or sought by Council.

Both allotments at 4 and 4A Jervois Street are located within the Residential Zone. Whilst it is acknowledged that the buildings upon the subject land have a history of commercial use it appears that the historic use has been a lower impact use in the form of offices and a printer. The existing/former use is also understood to occur only on weekdays during normal business hours (9am to 5pm).

No hours of operation are provided within the Statement of Effect. It is assumed that the café will operate early in the morning to provide a breakfast service but may also operate late in the evening and on weekends. The potential noise impacts from an 80-seat café upon the adjoining dwelling will be significant without any restrictions upon the use of the building and outdoor dining area and/or appropriate noise mitigation measures.

Whilst small scale non-residential developments are envisaged within the Residential Zone such uses are required by the Desired Character statement and Principle of Development Control (PDC) 3 of the Residential Zone to be '*consistent with the character of the locality*' and '*not detrimentally impact upon the amenity of nearby residents*'.

Council Wide Interface between Land Uses Objective 1 seeks that development be '*located and designed to minimise adverse impact and conflict between land uses*'.

This is supported by PDC's 1 and 2 which state:

1. Development should not detrimentally affect the amenity of the locality or cause unreasonable interference through any of the following:

- (a) the emission ofodour or other airborne pollutants*
- (b) noise*
- (g) hours of operation*
- (h) traffic impacts.*



2. Development should be sited and designed to minimise negative impacts on existing and potential future land uses desired in the locality.

PDC 8 also notes that *'development that emits noise (other than music noise) should include noise attenuation measures that achieve the relevant Environment Protection (Noise) Policy criteria when assessed at the nearest existing noise sensitive premises'*.

Council Wide Transportation and Access PDC 24 also seeks to limit the potential impact of development requiring that development be provided with *'safe and convenient access which:*

(d) is sited and designed to minimise any adverse impacts on the occupants of and visitors to neighbouring properties'.

Council Wide Centres and Retail Development PDC 2 also seeks to limit the impact of commercial development on adjoining land uses noting that:

Development within centres should be designed to be compatible with adjoining areas. This should be promoted through landscaping, screen walls, centre orientation, location of access ways, buffer strips and transitional use areas.

Given the proximity of the adjoining dwelling and private yard to the proposal the potential for negative impacts upon residents is substantial and at odds with the above Development Plan provisions.

If the proposal is to progress, we ask that the applicant consider ways in which the impact upon the amenity of existing residents can be adequately addressed.

Conclusion

Mr Cartwright and Ms Robinson acknowledge that the site has some capacity to be developed in accordance with the provisions of the Urban Corridor and Residential Zones. Any development of the site however is required by the Development Plan to respect the amenity of existing residents within the adjoining Residential Zone.

Mr Cartwright and Ms Robinson are willing to engage with the applicant and assist in finding an appropriate solution that will be of benefit to all parties and to this end welcome ongoing dialogue with the applicant. Until such discussions have occurred, and a mutually agreeable solution is reached in relation to the demolition of the semi-detached building and protection of the amenity of the current residents, my clients remain respectfully opposed to the proposal in its current form.

Mr Cartwright and Ms Robinson wish to be heard by the Council Assessment Panel in relation to this matter, either personally or represented by myself.

Should you require any further details or clarification please contact the undersigned on phone (08) 8211 9776.

Yours sincerely

Damian Dawson

Director

From: [Chris Cartwright](#)
To: [Jordan Leverington](#); [Development](#)
Cc: [Damian Dawson](#); [Pat Schinella](#); ccandjr@internode.on.net
Subject: Development 211/260/2020 - Application for Category 3 Development 2 and 4 Jervois St Torrensville
Date: Tuesday, 20 October 2020 2:44:42 PM
Attachments: [image648414.png](#)
[image223724.png](#)
[image035814.png](#)
[image115365.png](#)
[image890050.png](#)
[image465016.png](#)
[image362377.png](#)
[image357833.png](#)
[image798761.jpg](#)

To whom it may concern

Re Representation by C Cartwright and JL Robinson of 4A Jervois Street.

Please be advised that we wish to withdraw our Category 3 representation as emailed to council on Monday 7th September 2020 and will not be attending the proposed Development Assessment Panel meeting to which the abovementioned application is to be considered.

Kind Regards

Chris Cartwright
Property and Facilities Manager
Pulteney Grammar School
190 South Terrace, Adelaide SA 5000



25 September 2020

Mr Jordan Leverington
City of West Torrens
165 Sir Donald Bradman Drive
HILTON SA 5033

Dear Jordan

**Re: Proposed restaurant, store and carpark
(DA 211/260/2020)**

We act for Dome Building Concepts.

Our client has asked us to review and respond to the one (1) representation received following public notification of its application to demolish a maisonette and convert the adjacent printing workshop into a café with associated off-street parking. The site of the proposed development is at 2-4 Jervois Street, Torrensville. The representation has been made by Planning Chambers Pty Ltd representing the owner of the adjoining maisonette at 4A Jervois Street.

The relevant matters which have been raised in the representation which warrant a response are detailed below:

**1. Structural details of demolition should be provided in advance of the Development Plan
Consent**

We appreciate the owners' desire for these details, but it is not strictly necessary to provide structural details *"in advance of any approval ..."*. Nevertheless, and in good faith, our client engaged TMK Consulting Engineers to conduct a visual non-destructive inspection to assess the structural adequacy of the masonry party wall. TMK's Report is attached and we draw your attention to that part of the Report which advises that in TMK's opinion, "the boundary structure will be structurally adequate following the demolition of the maisonette . . ." TMK's advice is subject to 5 conditions, none of which are problematic.

We confirm that our client has no objection to a condition being imposed on the consent which requires the demolition works to be undertaken strictly in accordance with TMK's Structural Inspection Report, and the conditions listed in that Report.

2. Rear yard parking

The suggestion that all off-street parking be provided in the rear yard of the maisonette, thereby allowing the maisonette to be retained, has been considered.



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51526LET03



Unfortunately, this arrangement would not deliver the required number of off-street parking spaces. Our client would readily agree to this proposition if Council is prepared to accept a lesser number of parking spaces.

3. Amenity Impacts

We disagree that the proposed café will negatively impact the residents of 4A Jervois Street as claimed.

The proposed café will be located entirely within the Urban Corridor Zone, and will replace a printer's workshop which is classified as an industrial land use. The associated car park and driveway which the representation is concerned about has for many years been used for driveway access, loading, unloading and parking purposes, as can be seen from Figure 1 in the representation.

Café's are not commonly regarded as noisy businesses. While it will operate to capture morning breakfast trade, we would expect that the printer's workshop operated from 7.00am or thereabouts in the morning until late in the day.

Relevantly, the building exists and is in the Urban Corridor Zone where shops are envisaged. We can furthermore advise that the proposed hours of operation will be 8:00 am to 3:00 pm daily (including weekends), with a maximum of 80 customers and 9 staff. We do not believe these hours of operation, staff or customer numbers are unreasonable. Indeed, the proposed hours of operation are probably less than the hours of operation of the printer's workshop.

The proposal's hours of operation also fall comfortably within daylight hours as prescribed in the EPA Noise Policy. During these times, there will be background noise from passenger and commercial vehicles using Jervois Street and Henley Beach Road, as well as aircraft approaching and landing at nearby Adelaide Airport. In addition, the café will not be used as a live music venue where amplified music is played. We also note that the locality includes the nearby Royal Hotel at 180 Henley Beach Road on the western side of Jervois Street. The hotel is a well-established and popular local venue, with bar, restaurant, drive-thru bottle shop and gaming facilities. An extensive client carpark is at the rear of the hotel, with an overflow carpark on the northern side of the representor's maisonette. These car parks carpark can be seen in the image included in the representation prepared by Planning Chambers Pty Ltd.

Closure

We believe that the proposal is deserving of Development Plan Consent. As stated above, we invite Council to impose conditions in the consent to address the concerns that have been raised, and to secure the recommendations contained in TMK's Structural Assessment Report.

Our client is willing to engage with the representors to achieve an outcome that is acceptable to them, but it would be inappropriate to insist upon those discussions taking place before the application is granted Development Plan Consent.



We confirm that we wish to appear before the Panel on our client's behalf when the application is considered.

Yours sincerely

Graham Burns
MasterPlan SA Pty Ltd

enc: Structural Inspection Report (COI-S1): TMK Consulting Engineers [25 September 2020].
cc: Dome Building Concepts.

TMK Consulting Engineers
 Level 6, 100 Pirie Street, Adelaide SA 5000
 Tel: 08 8238 4100
 Email: tmksa@tmkeng.com.au
 Civil • Geotechnical • Environmental
 Structural • Mechanical • Electrical • Fire
 Hydraulics • Forensic • Construction Assist
 Riverland Office: 25 Vaughan Terrace, Barri SA 5343



STRUCTURAL INSPECTION REPORT (COI-S1)

| | | | |
|--------------------------|--|----------------------|------------|
| Builder / Agent: | CARRABS NOMINEES | Job Number: | 2007348 |
| Owner: | BRUNO CARRABS | Date: | 25/09/2020 |
| Project: | STRUCTURAL ASSESSMENT PROPOSED DEMOLITION OF MAISONETTE (SOUTHERN SIDE) | | |
| Project Location: | 2-4 JERVOIS STREET, TORRENSVILLE | | |
| Date Inspected: | 10/08/2020 | Inspected by: | TH |

CONSTRUCTION:

Double leaf masonry party wall

NOTES / COMMENTS:

This office conducted a visual non-destructive inspection to assess the structural adequacy of the existing structure on the boundary of separating 2-4 Jervois street, Torrensville. The assessment was conducted considering the provisional demolition of the southern side of the maisonette. No access was available to No.4A at the time of the inspection.

During the inspection, the wall was observed to be of double leaf construction. No articulation joints or significant openings were present. The wall was observed to be continuous through the ceiling space acting affectively as a party wall. No significant damage or cracking was observed to the party wall. All roof framing members pitched onto the dividing masonry wall but did not penetrate the masonry.

Based on the above, it is the considered opinion of TMK Consulting Engineers that the boundary structure will be structurally adequate following the demolition of the maisonette subject to the following;

1. The existing footings are to be carefully cut at the desired locations,
2. If reinforcement is encountered the reinforcement is to be coated with "MasterEmaco P 5000 AP" or similar approved strictly in accordance with the manufacturer's specifications, (attached)
3. A repair/fairing coat "MasterEmaco 5200 CI" or similar approved is applied to the exposed footing in accordance with the manufacturer's specifications, (attached)
4. All flashing and seals are to be "made-good"
5. Stormwater is to be redirected as required.

If this is not the case, or the party wall is damaged in any way during the demolition process then this office should be contacted for further assessment of the party wall.

The existing footing system has performed adequately to date and is considered suitable for its intended use in its current state.

Please also note that following the demolition of No. 4 the party wall will be converted to an external gable end wall, and dependant on the internal wall layout, additional bracing may be required within the roof framing of No. 4A.

This report does not relate to particular architectural details such as squareness, building dimensions or siting within the boundary. Inspections are limited to conspicuous structural items only and exclude items not visible by a non-destructive inspection.

TMK Consulting Engineers take no responsibility for faulty workmanship or material used following the inspection, or for defects which may not yet have occurred.

**STRUCTURAL INSPECTION REPORT
(COI-S1)**

For and on behalf of
TMK Consulting Engineers

TRENT HARTLEY
Engineer

Enclosed:

- MasterEmaco P 5000 AP Technical Data Sheet
- MasterEmaco 5200 CI Technical Data Sheet

Document Title: TMK External Document Template
Issue Date: 20/05/10
K:\2020\07\2007348\2007348_COI-S1.docx

Document Code: BF022

Revision Code: 01
Approved by: MCT
2 of 2



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MasterEmaco® N 5200CI

Universal, fast-setting, polymer modified, fibre reinforced, light weight repair mortar with active corrosion inhibition

DESCRIPTION

MasterEmaco N 5200CI is a universal, single component, polymer modified, fast setting, repair, re-profiling and levelling mortar containing active corrosion inhibition. **MasterEmaco N 5200CI** contains special cements, graded sands, selected polymers and fibres to reduce shrinkage and improve physical and application properties. When mixed with water, it forms a mortar with an exceptionally wide range of applications.

MasterEmaco N 5200CI can easily be hand or trowel applied in thicknesses from 3mm to 100mm.

RECOMMENDED USES

- **MasterEmaco N 5200CI** is used for the non-structural repair of concrete elements like balconies edges, building facades, parapet walls, precast panels, beam edges and stair nosings.
- **MasterEmaco N 5200CI** can be applied as a smoothing or levelling coat at 3mm thickness on large vertical and overhead areas to achieve a more aesthetic finish e.g. prior to painting.
- **MasterEmaco N 5200CI** can be applied in environments where active corrosion inhibition is necessary.

FEATURES AND BENEFITS

- **Shrinkage compensation systems and fibre reinforcement** - minimise crack tendency
- **Smooth, creamy, non-slump mortar** - easy to create profiles and corners without formwork
- **Excellent high build capacity** - can be applied 80 - 100 mm in vertical applications or 70 - 80 mm overhead in one layer
- **Multi-use** - fairing coat and patch repair mortar in one with active corrosion inhibition
- **Fast setting** - can be over-coated in only 4 hours
- **Good strength development** - exceeding requirement of Class R2 of EN1504 part 3
- **Low modulus of elasticity** - copes with thermal movement of structures
- **Low chromate (Cr[VI] < 2 ppm)** - low risk of skin irritation
- **Chloride-free** - does not add to chloride load of structure

PROPERTIES

| | |
|--|---|
| Appearance | Grey powder |
| Layer thickness | Min. 3mm (fairing coating) Max. 100mm (vertical & horizontal), 80mm (overhead) |
| Density | Approx. 1.8 g/cm ³ |
| Working time | 30 – 45 minutes |
| Setting time - initial | 45 – 75 minutes |
| - final | 60 – 120 minutes |
| Temperature for application (substrate and material) | Between +5°C and +35°C |

| | |
|---|--|
| Compressive strength - after 1 day - after 28 days AS 1478.2 Appendix A (Restrained) | ≥12 MPa ≥ 40 MPa |
| Adhesion (28 days) EN 1542 | ≥ 0.8 MPa |
| Cracking tendency (I) Coutinho type ring | No cracking after 180 days |
| Chloride Ion diffusion (NORD test) | 5.29E-12m ² /sec |
| Resistivity | 4000 Ω.cm |
| Permeability risk for Chlorides and sulphates FM5-578 | High |
| E modulus | 16 GPa |
| Shrinkage AS 1012-13 56 days | 470 microstrain |
| Capillary absorption EN 13057 | ≤ 0.5 kg/m ² h ^{0.5} |
| Electrical resistance 28 days 56 days | 3900 Ω.cm 6280 Ω.cm |
| AS/NZS 4020 | Suitable for contact with potable water |
| VOC Content SCAQMD Test method 304-91 | 8g/L |

Hardening times are measured at 21°C ± 2°C and 60% ± 10% relative humidity. Higher temperatures will reduce these times and lower temperatures will extend them. Technical data shown are statistical results and do not correspond to guaranteed minima. Tolerances are those described in appropriate performance standards

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MasterEmaco® N 5200CI

APPLICATION

Surface preparation - Concrete must be fully cured, clean and sound to ensure good adhesion. All traces of loose concrete or mortar, dust, grease oil, etc. must be removed. Damaged or contaminated concrete should be removed to obtain a keyed surface. Non-impact/ vibrating cleaning methods, e.g. grit or high water pressure blasting are recommended. Aggregate should be clearly visible on the surface of the concrete structure after surface preparation. A CSP 5 or greater profile is recommended. Cut the edges of the repair vertically to a minimum depth of 3 mm. If reinforcing steel is visible, clean to a minimum grade of SA 2 according to ISO 8501-1 / ISO 12944-4. For extra protection, or when the steel is left exposed before repair work is completed, apply **MasterEmaco P 5000AP** active protection cement based primer.

Mixing - Only full bags are mixed. Damaged or opened sacks should not be used. Mix **MasterEmaco N 5200CI** with a helical paddle attached to a slow speed (300-600 rpm) mixer or in a forced action pan mixer for 3 minutes until a lump free, plastic consistency is achieved. Only use clean water. Mixing water needed: 3.5 to 4.0 litres per 20kg bag depending upon consistency required. Allow the mortar to rest for 2 - 3 minutes and then remix briefly, adjusting the consistency as required. NB: Never exceed the maximum water demand.

Priming - The prepared substrate should be pre-soaked, preferably for 24 hours, but at least 2 hours before applying **MasterEmaco N 5200CI**. The surface must be saturated surface dry, but without standing water.

For improved build thicknesses or when working on large areas, apply bond or contact layer of the **MasterEmaco N 5200CI** mortar. Alternatively a bonding coat of **MasterEmaco P 5000AP** can be applied.

Mortar application - The minimum temperatures must be maintained during application and for at least 12 hours thereafter for optimum curing of the product.

MasterEmaco N 5200CI can be hand or trowel applied. Apply mixed product directly to the prepared damp substrate, or wet on wet onto the primed surface. A thin scratch coat or contact layer (a slurry coat of the **MasterEmaco N 5200CI**) before building up to the required thickness, wet on wet, will improve the wet adhesion and cohesion of the mortar. Apply to the desired layer thickness of 3 to max. 100 mm. Smoothing with a trowel and finishing by float or sponge can be done as soon as the mortar has begun to stiffen, typically after approximately 45 - 60 minutes at 20°C. In these environmental conditions, **MasterEmaco N 5200CI** can be over-coated, after approximately 4 hours, with **MasterProtect** anti-carbonation coatings as required. NB: At lower temperatures and/or higher humidity these times will be extended

ESTIMATING DATA

One 20kg bag mixed with 3.8L of water will yield approximately 13 litres of mortar.

| MasterEmaco N 5200CI | | | | |
|----------------------|---------------------------------|----------------|----------------------|------------------------------|
| L | Thickness in mm /m ² | m ³ | bags /m ³ | m ² /mm thickness |
| 13 | 13mm | (0.013) | 77 | 13 m ² |

PACKAGING

MasterEmaco N 5200CI is available in 20kg bags.

SHELF LIFE

Store in cool and dry warehouse conditions. Shelf life in these conditions is 12 months in unopened original bags.

PRECAUTIONS

For the full health and safety hazard information and how to safely handle and use this product, please make sure that you obtain a copy of the BASF Safety Data Sheet (SDS) from BASF office or website.



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MasterEmaco® N 5200CI

MasterEmaco-N5200CI-ANZ-V9-0320

| | | |
|--|--|--|
| STATEMENT OF RESPONSIBILITY | The technical information and application advice given in this BASF publication are based on the present state of our best scientific and practical knowledge. As the information herein is of a general nature, no assumption can be made as to a product's suitability for a particular use or application and no warranty as to its accuracy, reliability or completeness either expressed or implied is given other than those required by law. The user is responsible for checking the suitability of products for their intended use. | |
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MasterEmaco® P 5000AP

Single component, cement based, multi-use, bonding and active protective primer

DESCRIPTION

MasterEmaco P 5000AP active primer, not only reinstates a high pH environment it also contains active corrosion inhibiting additives for the protection of reinforcement steel. It can also be used as an adhesive bonding slurry for subsequent repair mortars. When mixed with water, it forms a slurry that can be applied by brush to the clean exposed reinforcement, or directly on the dampened, prepared concrete substrate when used as a bonding coat.

RECOMMENDED USES

MasterEmaco P 5000AP is used for the protection of reinforcement steel:

- When steel is visible and the available depth of cover is less than 10 mm.
- When concrete is contaminated with chlorides
- In critical environments when extra protection is specified.
- When the timing at the jobsite does not allow for the repair mortars to be applied immediately after cleaning the steel.

MasterEmaco P 5000AP can also be used to aid bond and application properties of hand applied repair mortars in extreme thicknesses and conditions.

FEATURES AND BENEFITS

- **Meets all major international norms** - for steel priming in concrete repair systems.
- **Excellent rust inhibiting properties** - as it reinstates a high pH environment.
- **Contains active corrosion inhibitors** - to further protect the steel.
- **Polymer modified** - for additional adhesive bond to the steel.
- **Long life repairs** - does not reduce adhesion of repair mortars to steel
- **Wide compatibility** - with steel reinforcing bars and concrete or repair mortars.
- **Fast curing** - to save time and money.
- **Simply mixing** – just add water.
- **Multi-use** - can also be used as a bonding slurry to improve bond and application thicknesses of MasterEmaco repair mortars on prepared concrete surfaces.
- **Orange** - for easy site control of reinforcement coverage

- **Only use what is needed** - supplied in re-usable air-tight containers
- **Low hazard** - low chromate (Cr[VI] < 2 ppm)

PROPERTIES

| PROPERTY | VALUES |
|---|---|
| Appearance | Orange powder |
| Layer thickness | 2mm in layers |
| Density | Approx. 1.8 g/cm ³ |
| Mixing water | Approx. 0.22 – 0.26 l/kg |
| Working time | Approx. 60 minutes |
| Temperature for application (support and material) | Between +5 and +35°C |
| Pull out strength of coated rebar | ≥ 80% Comparison vs uncoated |
| ZTV-Sib90 compliance testing TL PE-PCC | |
| - total halogen content | ≤ 0.05 Weight μA/cm ² |
| - corrosion stimulation | ≤ 10 μA/cm ² |
| - corrosion resistance | ≤ 1 mm (migration of rust underneath the coating starting from uncoated edge) |
| - accelerated weathering 10 cycles DIN 50017 10 cycles DIN 50018 120 hours DIN 50021 | No corrosion / no delamination / max. crack width ≤ 0.1mm |
| VOC Content : 9g/L Test method: ASTM D3960 | |

APPLICATION

Surface preparation

All corrosion and its by-products must be removed from. The preparation should meet the requirements of ISO 8501-1 / ISO 12944-4 class SA 2 for the full 360° circumference of the steel reinforcement to be coated. When used as a bond coat on concrete, the surface must be completely clean and structurally sound. Remove deteriorated or contaminated concrete or mortar, e.g. by grit or high pressure water blasting. Saturate the concrete surface with water but remove excess before application. Surface profile as required by the repair mortar usually CSP 5 or greater.





We create chemistry

MasterEmaco® P 5000AP

Mixing

In a suitable container, mix **MasterEmaco P 5000AP** with a paddle mounted on a slow-speed drill, or by hand, until a smooth, thick consistency is achieved. Use only clean, uncontaminated water. Mixing water needed: 0.22 to 0.26 litres per kg of powder, depending upon consistency required. Leave to stand for approx. 5 minutes and re-mix briefly before use, adjusting the consistency when required, without exceeding the maximum water demand.

Application of slurry

Substrate and ambient temperatures must be a minimum of +5°C and a maximum of +35°C. The minimum temperatures must be maintained during application and for at least 24 hours thereafter for optimum curing of the product.

As a reinforcement primer: Apply the mixed material in an even layer at least 1mm thick (approx 1.5kg/m²) to the full circumference of the prepared reinforcement using a soft paint brush. When the first coat has hardened sufficiently, (approx. 30-90minutes) apply a second coat also 1mm thick. It is important that this second layer has sufficiently hardened before the repair mortar is applied. When applying the repair mortar by hand this can be done after approximately 2 hours. However, when spraying a repair mortar the priming coat must be left to dry completely (min. 8 hours @ 20°C).

As a bonding slurry: Work the mixed material well into the prepared and pre-soaked, damp surface by using a suitable brush. Typical application rates are 2-3kg per m². Apply the repair mortar wet in wet. Never allow the slurry bond coat to dry out.

ESTIMATING DATA

Approx. 1.5 kg of dry powder per m² and mm layer thickness. This consumption is theoretical and depends on the roughness of the substrate. It should be verified on each particular job by means of "in situ" tests.

| MasterEmaco P 5000AP | | | | |
|----------------------|---------------------------------|----------------|-----------------------|------------------------------|
| L | Thickness in mm /m ² | m ³ | pails /m ³ | m ² /mm thickness |
| 4 | 4mm | (0.004) | 250 | 4 m ² |

PACKAGING

MasterEmaco P 5000AP is available in 5kg plastic re-sealable pails.

SHELF LIFE

MasterEmaco P 5000AP has a shelf life of 12 months. Store out of direct sunlight, clear of the ground on pallets protected from rainfall.

PRECAUTIONS

For the full health and safety hazard information and how to safely handle and use this product, please make sure that you obtain a copy of the BASF Safety Data Sheet (SDS) from our office or our website.

MasterEmaco-P5000AP-ANZ V8-0320

STATEMENT OF RESPONSIBILITY

The technical information and application advice given in this BASF publication are based on the present state of our best scientific and practical knowledge. As the information herein is of a general nature, no assumption can be made as to a product's suitability for a particular use or application and no warranty as to its accuracy, reliability or completeness either expressed or implied is given other than those required by law. The user is responsible for checking the suitability of products for their intended use.

NOTE

Field service where provided does not constitute supervisory responsibility. Suggestions made by BASF either orally or in writing may be followed, modified or rejected by the owner, engineer or contractor since they, and not BASF, are responsible for carrying out procedures appropriate to a specific application.

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Albany, Auckland
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BASF Emergency Advice
1800 803 440 within Australia (24hr)
0800 944 955 within New Zealand

From: [Jordan Leverington](#)
To: ["Graham Burns"](#)
Cc: [Nic D'Annunzio](#); [Rachel Knuckey](#)
Subject: DA211/260/2020 - 2&4 Jervois St, Torrensville - 1 representation to remain and confirmation of operating hours
Date: Wednesday, 4 November 2020 3:47:00 PM
Attachments: [image001.png](#)

Ok thanks for letting me know Graham,

I have just spoken with the representor and they have advised that they will not be withdrawing their representation. Therefore we will proceed on that basis on 1 valid rep wishing to speak and the 8am-3pm operating hours as initially put forward.

Kind regards

Jordan Leverington
Senior Development Officer - Planning
City of West Torrens
165 Sir Donald Bradman Drive
Hilton SA 5033

*Any preliminary advice provided shall not be relied upon or be otherwise interpreted as a guarantee that the Council will approve any subsequent development application.
Please note that all development applications will be assessed against the provisions of the West Torrens Council Development Plan at the time of lodgement.*

From: Graham Burns
Sent: Wednesday, 4 November 2020 2:04 PM
To: Jordan Leverington
Cc: Nic D'Annunzio
Subject: RE: DA211/260/2020 - 2&4 Jervois St, Torrensville - change to operating hours

Hi Jordan:

Please continue with your assessment of the application, on the understanding that the hours of operation will be from 8.00am to 3.00pm, 7 days per week.

Regards,

Graham Burns

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33 Carrington Street
Adelaide SA 5000
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From: Nic D'Annunzio
Sent: Wednesday, 4 November 2020 10:04 AM
To: Graham Burns
Cc: 'Peter Mann'; 'Bruno Carrabs'
Subject: RE: DA211/260/2020 - 2&4 Jervois St, Torrensville - change to operating hours
Hi Graham,
Please advise Council to proceed with the current Application.
Kind Regards
Nic

DOME BUILDING CONCEPTS

HABITAT BUILDING DESIGN

M+ 0411 600 506

From: Jordan Leverington
Sent: Monday, 2 November 2020 2:21 PM
To: Graham Burns
Cc: 'admin@domebuildingconcepts.com.au'; Rachel Knuckey
Subject: DA211/260/2020 - 2&4 Jervois St, Torrensville - change to operating hours
Hi Graham,
Thank you for your email.
I have discussed this application with my Team leader and we agree that as the operating hours will be changing significantly, the application will require re-notification.
- As assessed 8am to 3pm 7 days a weeks
- Now proposed 7am to 12am 7 days a week
These hours will also have implication on when delivery and service vehicles can/ will attend the site, Please note that we will be wanting this to occur in accordance with the Local nuisance and Litter control act timeframes for noise.
Please advise if you would like to:
1. proceed with the current application and then lodge a subsequent non-complying application to vary the operating hours? Or
2. put the current application back out on notification.

Kind regards
Jordan Leverington
Senior Development Officer - Planning
City of West Torrens
165 Sir Donald Bradman Drive
Hilton SA 5033

*Any preliminary advice provided shall not be relied upon or be otherwise interpreted as a guarantee that the Council will approve any subsequent development application.
Please note that all development applications will be assessed against the provisions of the West Torrens Council Development Plan at the time of lodgement.*

From: Graham Burns
Sent: Monday, 2 November 2020 2:06 PM
To: Brett Mickan; Jordan Leverington
Cc: 'admin@domebuildingconcepts.com.au'
Subject: RE: DA211/260/2020 - 2&4 Jervois St, Torrensville

Jordan and Brett:

Thank you for forwarding Sam McInnes' representation on our client's development application.

I am advised that the proprietor of Octeine Coffee has conferred directly with Mr McInnes, who has been advised that:

- The proposed hours of operation will now be 7.00am to 12 midnight, 7 days per week;
- The premises capacity will be limited to 80 persons;
- Signs will be erected in prominent locations advising patrons of the café that they are not permitted to park in either of the carparks owned and operated by the Royal Hotel.

Kindly ensure that these details are noted.

In relation to the running of private functions, there is no intention to run private functions as the primary use of the land. Rather, such events would be ancillary and incidental to the principal use of the premises as a café. For example, if a family, group of friends or colleagues book the venue to celebrate a wedding anniversary, birthday or staff retirement, that does not amount to the venue being used as a function centre if those persons are seated and served a meal with beverages whilst in the venue.

For the avoidance of doubt, we invite Council to impose a condition or advisory note on the approval which requires the premises to be used at all times primarily as a licensed café, with any private events being ancillary and incidental to the approved use.

Regards,

Graham Burns

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From: Brett Mickan
Sent: Tuesday, 27 October 2020 10:18 AM
To: Graham Burns; 'admin@domebuildingconcepts.com.au'
Subject: DA211/260/2020 - 2&4 Jervois St, Torrensville

Hi Graham and Nic,

Following on from Jordan's phone call, please find the valid representation that council missed. Our sincere apologies for this error.

Kind Regards,

Brett Mickan
Development Technician
City Development
City of West Torrens
165 Sir Donald Bradman Drive
Hilton SA 5033

Preliminary Traffic, Flooding & Stormwater Assessment

Development Application No: 211/260/2020

Assessing Officer: Jordan Leverington
Site Address: 2 Jervois Street, TORRENSVILLE SA 5031, 4 Jervois Street, TORRENSVILLE SA 5031
Certificate of Title: CT-5250/224, CT-5780/537
Description of Development Demolition and change of use from office, shop and manufacturing to restaurant, store and car park. (non-complying)

TO THE TECHNICAL OFFICER - CITY ASSETS

Please provide your comments in relation to:

- ☐ Site drainage and stormwater disposal
- ☐ Required FFL
- ☐ On-site vehicle parking and manoeuvrability
- ☐ New Crossover
- ☐ Your advice is also sought on other aspects of the proposal as follows:

.....
.....

PLANNING OFFICER - Jordan Leverington DATE 27 August, 2020



Memo

To Jordan Leverington
From Richard Tan
Date 27-Aug-2020
Subject 211/260/2020, 2 Jervois Street, TORRENSVILLE SA 5031, 4 Jervois Street, TORRENSVILLE SA 5031

Jordan Leverington,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

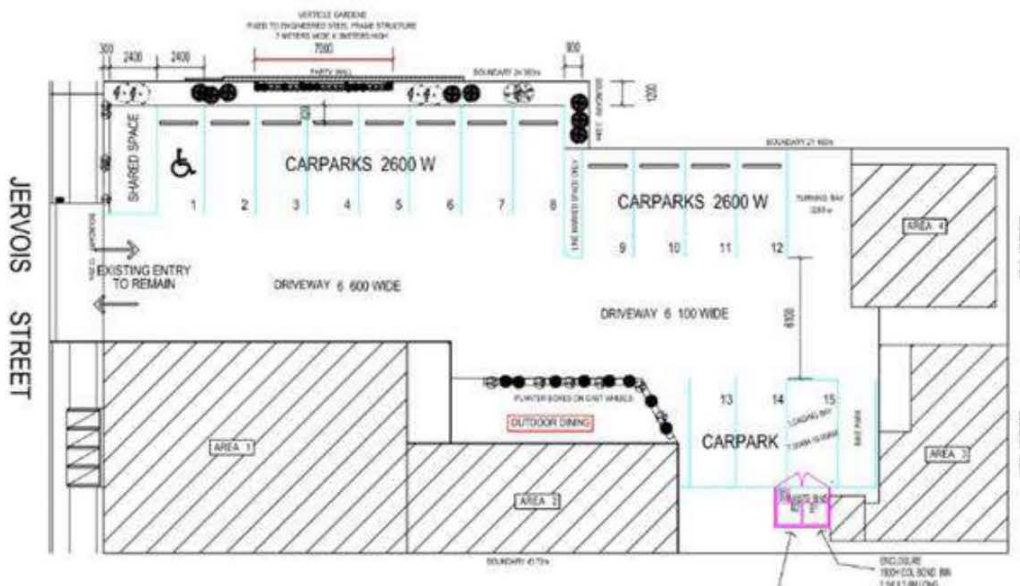
1.0 Traffic Requirements

The following comments have been provided by Council's Traffic Consultant, Mr Frank Siow:

I refer to the amended proposal for the subject development, as detailed in the MasterPlan report of 14 August 2020.

I have previously provided comments regarding the proposal on 15 July 2020 when the proposal included a car park connection from 2 Jervois Street to 170-178 Henley Beach Road.

I note that the amended proposal no longer has a car park connection to 170-178 Henley Beach Road. Instead, the proposal seeks to incorporate 4 Jervois Street into the development via a formal LMA that enables shared parking to occur. The amended proposal includes demolition of an existing dwelling and creation of additional car parking on the overall site. The existing driveway to Jervois Street, currently shared between both properties, would be retained. The amended proposal is shown below (identified as Drawing 2538/19 1-4 dated 13/7/2020).



In terms of the parking assessment, the tabulated floor areas shown in the drawing above (Area 1, 2 and Outdoor) total approximately 265m² for the proposal (note that this floor area is slightly larger than previously assumed in my July 2020 assessment).

Existing Areas 3/4 has a floor area of approximately 120m². These buildings appears to be storage type land uses.

Applying the parking rates for a 'Designated Area' (3 to 5 spaces per 100m²), the proposed cafe/restaurant would require 8 to 13 parking spaces. I have previously stated that a cafe/restaurant land use would likely fall within the mid-range of the requirement. In this case, it would be say 11 spaces.

The existing storage land uses (Areas 3/4) of 120m² would fall within the lowest range of 3 spaces per 100m² and would likely require say 3 spaces.

Overall, the parking required would be 14 spaces (11 plus 3). The parking provision of 15 spaces would exceed this requirement.

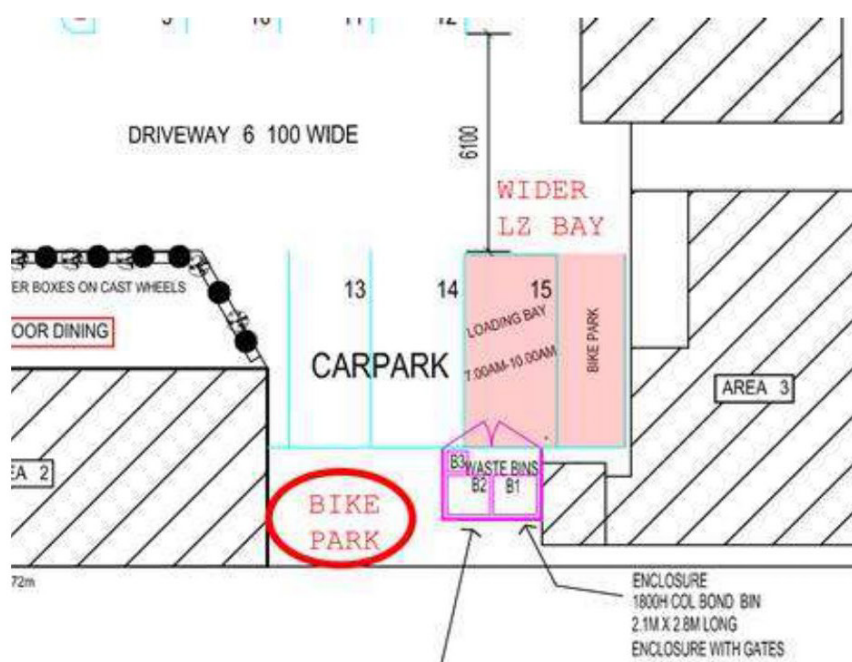
With respect to the parking layout, the proposed dimensions are consistent with the requirements of the parking standards. However, I recommend that the bike park be relocated to the area in front of Space 13 and the Loading Zone space be widened accordingly to provide easier access for the small service vehicles that may be required for the proposed development (see the marked-up plan below).

I recommend that delivery vehicles be restricted to SRV size (as per AS 2890.2-2018), if deliveries were to occur during normal business hours.



Between the City and the Sea

Outside of normal business hours, the car park layout would be capable of accommodating MRV size trucks, including refuse trucks picking up bins, with such a truck using the full width of the car park to manoeuvre and turn. A condition restricting access for the larger trucks to after-hours would be beneficial.



Regards
Richard Tan
Civil Engineer



Waste Management Assessment

Development Application No: 211/260/2020

Assessing Officer: Jordan Leverington

Site Address: 2 Jervois Street, TORRENSVILLE SA 5031, 4 Jervois Street, TORRENSVILLE SA 5031

Certificate of Title: CT-5250/224, CT-5780/537

Description of Development Demolition and change of use from office, shop and manufacturing to restaurant, store and car park. (non-complying)

TO TEAM LEADER WASTE MANAGEMENT - REGULATORY SERVICES

Please provide your comments in relation to:

☐ Any aspect that you feel needs further attention or detail

.....
.....



Memo

To Jordan Leverington
From Nick Teoh
Date 27-Aug-2020
Subject 211/260/2020 2 Jervois Street, TORRENSVILLE SA 5031, 4 Jervois Street, TORRENSVILLE SA 5031

Dear Jordan Leverington

The following Waste Management comments are provided with regards to the assessment of the above develop application:

Waste Management

The amended waste management solution for the proposed development at 2 & 4 Jervois Street appropriately addresses previous concerns regarding storage and collection of waste receptacles. Waste Management supports the current proposal.

Kind regards

Nick Teoh
Team Leader Waste Management

Environmental Health Assessment

Development Application No: 211/260/2020

Assessing Officer: Jordan Leverington

Site Address: 2 Jervois Street, TORRENSVILLE SA 5031, 4
Jervois Street, TORRENSVILLE SA 5031

Certificate of Title: CT-5250/224, CT-5780/537

Description of Development Demolition and change of use from office, shop and manufacturing to restaurant, car park and landscaping. (non-complying)

TO THE ENV HEALTH OFFICER - REGULATORY SERVICES

Please provide your comments in relation to:

Reference is made to DA 211/260/2020 referred to the Environmental Health Section for comment regarding change of use from a shop to café/restaurant.

The following needs to be taken into consideration during fit out and set-up of the premises to ensure compliance with the *Food Safety Standards 3.2.2 & 3.2.3* is achieved:

1. Design & construction of food businesses

The design and construction of a food business must be appropriate and provide adequate space for the activities for which the premises is used. The design and construction of a food premises must allow for effective cleaning. A food premises must be designed and constructed to exclude dirt, dust, fumes, smoke and other contaminants, not allow pests to enter or provide pest harbourage.

Food Safety Standard 3.2.3 3 a, b, c & d (i), (ii), (iii)

2. Floors, Walls & Ceilings.

Floors, walls and ceilings must be constructed and designed in a way that is appropriate for the activities to be conducted. These surfaces must be able to be effectively cleansed, impervious, sealed to prevent the entry of dirt, dust and contaminants, and unable to harbour vermin. The construction materials used for the floors, walls and ceilings have not been identified on the floor plan provided.

Food Safety Standard 3.2.3 11(1) (2) (3) a, b & c (4) a & b

Food Safety Standard 3.2.3 10(1) (2) a, b, c & d

3. Fixtures, fittings and equipment

Food premises must have adequate fixtures, fittings and equipment for the production of safe and suitable food. The materials to be used for work bench tops, shelving, appliances etc. have not been specified.

Food Safety Standard 3.2.3 12(1) a & b (2) a, b, c & d (3) a, b & c

4. Hand washing facilities

Food premises must provide hand washing facilities that are located where they can be easily accessed by food handlers both within areas where food is handled or prepared and adjacent to toilets located on the premises. Hand washing facilities must be permanent fixtures, supplied with warm running potable water, suitably sized for effective hand washing and clearly designated for the sole purpose of hand washing.

Specific details have not been provided on the plan indicated hand was facilities in the food preparation area

Food Safety Standard 3.2.3 14(1) a & b, 14(2) a, b, c & d

5. Ventilation

Food premises must have sufficient natural or mechanical ventilation to effectively remove fumes, smoke, steam and vapours from the food premises.

Food Safety Standard 3.2.3 7

6. Equipment Washing Facilities (Sinks)

In addition to hand washing requirements a food premises must have sufficient sink facilities for food preparation, washing and sanitising. The number required will depend on the type of activities being carried out by the business. Most food businesses will require a food preparation sink for the washing of fruit and vegetables and a double bowl sink for the proper cleaning and sanitising of equipment.

General Requirements Food Safety Standards Chapter 3

8. Chemical Storage / Storage facilities

Food Premises must have adequate storage facilities for the storage of items that are likely to be the source of contamination of food, including chemicals, clothing and personal belongings. Storage facilities must be located where there is no likelihood of stored items contaminating food or food contact surfaces.

Food Safety Standard 3.2.3 15

9. Sewage and waste water disposal

Food Premises must have a sewage and waste water disposal system that will effectively dispose of all sewage and waste water and is constructed and located so that there is no likelihood of the waste water polluting the water supply or contaminating food.

Food Safety Standard 3.2.3 5

10. Storage of Garbage and Recyclable Matter

Food premises must have facilities for the storage of garbage and recyclable matter that adequately contains the volume and type of waste material on the premises and is enclosed as necessary to keep pests and animals away from it. Waste storage facilities must also be designed and constructed in such a way that they be easily and effectively cleaned.

Food Safety Standard 3.2.3 6

11. Food Business Notification

Before commencing food handling operations a food business must notify the Council of its contact details, location and the nature of business.

Food Safety Standard 3.2.2 4(1) a, b & c

A food business must notify Council of any proposed change to its activity or information previously supplied before the commencement of such changes. Examples include change of business name, address and introduction high risk foods for sale.

Food Safety Standard 3.2.2 4(3)

Should the development proceed the proprietor is strongly encouraged to contact the City of West Torrens Environmental Health Team to arrange a pre-opening / fit-out advice inspection.

Should you require further information, please contact me on 8416 6333 or email ajennings@wtcc.sa.gov.au

6.2 50 Gladstone Road, MILE END

Application No DA211/820/2020 & DA211/878/2020

Development Application Details

| | | |
|----------------------------|---|--|
| DESCRIPTION OF DEVELOPMENT | Land division - Community Title; SCAP No. 211/C089/20; Create one (1) additional allotment and common property | Construction of a two storey detached dwelling, brick wall (1.4m high), brick pillar (1.4m high), coloured sheet metal boundary fencing (1.8m high) and construction of a carport to existing dwelling |
| APPLICANT | Kara Palombo | |
| LODGEMENT DATE | 3 September 2020 | 23 September 2020 |
| ZONE | Residential Zone | |
| POLICY AREA | Mile End Conservation Policy Area 30 | |
| APPLICATION TYPE | Merit | |
| PUBLIC NOTIFICATION | Category 1 | Category 2 |
| REFERRALS | Internal <ul style="list-style-type: none"> • City Assets External <ul style="list-style-type: none"> • SCAP • SA Water | Internal <ul style="list-style-type: none"> • City Assets • Heritage Advisor External <ul style="list-style-type: none"> • Nil |
| DEVELOPMENT PLAN VERSION | Consolidated 21 May 2020 | |
| DELEGATION | <ul style="list-style-type: none"> • The relevant application proposes one or more new dwellings and/or land division creating one or more new allotments in Residential Zone Conservation Policy Areas 29-33. | |
| RECOMMENDATION | Support with conditions | |
| AUTHOR | Sonia Gallarello | |

SUBJECT LAND AND LOCALITY

The subject land is formally described as Allotment 26 Filed Plan 144354 in the area named Mile End, Hundred of Adelaide, Volume 5803 Folio 866, more commonly known as 50 Gladstone Road, Mile End. The subject site is rectangular in shape with a 9.1 metre (m) wide frontage to Gladstone Road and Fisher Place and depth of 58.8m and a site area of 536 square metres (m²).

The site currently contains a single storey cottage (contributory item) facing Gladstone Road with a latter addition and alfresco area to the rear. The front of the dwelling appears to be recently painted and there is a low white picket fence. The site is relatively flat.

The locality is mixed and varied between the wider tree-lined Gladstone Road to the narrower Fisher Place to the north and Flaherty Lane to the south. There are a number of fairly well preserved contributory items facing Gladstone Road with well-kept front gardens and low and / or open style fencing. There are examples of newer and generally more modest dwellings facing the laneway with fairly small front setbacks. There is also a prevalence along Fisher Place of high sheet metal fencing and garages constructed to the boundary. There is minimal vegetation that exists in or fronting the laneway. There is a three storey cream brick residential flat building on the eastern edge of the locality that is the exception to the predominantly single storey heritage built form.

The locality is within the ANEF 25, so does experience some level of aircraft noise resulting from aircraft approaching the Adelaide Airport preparing for landing. South Road, a primary arterial road and main north - south connector, is 165m from the subject site. Public transport routes are highly accessible on this road. The site is 750m from the Adelaide Parklands at the western perimeter of the Adelaide Central Business District.

The allotment pattern largely consists of long and narrow allotments, however there have been numerous divisions similar to the one proposed, to allow for one or two dwellings facing the narrow laneways while retaining the existing dwelling fronting Gladstone Road.

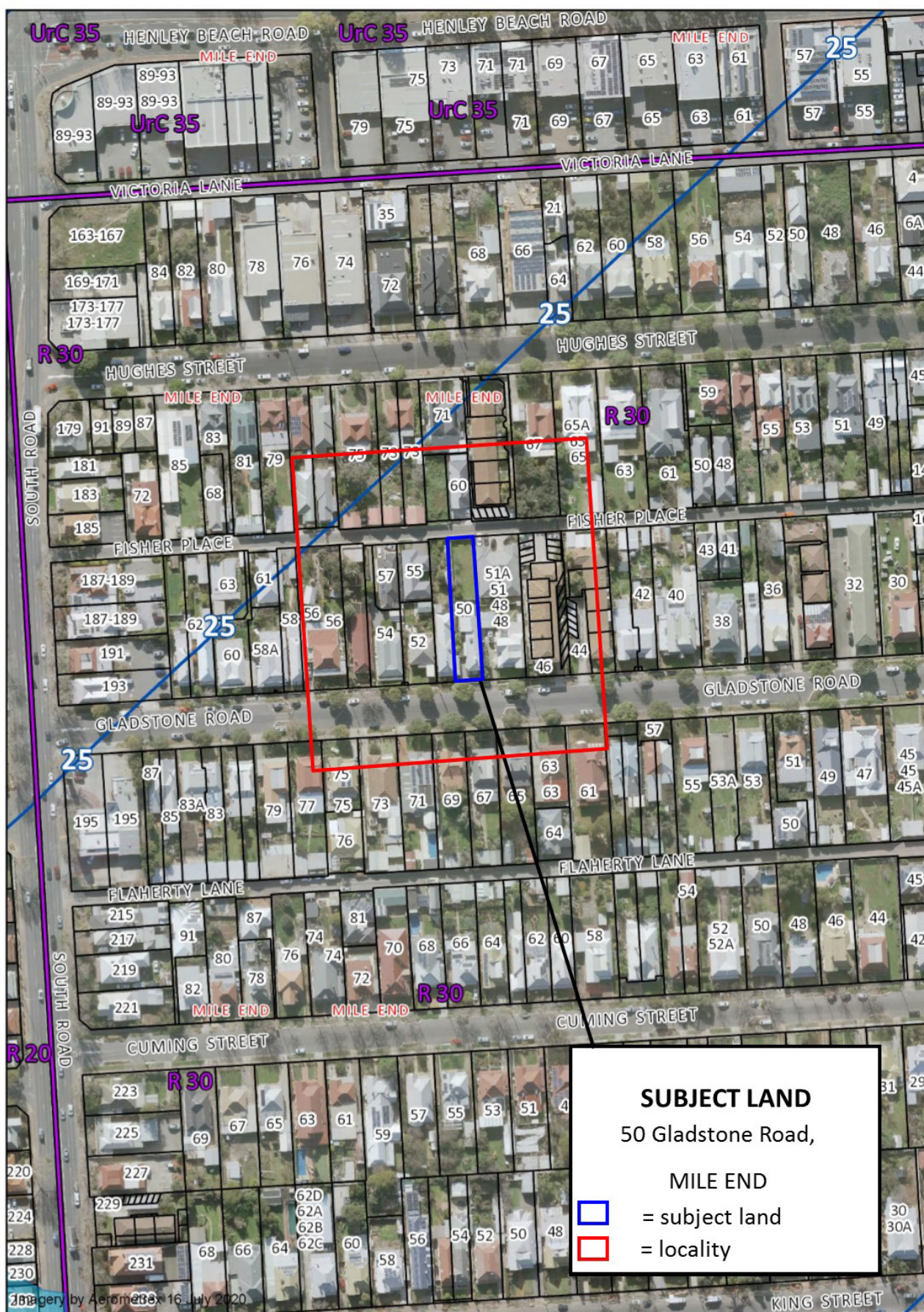
The subject land and locality are shown on the aerial imagery and maps below.



Figure 1: View of the subject site looking north at the existing dwelling and from Gladstone Road.



Figure 2: View of the subject site looking southeast from Fisher Place.



PROPOSAL

This application is for the consideration of two independent development applications, however they are related as they involve development over the same site, hence the consideration of the two concurrently. The land division however does need to be considered first.

Application 211/820/2020 is for a Community Title land division to create one additional allotment and common property. At Council's request, the plan of division was amended to include a 1m wide strip of road reserve adjacent Fisher Place to be vested to Council. This strip will assist Council in the long term with the provision of future services.

Both allotments proposed are regular in shape. Proposed Allotment 200 has a frontage to Fisher Place of 9.1 metres (m) and proposed Allotment 201 has a frontage to Gladstone Road of 8.1m and a 1m x 1m common property allotment adjacent the Gladstone Road frontage on the south-western corner.

Application 211/878/2020 seeks to construct a two storey modern style dwelling on the vacant portion of the site, proposed Allotment 200. A carport to the western side of the existing dwelling on proposed Allotment 201 is also proposed to provide for covered parking.

The proposed dwelling will be constructed of a variety of external materials including pre-coloured sheet metal, with different profiles, hebel cladding with an acrylic render finish, brick and aluminium windows. The lower level of the dwelling will comprise a double garage, study, kitchen / dining and the upper level comprises two bedrooms, two bathrooms and a balcony toward the laneway. Access from the laneway will be gained via a new crossover that tapers to accommodate the double garage. The new driveway is proposed to be part permeable paving and concrete (grasscrete). There is a 1.4m high brick wall extending 3m with a letter box in the north-western corner and a 1.4m high brick pillar in the north-eastern corner of the development site.

Vehicular access to the existing dwelling will remain from a single crossover from Gladstone Road and this will be formalised with a covered carparking space. The carport is of timber frame construction and will be clad with a combination of colorbond® 'monument' roof sheeting and polycarbonate roof sheeting. The dimensions will be 2.6m width, 6m length on the western boundary with a height of 2.7m extending up to a maximum height of 3. The roof pitch is 6.5 degrees.

A mix of landscaping is proposed about the new dwelling including two ornamental pears at the rear, shrubs up to 2m in height and groundcovers and grasses.

The relevant plans and documents are contained in **Attachment 2**.

PUBLIC NOTIFICATION

Application 211/820/2020 for the land division is a Category 1 form of development pursuant to Schedule 9, Part 1, (2) (f) of the *Development Regulations 2008*.

Application 211/878/2020 comprises a number of elements.

The carport and boundary fencing is Category 1 pursuant to Schedule 9, Part 1, (2) (d) of the *Development Regulations 2008*.

The wall and pillar forward of the dwelling is deemed to be Category 1, Schedule 9, Part 1 (2) (g) of the *Development Regulations 2008*. The western section is 3m long and 350mm wide. The eastern section (pillar) is 450mm x 450mm and they will cause minimal impact on the adjacent development. Both sections, east and west are no more than 1.4m in height. As such these two sections of wall are deemed to be minor in nature such that it comprises a relatively small portion of fencing that is scaleable to that of the proposed dwelling, is constructed of compatible materials, and is not considered to unreasonably impact on adjacent land owners.

The dwelling itself is a Category 2 form of development pursuant to the Procedural Matters section of the Residential Zone, more specifically the Public Notification table where dwellings greater than one storey within Policy Area 30 are deemed to be Category 2. The application in its entirety therefore defaulted to Category 2.

| | |
|------------------------------------|---|
| Properties notified | 25 properties were notified during the public notification process. |
| Representations | Nil |
| Persons wishing to be heard | N/A |

INTERNAL REFERRALS

| Department | Comments |
|-------------------------|--|
| City Assets | <ul style="list-style-type: none"> • A 1m wide portion of land should be acquired for future road widening purposes • Services should be resolved as there is not access to all services in Fisher Place or Gladstone Road. Given the proposal is a community title, no easement is required. • FFL of 15.68 is required based on the 'Proposed stormwater plan'. • Stormwater connection detail should be provided. • The driveway should have a crossover 3m wide with 0.3m flaring on both sides. • There was insufficient space in front of the garage to allow for a vehicle to park and driver exit the vehicle. • Waste management and stormwater detention were satisfactory. <p>All matters have been suitably addressed in the amended plan set.</p> |
| Heritage Advisor | <ul style="list-style-type: none"> • The proposed development is located to the rear and side of the single fronted contributory item. • The proposed carport has a relatively low profile and setback from the frontage. • The new dwelling introduces a new contextual contemporary style and form using traditional gable roof forms. • The proposal retains the historic character of Gladstone Road and alters the rear lane positively. • The use of non-traditional profile cladding satisfies Objective 3 under the Historic Conservation Area. • The integrity of the existing contributory item will be retained. • Both the carport and dwelling adopt traditional design cues and landscaping is appropriate. • The upper level of the dwelling is designed in accordance with PDC 8 of the Historic Conservation Area module in that it appears as an extension to the roof space. • The proposal offers an innovative and contemporary unity of built form that contributes to the desired character of the policy area. • Height and setbacks are considered appropriate. • The development represents an improved standard of contextual design in the area and is supported. |

EXTERNAL REFERRALS

| Department | Comments |
|------------|--|
| SCAP | <ul style="list-style-type: none"> Did not raise any concerns and imposed the standard suite of conditions with respect to the land division component. |
| SA Water | <ul style="list-style-type: none"> Did not raise any concerns and imposed the standard suite of conditions with respect to the land division component. |

A copy of the relevant referral responses are contained in **Attachment 3**.

RELEVANT DEVELOPMENT PLAN PROVISIONS

The subject land is located within the Residential Zone and, more specifically, the Mile End Conservation Policy Area 30 as described in the West Torrens Council Development Plan consolidated 21 May 2020.

The relevant Desired Character statements are as follows:

| Residential Zone - Desired Character | |
|---|---------------------------|
| <p><i>This zone will contain predominantly residential development. There may also be some small-scale non-residential activities such as offices, shops, consulting rooms and educational establishments in certain locations. Non-residential activities will be complementary to surrounding dwellings.</i></p> <p><i>Allotments will be at very low, low and medium densities to provide a diversity of housing options in different parts of the zone. The range of allotment sizes will support the desired dwelling types anticipated in each policy area, and the minimum allotment sizes shall be treated as such in order to achieve the Desired Character for each policy area and, in turn, reinforce distinction between policy areas. Row dwellings and residential flat buildings will be common near centres and in policy areas where the desired density is higher, in contrast to the predominance of detached dwellings in policy areas where the distinct established character is identified for protection and enhancement. There will also be potential for semi-detached dwellings and group dwellings in other policy areas.</i></p> <p><i>Residential development in the form of a multiple dwelling, residential flat building or group dwelling will not be undertaken in a Historic Conservation Area.</i></p> <p><i>Landscaping will be provided throughout the zone to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.</i></p> | |
| Objectives | 1, 2, 3, 4 |
| Principles of Development Control | 1, 5, 6, 7, 8, 11, 12, 13 |

Mile End Conservation Policy Area 30 - Desired Character

The provisions of the Historic Conservation Area apply to this policy area.

The policy area will contain detached and semi-detached dwellings. Allotments are at low to very low density and are generally deep, with narrow frontages to wide main streets. In many cases, there is also rear access to service laneways. Subdivision will reinforce the existing allotment pattern which is a significant positive feature of the policy area.

It is envisaged that the long and wide streets running east-west within the policy area will continue to provide pedestrian access to the main frontages of dwellings, and the laneways will be used for rear vehicular access. Streetscape character elements including continuous front fencing, landscaping space in front yards, regular street trees and on-street visitor car parking will be supported by having vehicle cross-overs in laneways.

There will be a unity of built-form, where all new development is complementary to historic buildings rather than dominating or detracting from them. There will be predominantly one storey buildings, with some two storey buildings where the upper level is contained within the roof space in a manner that is complementary to the single storey character of nearby buildings.

New dwellings will incorporate building elements common to older structures such as pitched roofs, verandas and simple detailing, as well as building materials such as stone, bricks, limited rendered masonry and corrugated iron/steel.

Alterations and additions will be primarily located at the rear of existing dwellings so that they have minimal impact on the streetscape. Setbacks will be complementary to the boundary setbacks of existing buildings in the policy area.

Historic front fencing, such as post and rail with woven wire and timber picket fences will be preserved, and new front fencing will be complementary in form and materials, facilitating views into front yards and of building facades.

| | |
|-----------------------------------|---------------|
| Objectives | 1 |
| Principles of Development Control | 1, 2, 3, 4, 5 |

Additional provisions of the Development Plan which relate to the proposed development are contained in **Attachment 1**.

QUANTITATIVE STANDARDS

The proposal is assessed for consistency with the quantitative requirements of the Development Plan as outlined in the table below:

| DEVELOPMENT PLAN PROVISIONS | STANDARD | ASSESSMENT |
|---|---|--|
| PRIMARY STREET SETBACK <i>Mile End Conservation Policy Area 30 PDC 4</i> | Align with buildings situated on allotments on either side. Where the buildings on either side are not setback at the same distance, the building should be set back the average of the setback of the buildings situated on allotments on either side | <u>Proposed dwelling facing Fisher Place</u> <u>Front setback</u> 5m The dwellings at 48 Fisher Place have a setback of approximately 4m. |

| | | |
|--|--|--|
| | | <p>50A Gladstone Road does not have a dwelling facing Fisher Place.</p> <p>The dwelling at 55 Fisher Place is setback at 3m.</p> <p>Satisfies</p> |
| <p>SIDE SETBACKS <i>Residential Zone</i> PDC 11</p> | <p>Side 0/1m (min.)(ground floor) 2m (min.)(upper floor)</p> | <p><u>Proposed dwelling facing Fisher Place</u></p> <p><u>Ground floor</u> 0.95m (eastern) 0.9 (western)</p> <p>Does Not Satisfy</p> <p><u>Upper floor</u> 2m (eastern) 2m (western)</p> <p>Satisfies</p> |
| <p>REAR SETBACK <i>Residential Zone</i> PDC 11</p> | <p>Rear 3m (min.)(ground floor) 8m (min.)(upper floor)</p> | <p><u>Proposed dwelling facing Fisher Place</u></p> <p><u>Ground floor</u> 3m</p> <p>Satisfies</p> <p><u>Upper floor</u> 7.7m</p> <p>Does Not Satisfy</p> <p><u>Existing dwelling facing Gladstone Road</u></p> <p><u>Ground floor</u> 5.8m</p> <p>Satisfies</p> |

| | | |
|---|--|--|
| INTERNAL FLOOR AREA <i>Residential Development</i> PDC 9 | - 2 Bedroom, 75m ² (min.) | 144m ² Satisfies |
| PRIVATE OPEN SPACE <i>Residential Development</i> PDC 19 | <300m ² - 24m ² (min.), of which 8m ² may comprise balconies, roof patios and the like, provided they have a minimum dimension of 2m. -Minimum dimension 3m (excl. balconies). - 16m ² (min.) at the rear of side of dwelling, directly accessible from a habitable room. | <u>Proposed dwelling facing Fisher Place</u> 27.4m ² min. dimension 3m <u>Existing dwelling facing Gladstone Road</u> 51.7m ² min. dimension 5.8m Satisfies |
| CARPARKING SPACES <i>Transportation and Access</i> PDC 34 | Detached dwellings - 2 car-parking spaces required, 1 of which is covered | <u>Proposed dwelling facing Fisher Place</u> 2 undercover, 1 visitor space <u>Existing dwelling facing Gladstone Road</u> 1 undercover, 1 visitor space Satisfies |
| LANDSCAPING <i>Landscaping, Fences and Walls</i> PDC 4 | 10% (min.) | <u>Proposed dwelling facing Fisher Place</u> 20.4% Satisfies |
| DOMESTIC STORAGE <i>Residential Development</i> PDC 31 | 8m ³ (min.) | <u>Proposed dwelling facing Fisher Place</u> 12.2m ³ Satisfies |

| | | |
|--|---|---|
| <p>GARAGE <i>Residential Development</i> PDC 16</p> | <p>Floor Area 60m² (max.)</p> <p>Wall height 3m (max.)</p> <p>Building height 5m (max.)</p> <p>Setback from primary road frontage - no closer than any part of the associated dwelling (min.)</p> <p>Length along boundary - 8m or 50% of the length along the boundary (max.)</p> <p>Frontage width fronting a laneway (no maximum)</p> | <p><u>Proposed dwelling facing Fisher Place</u></p> <p>Floor area 40.4m²</p> <p>Wall height 3m</p> <p>Building height 5.8m*</p> <p>Setback from primary road In line with entrance</p> <p>Length along boundary 6.4m</p> <p>Frontage width 5.4m</p> <p>Satisfies</p> <p>*overall building height</p> |
| <p>CARPORT <i>Residential Development</i> PDC 16</p> | <p>Floor Area 60m² (max.)</p> <p>Wall height 3m (max.)</p> <p>Building height 5m (max.)</p> <p>Setback from primary road frontage - no closer than any part of the associated dwelling (min.)</p> <p>Length along boundary - 8m or 50% of the length along the boundary (max.)</p> <p>Frontage width of carport facing the street 6m or 50% whichever is the less (max.)</p> | <p><u>Existing dwelling facing Gladstone Road</u></p> <p>Floor area 17m²</p> <p>Wall height 2.7m</p> <p>Building height 3m</p> <p>Setback from primary road 0.9m behind the dwelling</p> <p>Length along boundary 6.0m</p> <p>Frontage width 2.6m</p> <p>Satisfies</p> |

ASSESSMENT

In assessing the merits or otherwise of the applications, the proposed development is discussed under the following sub headings:

Land Division - 211/820/2020

The proposed division results in an arrangement that respects the existing contributory item by providing sufficient space about the dwelling that allows for the provision of adequate private open space, provision of off-street parking and landscaped areas.

PDC 5 of the Mile End Conservation Policy Area 30 is silent in terms of a minimum allotment size. The division application is accompanied by an application for a dwelling (DA 211/878/2020) that, as discussed below, is considered to be consistent with the relevant desired character statement. The desired character discusses land division and suggests allotments should be low to very low density and generally deep with narrow frontages. While the proposed allotment width will remain unchanged, the overall area for each is considered low to medium density in terms of the size, consistent with other rear lane development, and allowing sufficient space to maintain an existing cottage and accommodate a new two storey dwelling. The additional allotment shape - deep and narrow, and size is compatible with the predominant pattern of development observed in the surrounding locality, particularly where new dwellings and/or divisions have been created to front the laneway. Examples of this include 60, 60A and 55 Fisher Place. Therefore this key provision is met.

In the absence of a specific allotment area for the Mile End Conservation Policy Area 30, a qualitative assessment needs to be undertaken. The development is consistent with PDC 13 of the Historic Conservation Area (General Section) provision in that the division will preserve the traditional pattern and scale of allotments. Furthermore, PDC 5 of the Land Division (General Section) has been suitably addressed in that the allotment sizes proposed are considered to be suitable for their intended use. This has been demonstrated through the corresponding land use application of which is discussed below.

Access to services including sewer and water have been considered and deemed acceptable. Standard requirements from SA Water and SCAP are proposed. More detail about access to services is discussed below in regards to the dwelling component. The land division component meets Objective 1 and PDC 1 of the Land Division - General Section of the Development Plan in terms of access to infrastructure including water supply and disposal of stormwater and sewer.

Two storey detached dwelling - 211/878/2020

Land Use and Desired Character

The subject land is situated within Mile End Conservation Policy Area 30 of the Residential Zone. PDC 1 of the policy area lists a “*detached dwelling*” as an envisaged form of development. The proposal to construct a detached dwelling on the proposed new allotment is therefore a desirable and orderly form of development from a land use perspective.

Objective 1, PDC 2 and 5 of the policy area seek to ensure that new development contributes to the desired character for the policy area. The desired character emphasises the need for development to complement existing historic buildings and, for this purpose, that development be predominantly single storey. The proposed dwelling is of two storey scale and has been designed with a modern style, form and materials. The upper level of the new dwelling has been designed and setback to consider the heritage context and is not dominating from a streetscape perspective.

While the development of the two storey dwelling does not strictly conform to the desired character, it is considered that the scale and appearance (including materiality) of the proposed dwelling would not detract from the historic character of the area. The dwelling has a high degree of landscaping about the built form which is a positive element of the proposal.

The carport to be erected in association with the existing dwelling is narrow, open sided and setback behind the main façade of the existing contributory item at 50 Gladstone Road. It is subordinate to the existing building and will not detract from this contributory item.

The proposal for the dwelling and the carport is considered to appropriately meet Objective 1 and PDC 2 and 5 of Mile End Conservation Policy Area 30 such that the Desired Character will be upheld.

Built Form

The design of the proposed dwelling is of modern architectural style and form that features a bold façade with a steep ground level roof pitch with a narrower two storey roof pitch recessed behind the lower. Double garaging is provided along with a clear identifiable front entrance. The garage section of the dwelling is constructed to the boundary and is single storey. Council's Heritage Advisor comments include *"...the new dwelling introduces a new contextual contemporary style and form that has been developed using traditional gable roof forms"*.

The dwelling includes a range of pre-coloured sheet metal products with different profiles including 'kliplock' and 'maxline' and smooth colorbond © together with axon cladding complemented with rendered Hebel and brick. Windows are to be powder coated aluminium and panel doors are 'shale grey' colorbond © and perspex, all of which are non-reflective. The colours are a mix of light, dark and neutral tones including 'surfmist', 'monument', 'shale grey', 'woodland grey', brown and white. The contemporary materials and colour palette reflects the modern design that picks up elements of the existing contributory items without mimicking the materials used and roof pitch.

The two storey section is set in from all boundaries and is designed in a manner that does not visually dominate the development site or the locality. Considering the context of the locality and the presence of an imposing three storey building to the east, the height and scale of the dwelling is considered acceptable. The overall scale and bulk, materials, design elements such as roof pitch, openings, colour and materials is consistent with PDC 6 of the Historic Conservation Area - General Section.

The design, scale and appearance of the proposed dwelling presents an innovative and contextual unity of built form that is considered to adequately address the relevant provisions of the Development Plan, and in particular the desired character for Mile End Conservation Policy Area 30. It will set a positive example for new infill dwellings along the laneways in Mile End.

The front of the dwelling has two single panel doors, which ordinarily may dominate given the limited frontage width. However, in this example it is balanced through use of two different materials, staggered setbacks and the dwelling itself has a mix of materials including a solid gable form and frame around it ensuring that the garaging is not a dominant feature rather is integrated into the built form. Through the assessment process it was also negotiated with the Applicant to reduce the side garage wall to 3.1m from 3.3m to assist in minimising the impact of the garage element of the building. Without adversely impacting on the symmetry of the design, this was considered an improved outcome.

The front wall and pillar element are of an appropriate scale and is compatible with the dwelling design. PDC 9 of the Historic Conservation Area - General Section seeks front fencing no more than 1.2 metres in height. While two elements of this proposal exceed this, it is only marginal and as previously described, the laneways have a different character with a lot of high sheet metal fencing and garage roller doors. The wall and pillar are made of traditional material, brick and will be complementary to the proposed dwelling and existing built form in the locality therefore satisfying this provision.

The proposed carport presents a relatively low profile sitting below the wall height of the contributory item and is appropriately setback from the street. The materials and colours of the structure complement that of the dwelling and are therefore considered appropriate. The single roof pitch of 6.5 degrees also is considered satisfactory when viewing the front elevation of both the dwelling and carport. The open carport sited to the west of the dwelling will not detract or compromise the value of the heritage value of the dwelling given its simple open and low form and compatible materials satisfying PDC 3 of the Historic Conservation Area - General Section.

The design of the new dwelling including all elements and the proposed carport are consistent with Objective 1 and PDC 2 of the Mile End Conservation Policy Area 30.

Setbacks

All setbacks for the development are satisfactory. The front setback to Fisher Place is consistent with the siting of existing built form facing the laneway. The siting of the building allows for one visitor space in front of the eastern garage panel. There is insufficient space for a standard vehicle to park in front of the western panel, however we cannot control the behaviour of people if they park with part of a vehicle extending into the laneway.

The side setbacks of the ground level component of the dwelling provides sufficient space for access and aside from the garage element, walls are offset at least 900mm. There is a small courtyard on the eastern side that allows for placement of a water tank and clothesline. The rear setback falls marginally short for the upper level by a mere 300mm which is considered to create a negligible difference on the existing dwelling. The upper level setbacks have been designed in accordance with PDC 11 of the Residential Zone and cause minimal impact on the adjacent sites in a visual sense or by way of bulk and scale of the building.

The development considers design cues in respect to existing setbacks, including newer and historic dwellings in the locality. The new dwelling to the rear and facing the rear laneway has little impact on the contributory item and the carport is recessed back 1m from the front wall of the existing cottage consistent with PDC 4 of the Historic Conservation Area - General Section. Furthermore boundary setback patterns are compatible with the streetscape character consistent with PDC 6 (c) of the Historic Conservation Area - General Section.

Landscaping

The dwelling has a variety of soft landscaping about the perimeter including an area of lawn to the rear, ornamental pear trees in the rear corner planted amongst shrubs including pink croweas, dwarf abelias, and flax. The front has an area of grasscrete with a high brick wall and shrubs such as Japanese box hedge, strappy leaf plants and ground covers between the wall and dwelling.

The landscaping comfortably exceeds the minimum requirement of 10% prescribed by PDC 4 of the Landscaping, Fences and Walls - General Section and provides a complementary design to the built form.

Services

Given the service constraints of laneway development, it was asked of the applicant how they intend on servicing the development. The existing sewer will need to run along the western side of the new dwelling to maintain access to the existing dwelling. Stormwater can be discharged to both Fisher Place and Gladstone Road. Water, electricity, gas and telecommunications will need to run from Gladstone Road to the new dwelling. This can be achieved along the western side of the existing dwelling. The applicant is aware of the potential difficulties. Given that there will be no easements required as part of the community title division, this aspect of the development is considered to be satisfied and is the responsibility of the owner to ensure the existing dwelling and future dwelling receives adequate services. Objective 1 and PDC 1 of Land Division - General Section is met.

Car Parking and Access

A new vehicle access will be provided onto Fisher Place for the new dwelling. The location and design of the access would allow for adequate lines of sight in both directions and would not conflict with any street infrastructure. The proposed vehicular access is therefore safe and convenient in accordance with PDC 24 - General Section.

When assessed against *Table WeTo/2 – Off Street Vehicle Parking Requirements*, there is a requirement for at least two car parking spaces, with one space to be covered. PDC 34 of the Transportation and Access module is met.

The carport for the existing dwelling at 50 Gladstone Road provides formal undercover parking with space for a visitor forward of this. There is no change to the crossover required. This also meets aforementioned PDC 24 and *Table WeTo/2*.

Overlooking

Overlooking has been addressed for the upper level in terms of windows and the balcony. For the windows, the sill heights have either been lifted or where below 1.7m, the glazing is fixed and obscure. A 1.7m high balustrade obscure screen for the balcony to the east and north is proposed that obstructs any direct viewing into neighbouring properties private yard areas.

The development meets PDC 27 of the Residential Development (General Section) and will be conditioned accordingly to ensure that overlooking provisions are reinforced for the life of the development.

Overshadowing

The proposed development causes minimal additional impact on adjacent affected properties either side and to the rear compared to that of the existing degree of overshadowing. The existing dwelling at 50 Gladstone Road already experiences a large degree of overshadowing from an existing sheet metal fence and verandah, and a large portion of the rear yard is covered with a verandah. At 12pm during winter solstice there is access to sunlight on the western side of the proposed dwelling. There is negligible change to the existing dwelling. There will be an additional overshadowing effect caused over 48 Fisher Place after 3pm from the proposed development. This is largely due to the southern orientation of the rear yard and smaller area of private open space and the change is considered to be slight.

Due to the orientation of the laneway and the proposed allotment, the proposed dwelling has south facing private open space and will receive minimal access to sunlight during winter solstice. The dwelling however has been designed to incorporate a north facing balcony which has access to sunlight from 12pm until around 3 during winter solstice. While this seems insufficient, this is worst case scenario during the calendar year and the site is close to large areas of public open space in the western Adelaide Parklands where the occupants can achieve access to additional sunlight.

The development does not greatly offend PDCs 10-13 of the Residential Development (General Section) as the two storey development has minimal adverse effect on the overshadowing of adjacent private open space areas or living areas. The overshadowing of the development is greatest on itself due to the orientation of the allotment and design, and is worst at winter solstice.

SUMMARY

The land division is considered to be orderly and economic and provides sufficient space to accommodate a dwelling. The division proposed is complimentary to the established pattern of development and accords with the Desired Character sought for the Policy Area.

The proposed dwelling does have some shortcomings in terms of overshadowing impacts on its own private open space area. This however needs to be balanced with achieving a desirable form of development. The siting, scale, appearance of the dwelling coupled with the landscaping will positively contribute to the existing laneway. The proposed access arrangement would not adversely impact on traffic safety.

Having considered all the relevant provisions of the Development Plan, the proposals are not considered to be seriously at variance with the Development Plan.

On balance 211/820/2020 sufficiently accords with the relevant provisions contained within the West Torrens Council Development Plan Consolidated 21 May 2020 and warrants Development Plan Consent, Land Division Consent and Development Approval.

On balance 211/878/2020 sufficiently accords with the relevant provisions contained within the West Torrens Council Development Plan Consolidated 21 May 2020 and warrants Development Plan Consent.

RECOMMENDATION 1

The Council Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent, Land Division Consent and Development Approval for Application No. 211/820/2020 by Mrs Kara Palombo to undertake a Land division - Community Title; SCAP No. 211/C089/20; Create one (1) additional allotment and common property at 50 Gladstone Road, Mile End (CT 5803/866) subject to the following conditions of consent:

Development Plan Consent Conditions:

1. Development is to take place in accordance with the plans prepared by SKS Surveys Pty Ltd, Plan Reference No. 441720, Version 3 relating to Development Application No. 211/820/2020 (SCAP 211/C089/20).

Reason: To ensure the proposal is established in accordance with plans and documents lodged with Council.

Land Division Consent Conditions:

Council Requirements:

Nil

State Commission Assessment Panel Conditions:

2. The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.

On receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non-standard fees.

The developer must inform potential purchasers of the community lots of the servicing arrangements and seek written agreement prior to settlement, as future alterations would be at full cost to the owner / applicant.

Reason: To satisfy the requirements of SA Water Corporation.

3. Payment of \$7761 into the Planning and Development Fund (1 allotment @ \$7761/allotment). Payment may be made by credit card via the internet at www.edala.sa.gov.au or by phone (7109 7018), by cheque payable to the Department of Planning, Transport and Infrastructure and marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Level 5, 50 Flinders Street, Adelaide.

Reason: To satisfy the requirements of State Commission Assessment Panel.

4. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the State Commission Assessment Panel for Land Division Certificate purposes.

Reason: To satisfy the requirements of State Commission Assessment Panel.

RECOMMENDATION 2

The Council Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/878/2020 by Mrs Kara Palombo to undertake the construction of a two storey detached dwelling, brick wall (1.4m high), brick pillar (1.4m high), coloured sheet metal boundary fencing (1.8m high) and construction of a carport to existing dwelling and construction of a carport to existing dwelling at 50 Gladstone Road, Mile End (CT 5803/866) subject to the following conditions of consent:

Development Plan Consent Conditions:

1. The development must be undertaken, completed and maintained in accordance with the plan(s) and information detailed in this application except where varied by any condition(s) listed below:
 - Site plan, lower floor plan, upper floor plan, north, south, east and west elevations and streetscape plan by Think Architects sheets 1-6, Project 73.2020
 - Carport details including site plan, elevations and materials.
 - Stormwater drainage plan by Solution for Construction, Project No 1370, Issue C
2. All stormwater design and construction shall be in accordance with Australian Standards and recognised engineering best practices to ensure that stormwater does not adversely affect any adjoining property or public road and, for this purpose, stormwater drainage will not at any time:
 - a) Result in the entry of water into a building; or
 - b) Affect the stability of a building; or
 - c) Create unhealthy or dangerous conditions on the site or within the building; or
 - d) Flow or discharge onto the land of an adjoining owner; or
 - e) Flow across footpaths or public ways.
3. All driveways, parking and manoeuvring areas will be formed, surfaced with concrete, bitumen or paving, and be properly drained prior to occupation, and shall be maintained in a reasonable condition at all times.

Reason: To ensure that adequate provision is made for the collection and dispersal of stormwater.

Reason: To ensure the ongoing use and safety of vehicle parking and manoeuvring areas.

4. All wall cladding, roofing materials and external building finishes and colours used on the dwellings shall be natural and non-reflective, and shall be maintained in good condition to the satisfaction of Council.

Reason: To maintain the amenity of the locality.

5. All landscaping will be planted in accordance with the approved plans prior to the occupancy of the development or the next available planting season. Any person(s) who have the benefit of this approval will cultivate, tend and nurture the landscaping, and shall replace any landscaping which may become diseased or die.

Reason: To enhance the amenity of the site and locality and reduce heat loading.

6. Prior to the occupation or use of the development, the upper level windows on the east south and west elevations to the dwelling shall be installed with fixed obscure glass to a minimum height of 1.7 metres above the upper floor level to minimise the potential for direct overlooking of adjoining properties. The balcony of the proposed dwelling shall also be fitted with fixed obscure glazing to the east and north. All glazing in these windows and the balcony will be maintained in a good condition at all times to the satisfaction of Council.

Reason: To maintain the level of privacy to residents of adjoining dwellings.

7. The carport approved herein shall not be enclosed, have the walls clad or be fitted with a roller/panel-lift door at any time without the prior approval of Council.

Reason: To ensure the development is established in accordance with the plans and documents lodged with Council.

Attachments

1. **Relevant Development Plan provisions**
2. **Proposal plans and details - 211/820/2020 & 211/878/2020**
3. **Internal and external referrals**

Relevant Development Plan Provisions

| General Section | | |
|-------------------------------------|--|---|
| Building near Airfields | <i>Objectives</i> | 1 |
| | <i>Principles of Development Control</i> | 1, 6 |
| Crime Prevention | <i>Objectives</i> | 1 |
| | <i>Principles of Development Control</i> | 1, 2, 3, 6, 7, 8, 10 |
| Design and Appearance | <i>Objectives</i> | 1 |
| | <i>Principles of Development Control</i> | 1, 2, 3, 5, 9, 10, 11, 12, 13, 14, 15, 20, 21 |
| Energy Efficiency | <i>Objectives</i> | 1 |
| | <i>Principles of Development Control</i> | 1, 2 |
| Historic Conservation Area | <i>Objectives</i> | 1, 2, 3, 4 |
| | <i>Principles of Development Control</i> | 1, 2, 3, 4, 6, 7, 9, 10, 12, 13 |
| Infrastructure | <i>Objectives</i> | 1, 3 |
| | <i>Principles of Development Control</i> | 1, 3, 8 |
| Land Division | <i>Objectives</i> | 1, 2, 3 |
| | <i>Principles of Development Control</i> | 1, 2, 5, 6, 8, 12 |
| Landscaping, Fences and Walls | <i>Objectives</i> | 1, 2 |
| | <i>Principles of Development Control</i> | 1, 2, 3, 4, 6 |
| Orderly and Sustainable Development | <i>Objectives</i> | 1, 2, 3, 4, 5 |
| | <i>Principles of Development Control</i> | 1, 7 |
| Residential Development | <i>Objectives</i> | 1, 2, 3, 4 |
| | <i>Principles of Development Control</i> | 1, 3, 4, 5, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 27, 28, 30, 31 |
| Siting and Visibility | <i>Objectives</i> | 1 |
| | <i>Principles of Development Control</i> | 1, 4, 5 |
| Transportation and Access | <i>Objectives</i> | 2 |
| | <i>Principles of Development Control</i> | 1, 8, 23, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45 |



Product Register Search (CT 5803/866)
Data/Time 03/07/2020 03:43PM
Customer Reference HFranklin
Order ID 20200703008210



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5803 Folio 866

Parent Title(s) CT 1096/78
Creating Dealing(s) CONVERTED TITLE
Title Issued 04/09/2000 Edition 6 Edition Issued 18/09/2015

Estate Type

FEE SIMPLE

Registered Proprietor

HAYDN DONALD FRANKLIN
OF 50 GLADSTONE ROAD MILE END SA 5031

Description of Land

ALLOTMENT 26 FILED PLAN 144354
IN THE AREA NAMED MILE END
HUNDRED OF ADELAIDE

Easements

NIL

Schedule of Dealings

| Dealing Number | Description |
|----------------|--|
| 12345739 | MORTGAGE TO WESTPAC BANKING CORPORATION (ACN: 007 457 141) |

Notations

| | |
|---------------------------|-----|
| Dealings Affecting Title | NIL |
| Priority Notices | NIL |
| Notations on Plan | NIL |
| Registrar-General's Notes | NIL |
| Administrative Interests | NIL |

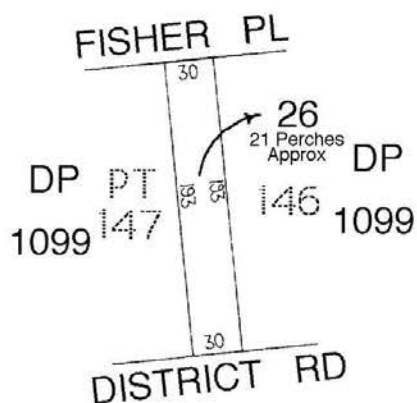


Product
Date/Time
Customer Reference
Order ID

Register Search (CT 5803/866)
03/07/2020 03:43PM
HFranklin
20200703008210

THIS PLAN IS SCANNED FOR CERTIFICATE OF TITLE 1096/78

LAST PLAN REF: DP 1099



100 50 0 100 FT

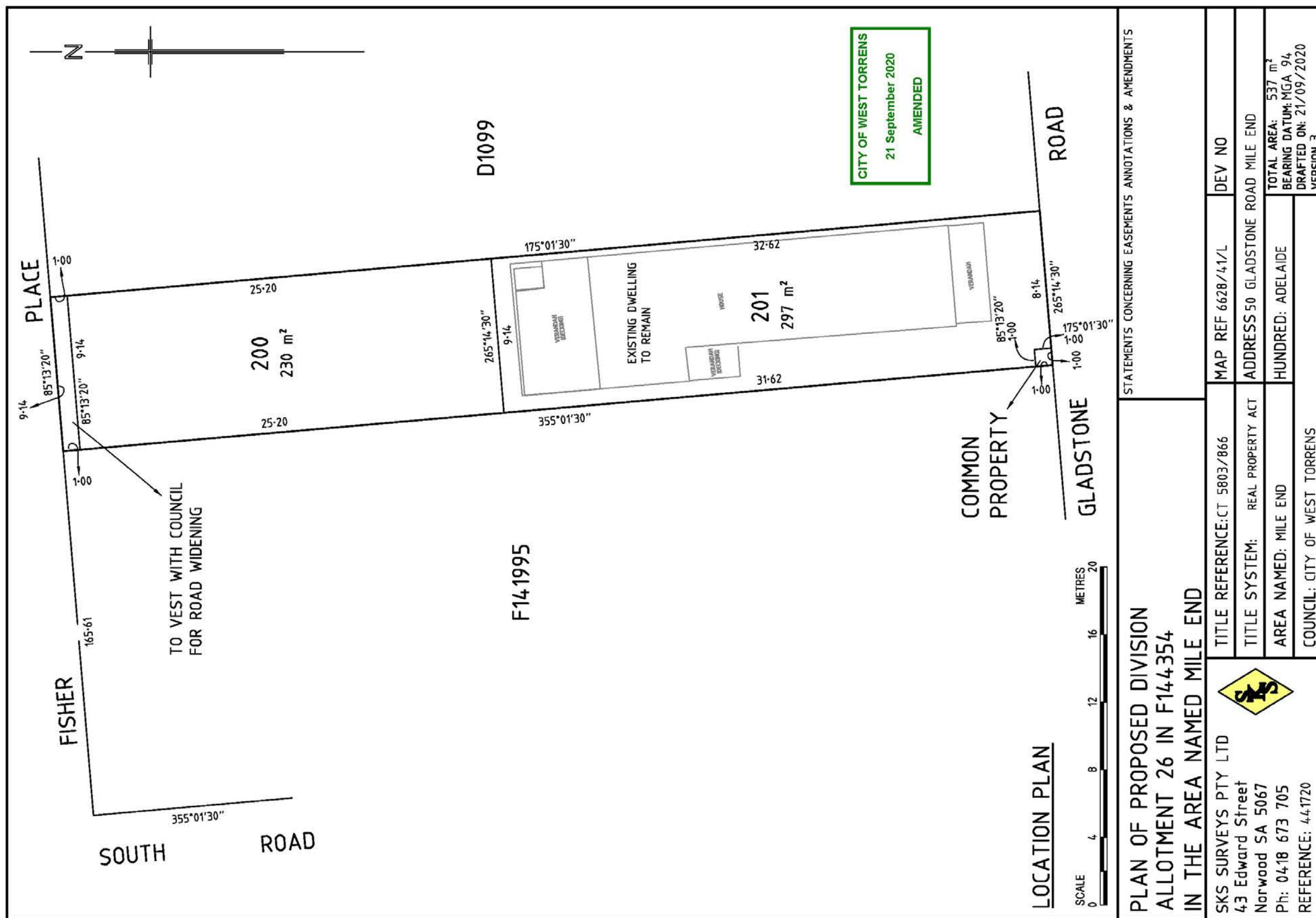
FOR METRIC CONVERSION
1 FOOT = 0.3048 METRES
1 INCH = 0.0254 METRES
1 ACRE = 0.404686 HECTARES
1 ROOD = 1011.7m²
1 PERCH = 25.29 m²

NOTE: SUBJECT TO ALL LAWFULLY EXISTING PLANS OF DIVISION

Land Services SA

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Page 2 of 2




INDICATIVE LANDSCAPING SCHEDULE

| TREES | COMMON NAMES | HEIGHT |
|------------|-----------------|------------|
| CHANDICLER | ORNAMENTAL PEAR | 5.0 - 6.0m |

| SHRUBS | COMMON NAMES | HEIGHT |
|--------------------|------------------------------|------------|
| CROWEA EXCELATA | PINK CROWEA | 10m |
| CAMELIA SASANQUA | SASANQUA CAMELIA | 2.0 - 2.5m |
| ABELIA GRANDIFLORA | DWARF ABELIA | 1.0m |
| LAVANDULA DENTATA | FRENCH LAVANDER | 1.0m |
| CHOISYA TERNATA | MEXICAN ORANGE BLOSSOM | 0.8 - 1.0m |
| BUXUS JAPONICA | JAPANESE BOXED HEDGE | 0.6 - 1.5m |
| STRAP LEAF PLANTS | COMMON NAMES | HEIGHT |
| PHORMIUM RUBRA | DWARF PURPLE NZ FLAZ | 0.5 - 0.8m |
| DIANELLA TASMANICA | FLAX LILY/DIANELLA-TASMANICA | 0.5 - 0.8m |
| LIRIOPE MUSCARI | MAUVE LIRIOPE | 0.5 - 0.8m |

| GROUND COVERS AND GRASSES | COMMON NAMES | HEIGHT |
|---------------------------|------------------|--------|
| SCAEVOLA 'MAUVE' | MAUVE FAN FLOWER | |
| VIOLA HEDERACEA | NATIVE VIOLET | |
| LIRIOPE MUSCARI | STAR JASMINE | |

| | |
|---|--------------------------------|
|  | - INDICATIVE LANDSCAPED AREA |
|  | - INDICATIVE PAVED AREA |
|  | - INDICATIVE STONE GRAVEL AREA |

RAIN WATER TANK:

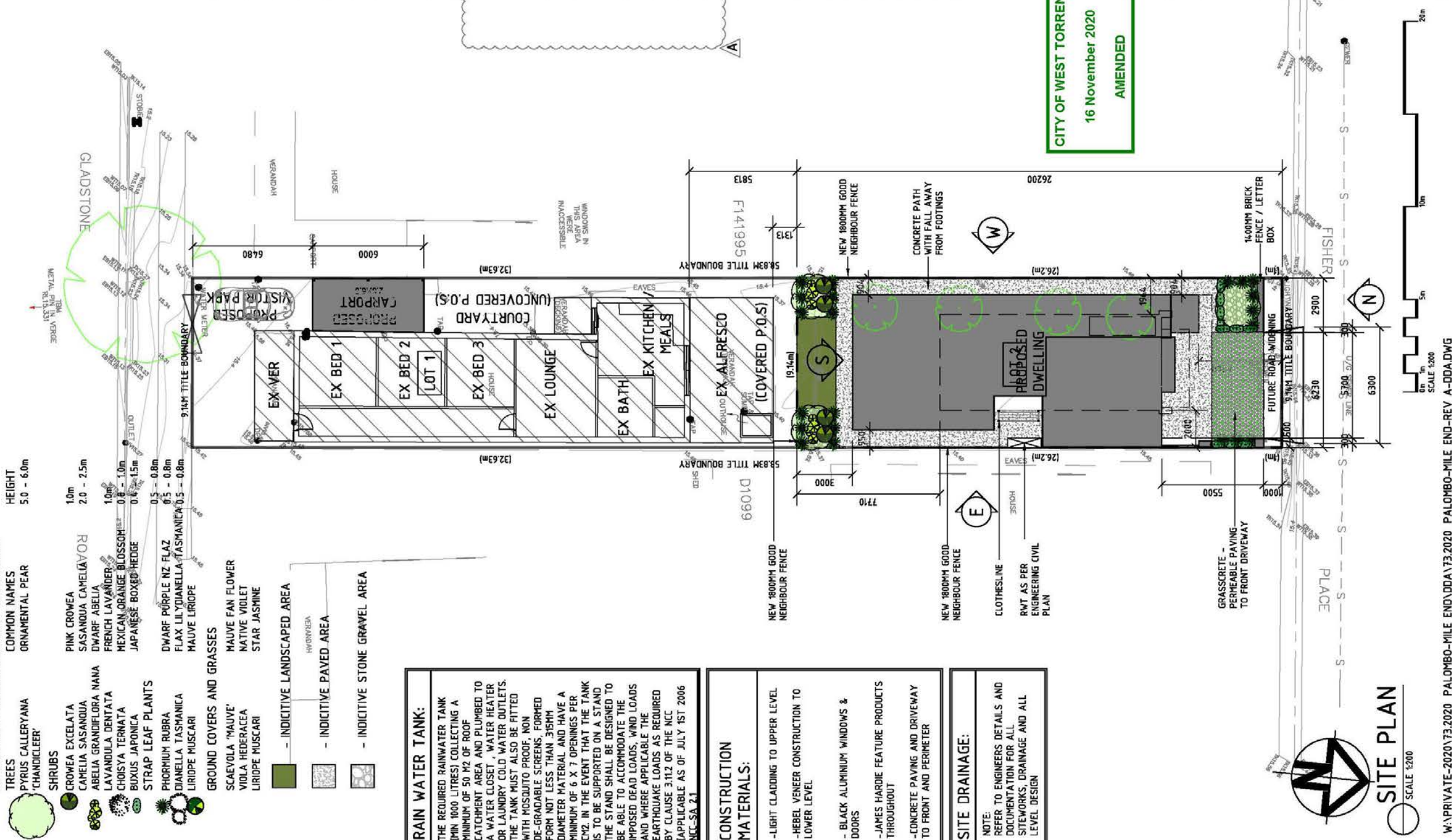
THE REQUIRED RAINWATER TANK (MIN 1000 LITRES) COLLECTING A MINIMUM OF 50 M2 OF ROOF CATCHMENT AREA AND PLUMBED TO A WATER CLOSET, WATER HEATER OR LAUNDRY COLD WATER OUTLETS. THE TANK MUST ALSO BE FITTED WITH MOSQUITO PROOF, NON DE-GRADABLE SCREENS, FORMED FORM NOT LESS THAN 315MM DIAMETER MATERIAL AND HAVE A MINIMUM OF 6 X 7 OPENINGS PER CM2. IN THE EVENT THAT THE TANK IS TO BE SUPPORTED ON A STAND THE STAND SHALL BE DESIGNED TO BE ABLE TO ACCOMMODATE THE IMPOSED DEAD LOADS, WIND LOADS AND WHERE APPLICABLE THE EARTHQUAKE LOADS AS REQUIRED BY CLAUSE 3.112 OF THE NCC (APPLICABLE AS OF JULY 1ST 2006 NCC-SA 2.1)

CONSTRUCTION MATERIALS:

- LIGHT CLADDING TO UPPER LEVEL
- HEBEL VENEER CONSTRUCTION TO LOWER LEVEL
- BLACK ALUMINIUM WINDOWS & DOORS
- JAMES HARDIE FEATURE PRODUCTS THROUGHOUT
- CONCRETE PAVING AND DRIVEWAY TO FRONT AND PERIMETER

SITE DRAINAGE:

NOTE: REFER TO ENGINEERS DETAILS AND DOCUMENTATION FOR ALL SITEWORKS, DRAINAGE AND ALL LEVEL DESIGN



| AREAS: LOT 1 | |
|------------------|-----------|
| EX DWELLING | 136.00 M² |
| EX VERANDAH | 12.70 M² |
| EX ALFRESCO | 35.13 M² |
| PROPOSED CARPORT | 17.06 M² |
| TOTAL | 200.89 M² |
| BLOCK | 299.00 M² |
| POS | 79.00 M² |

| AREAS: LOT 2 | |
|--------------|-----------|
| L/LIVING | 86.46 M² |
| U/LIVING | 58.39 M² |
| GARAGE | 40.35 M² |
| PORCH | 3.09 M² |
| BALCONY | 7.98 M² |
| TOTAL | 196.27 M² |
| BLOCK | 239.00 M² |
| POS | 32.00 M² |

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THINK ARCHITECTS

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PROPOSED RESIDENTIAL DEVELOPMENT

CLIENT NAME: KARA PALOMBO
ADDRESS: 50 GLADSTONE ROAD
SUBURB: MILE END
COUNCIL ZONE: CITY OF WEST TORRENES
DATE: 13/08/2020
SHEET NO: DDA 01 OF 06
PROJECT: 73-2020
TYPE: RESIDENTIAL
PAGE SIZE: SCALE: DESIGNED BY: DRAWN: A3 1200 ADAM AC
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GENERAL NOTES:

1) FIXTURE LOCATION SHOWN INDICATIVE ONLY. EXACT POSITION TO BE CONFIRMED ON SITE AND CO-ORDINATED WITH NOMINATED FIXTURE SPECIFICATIONS.

PLEASE NOTE: ALL KITCHEN & WET AREA LAYOUTS SHOWN ON THESE PLANS ARE INDICATIVE ONLY. REFER TO SELECTED JOINERY MANUFACTURER'S PLANS FOR CORRECT LAYOUTS AND PLUMBING POSITIONS AND CO-ORDINATE ACCORDINGLY.

* REMOVABLE DOOR HINGES FITTED IN ACCORDANCE WITH NCC VOLUME TWO- PART 3.8.3.3

SC STEEL COLUMN.

REFER TO ENGINEER'S DRAWINGS FOR SIZE

V SELECTED VANITY BOWL

P SELECTED CISTERN

HP SELECTED HOT PLATE

MV MICROWAVE BUILT IN

OHC OVERHEAD CUPBOARDS

WO WALL OVEN

FR/FZ FRIDGE/FREEZER

DWP DISHWASHER PROVISION

RHO RANGEHOOD OVER

CM COFFEE MACHINE BUILT IN

TR SELECTED LAUNDRY TROUGH

WM WASHING MACHINE PROVISION

TH TOWEL HOLDER

TL TOWEL LADDER

RH ROLL HOLDER

M MIXER TAP

SHC SHOWER HEAD (CEILING)

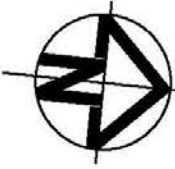
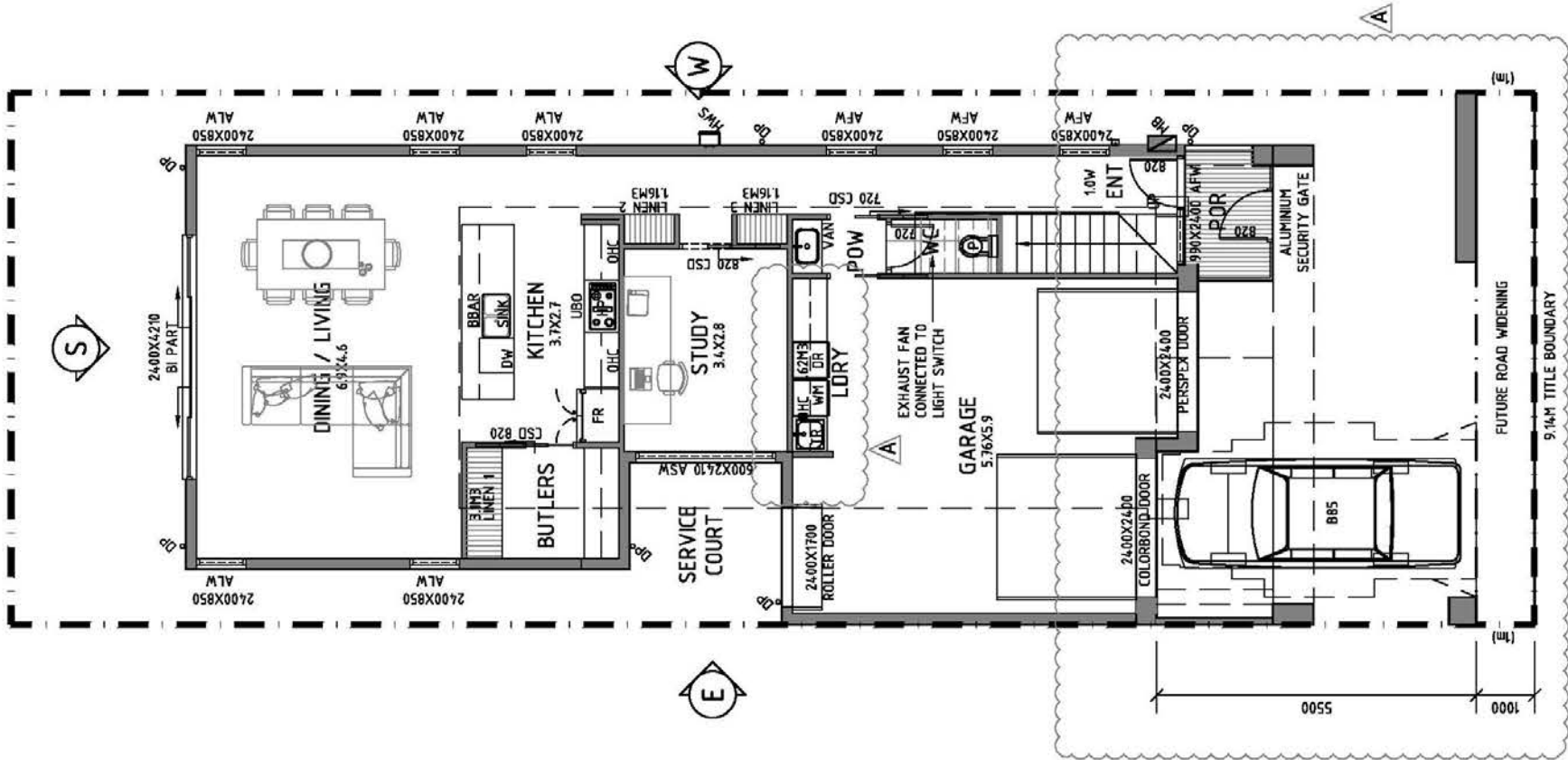
SHW SHOWER HEAD (WALL)

MC MIRROR CABINET

M TOUGHENED MIRROR

TRH TOILET ROLL HOLDER

FT FLOOR TRAP



LOWER FLOOR PLAN

SCALE 1:100

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CITY OF WEST TORRENS
16 November 2020
AMENDED

| AREAS: STORAGE | |
|----------------|----------|
| LINEN 1 | 3.10 M3 |
| LINEN 2 | 1.16 M3 |
| LINEN 3 | 1.16 M3 |
| LINEN 4 | 1.16 M3 |
| OVER HEAD CUP | 0.62 M3 |
| IN ROOF STORE | 5 M3 |
| TOTAL | 12.20 M3 |

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| GENERAL NOTES: | |
|--|--|
| 1) | FIXTURE LOCATION SHOWN INDICATIVE ONLY. EXACT POSITION TO BE CONFIRMED ON SITE AND CO-ORDINATED WITH NOMINATED FIXTURE SPECIFICATIONS. |
| PLEASE NOTE: ALL KITCHEN & WET AREA LAYOUTS SHOWN ON THESE PLANS ARE INDICATIVE ONLY. REFER TO SELECTED JOINERY MANUFACTURER'S PLANS FOR CORRECT LAYOUTS AND PLUMBING POSITIONS AND CO-ORDINATE ACCORDINGLY. | |
| * | REMOVABLE DOOR HINGES FITTED IN ACCORDANCE WITH NCC VOLUME TWO- PART 3.8.3.3 |
| SC | STEEL COLUMN. REFER TO ENGINEER'S DRAWINGS FOR SIZE |
| V | SELECTED VANITY BOWL |
| P | SELECTED CISTERN |
| HP | SELECTED HOT PLATE |
| MV | MICROWAVE BUILT IN |
| OHC | OVERHEAD CUPBOARDS |
| WO | WALL OVEN |
| FR/FZ | FRIDGE/FREEZER |
| DWP | DISHWASHER PROVISION |
| RHO | RANGEHOOD OVER |
| CM | COFFEE MACHINE BUILT IN |
| TR | SELECTED LAUNDRY TROUGH |
| WM | WASHING MACHINE PROVISION |
| TH | TOWEL HOLDER |
| TL | TOWEL LADDER |
| RH | ROLL HOLDER |
| M | MIXER TAP |
| SHC | SHOWER HEAD (CEILING) |
| SHW | SHOWER HEAD (WALL) |
| MC | MIRRORED CABINET |
| M | TOUGHENED MIRROR |
| TRH | TOILET ROLL HOLDER |
| FT | FLOOR TRAP |

| LEGEND: | |
|---|---|
| 25 | RWH SELECTED 'FIELDERS' OR EQUAL RAINWATER HEAD, COLORBOND FINISH. - OVER FLOW PROV |
| DP | 75MM ROUND PVC DOWNPIPES |
| B/G 1 | 400 WIDE x 200 DEEP COLORBOND BOX GUTTERS, WITH 1:100 GRADED FALL. ARROWS INDICATE DIRECTION OF FALL. |
| R/C | RIDGE CAPPING AS REQUIRED |
| C- P/C | COLORBOND PARAPET CAPPING IN ACCORDANCE WITH PART 35.4.8 OF THE NCC |
| CS- | P/C COLORBOND OVER EXPOSED STEEL PARAPET CAPPING |
| AL- | P/C ALUCOBOND PARAPET CAPPING |
| 2" | TRIMDEK OR SIMILAR SHEETING AT 2° ROOF PITCH. ARROW INDICATES DIRECTION OF FALL. BMT .50MM |
| 35° | MAXLINE OR SIMILAR SHEETING AT 35° ROOF PITCH. ARROW INDICATES DIRECTION OF FALL. BMT .50MM |
| PROVIDE FLASHINGS, SEAL AND ADEQUATELY FLASH ALL PENETRATIONS, JOINTS AND JOISTS. | |
| INSTALL ROOF DECK, FLASHINGS AND FITTINGS IN ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS AND DETAILS TO ENSURE A NEAT WEATHER TIGHT ROOF. | |
| COLORBOND PARAPET CAPPING TO THE TOP OF ALL PARAPET WALLS IN ACCORDANCE WITH 35.4.8 OF THE NCC. | |
| ALL EXTERNAL EXPOSED FLASHINGS TO HAVE A COLORBOND FINISH. | |
| CO-ORDINATE INSTALLATION OF ROOF CLADDING WITH ALL SERVICES TO ALLOW FOR ANY PENETRATIONS. | |
| ALL GUTTERS AND DOWNPIPES TO COMPLY WITH PART 35.3 OF THE NCC AND AS 3500.3 | |
| REFER TO ENGINEERS DETAILS FOR ALL STORM WATER CALCULATIONS AND DP LOCATIONS | |
| WHERE EXHAUST FANS ARE VENTILATED TO ROOF SPACE, ROOF SPACE TO BE VENTILATED AS PER NCC 3.8.7.4 | |
| ALL ROOF SARKING MATERIAL TO HAVE A FLAMMABILITY INDEX NOT GREATER THEN 5. | |

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CITY OF WEST TORRENES

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73.2020

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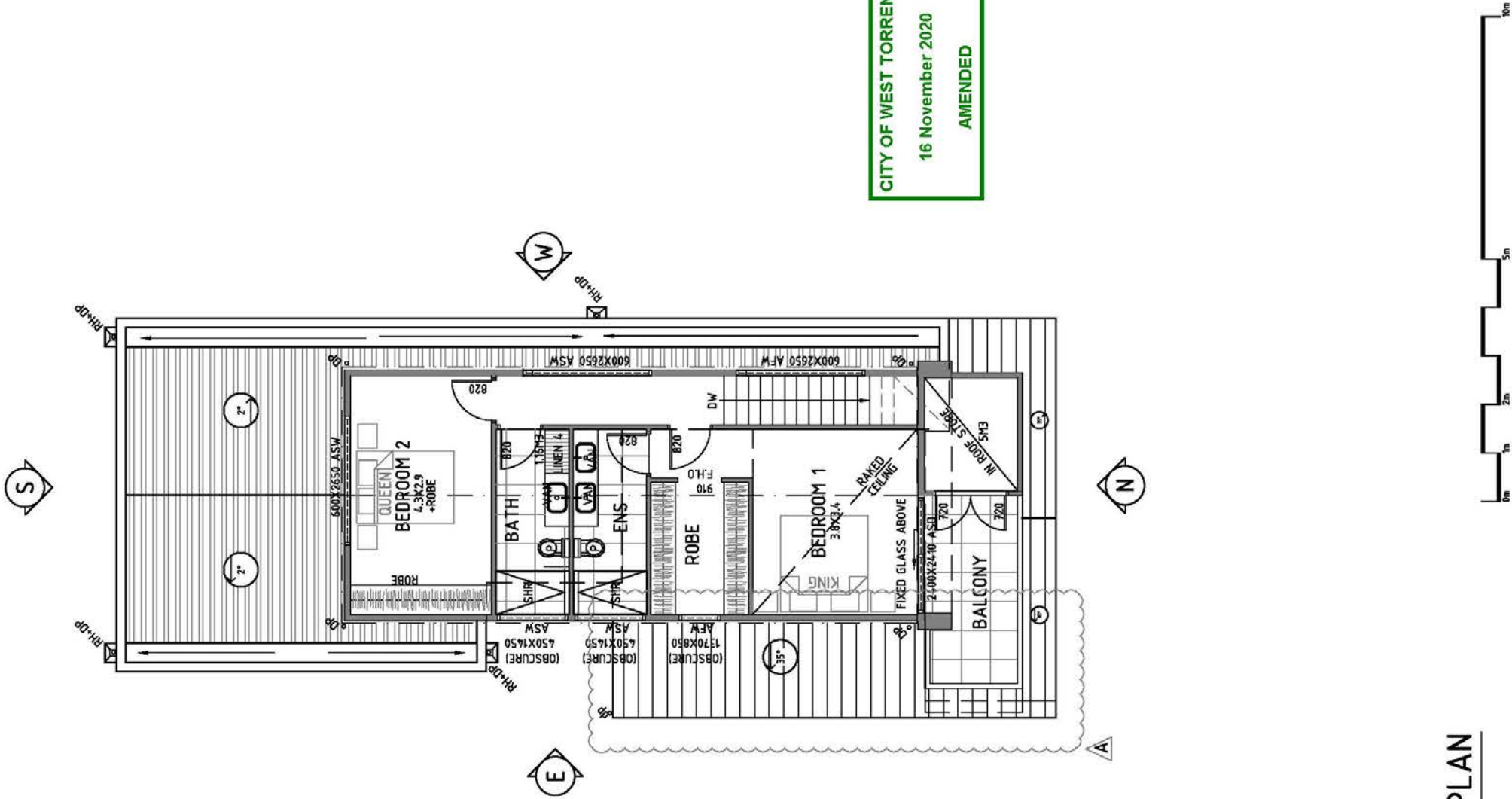
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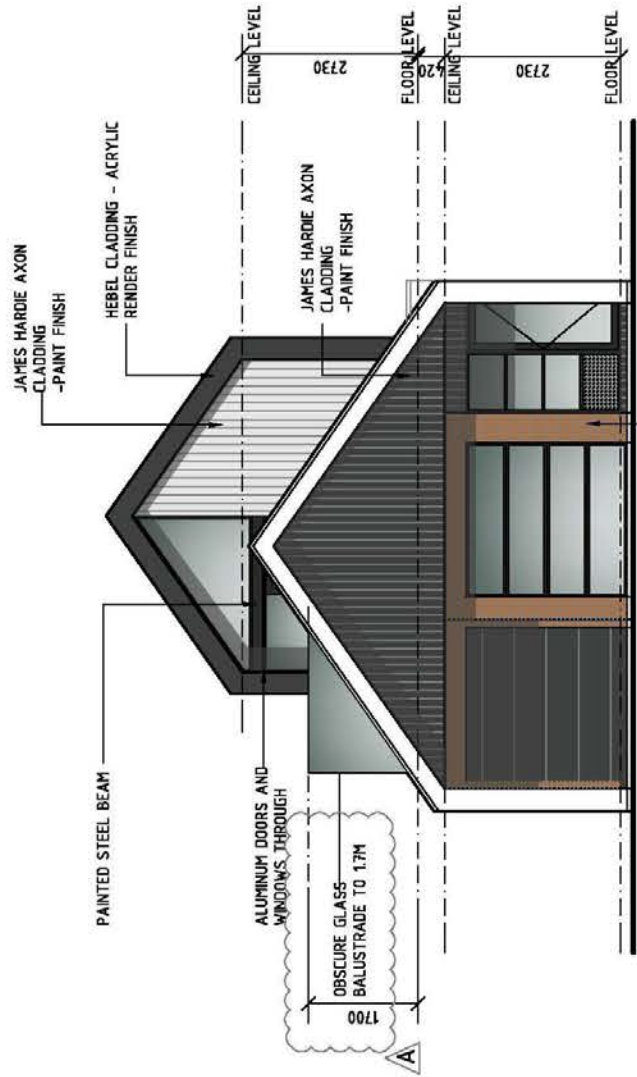


UPPER FLOOR PLAN

SCALE 1:100

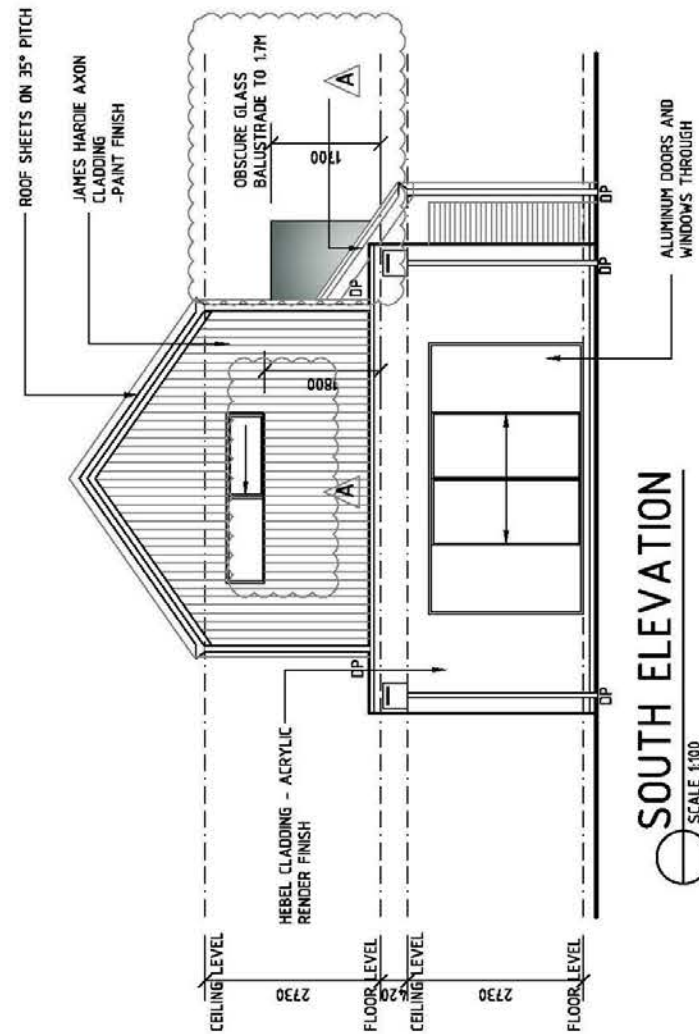
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| EXTERNAL MATERIAL SELECTION: | | |
|------------------------------|--------------------------------|---------------|
| ITEM: | TYPE: | COLOUR: |
| GUTTERS/FLASHING | COLORBOND "BOX" GUTTER | SURFMIST |
| FASCIA/ BARGES | COLORBOND | SURFMIST |
| ROOF | KUPLOCK | SURFMIST |
| CLADDING 1 | MAXLINE | MATT MONUMENT |
| SOFFIT | DULUX X2 COATS | WHISPER WHITE |
| RENDER | ACRYLIC TEXTURE 3 COAT - DULUX | LEXCON 1/4 |
| BRICKS | PGH - BRICK BOND | TRIBECA |
| MORTAR | SAND - RAKED JOINT | BRIGHTON LITE |
| WALL CLADDING 1 | SAND - RAKED JOINT | MATT MONUMENT |
| WALL CLADDING 2 | SAND - RAKED JOINT | SHALE GREY |
| WINDOWS | POWDERCOATED ALUMINIUM | NIGHT SKY |
| DOORS (SLIDING) | POWDERCOATED ALUMINIUM | NIGHT SKY |
| DOORS (SWING) | POWDERCOATED ALUMINIUM | NIGHT SKY |
| PANEL DOOR | COLORBOND - SMOOTH | SHALE GREY |
| DOWNPipes | PAINTED PVC - SOLVER | MONUMENT |
| PAVING | CONCRETE - TROWELLED FINISH | GREY |
| FENCING | GOOD NEIGHBOUR - COLORBOND | WOODLAND GREY |



NORTH ELEVATION

SCALE 1:100



SOUTH ELEVATION

SCALE 1:100

CITY OF WEST TORRENS
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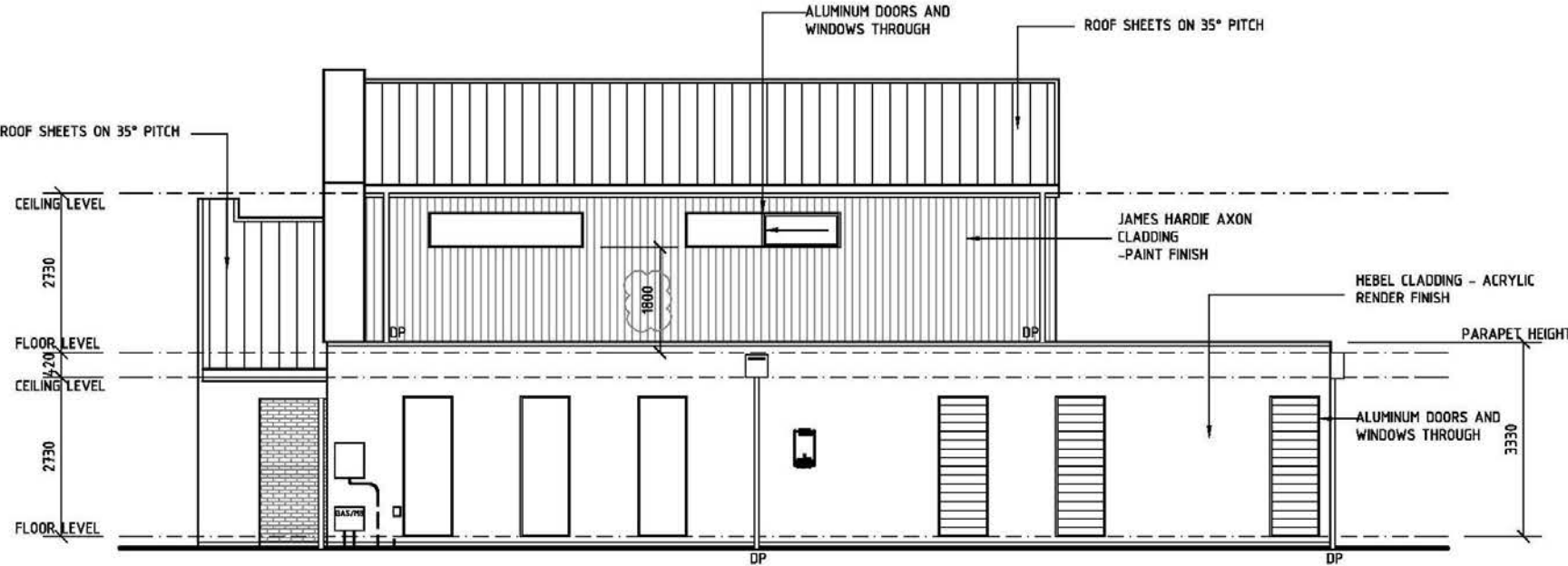
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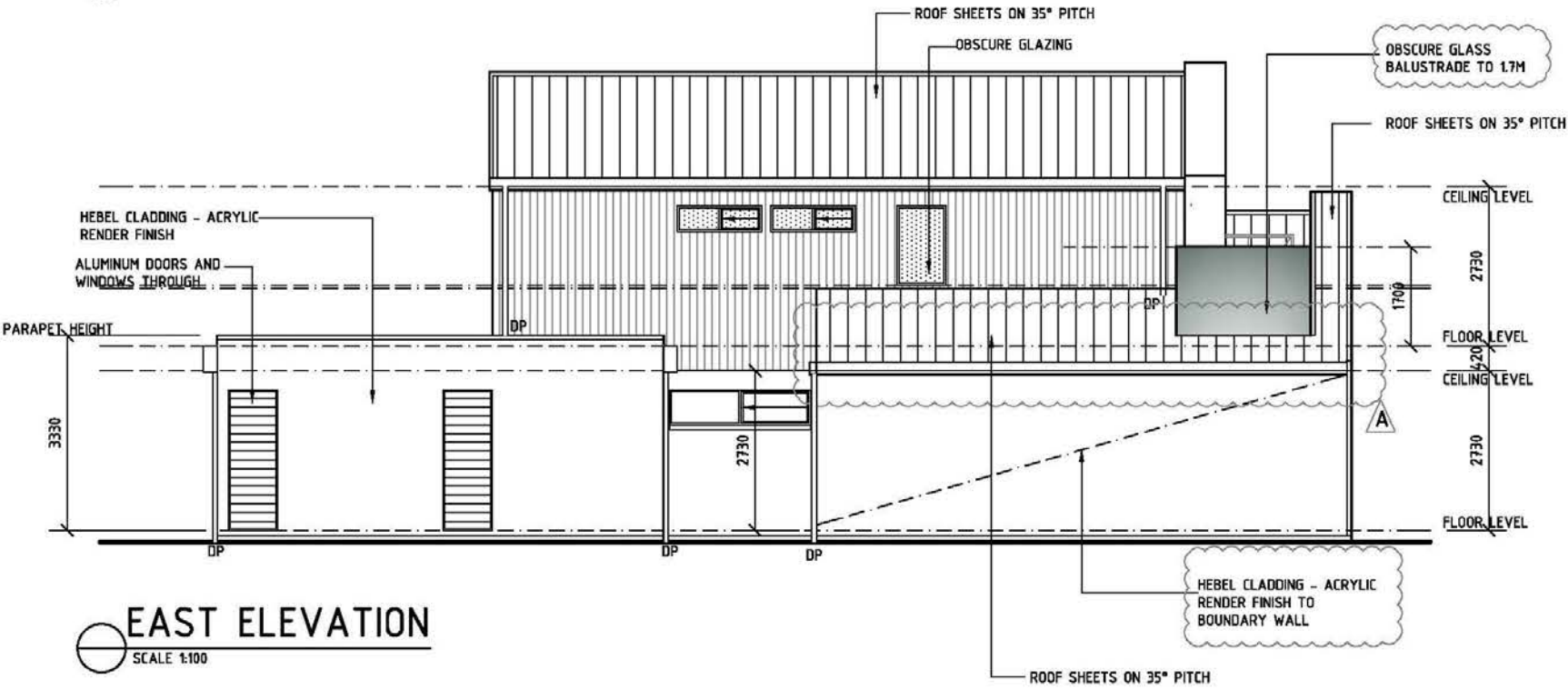
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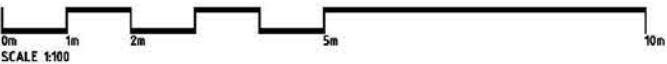
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WEST ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100



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CAVUOTO

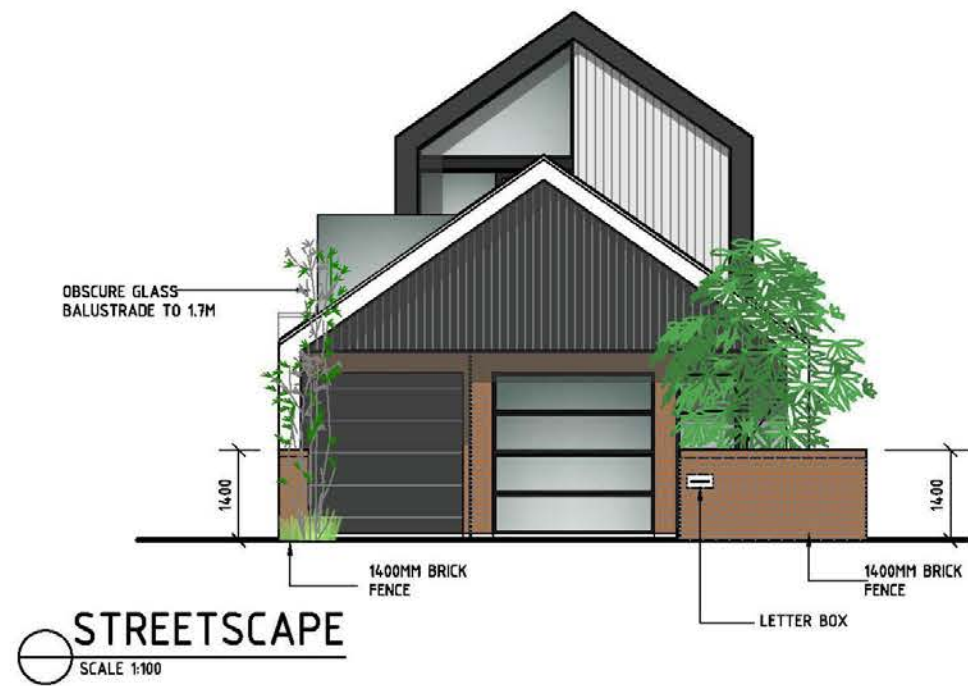
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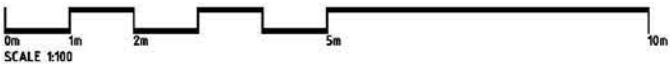
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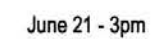
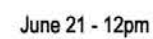
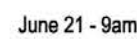
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DECLARATION: I hereby certify that the shadow diagrams submitted with the proposal at:
50 Gladstone Road, Mile End SA

- In accordance with the survey (prepared by a registered surveyor) which is required with the proposal;
- Drawn to true north as indicated in the survey provided by the client;
- To indicate shadow cast by the proposal at 9am, noon, 3pm of June 21st;
- If applicable elevations of adjoining premises showing existing shadows.

SIGNATURE:

Revision -

| | | |
|-----|-------------|----------|
| A | Final Issue | 10/10/20 |
| Rev | Description | Date |

Drawing Title:

Scale: 1:110.47, 1:200, 1:883.33 16/11/20

Status: DA Technician: JL

| | |
|--------------|--------------|
| Project No.: | Drawing No.: |
|--------------|--------------|

1055

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+61 421 347 898
163 012 753
260879

November 16, 2020

Sonia Gallarello
City Development

9th of July 2020

Good afternoon Sonia,

RE: Services - 50 Gladstone Rd, MILE END (DA211/878/2020 & 211/280/2020)

We have made a plan with the Applicant redirecting the existing sewer to run up the western side of the new dwelling.

Additionally, we have discussed a plan to bring services (gas, water, electrical, NBN) up to the new dwelling from Gladstone Road running up the western side of the existing cottage.

We have also discussed pricing and some of the complexities that may arise.

Kind regards,

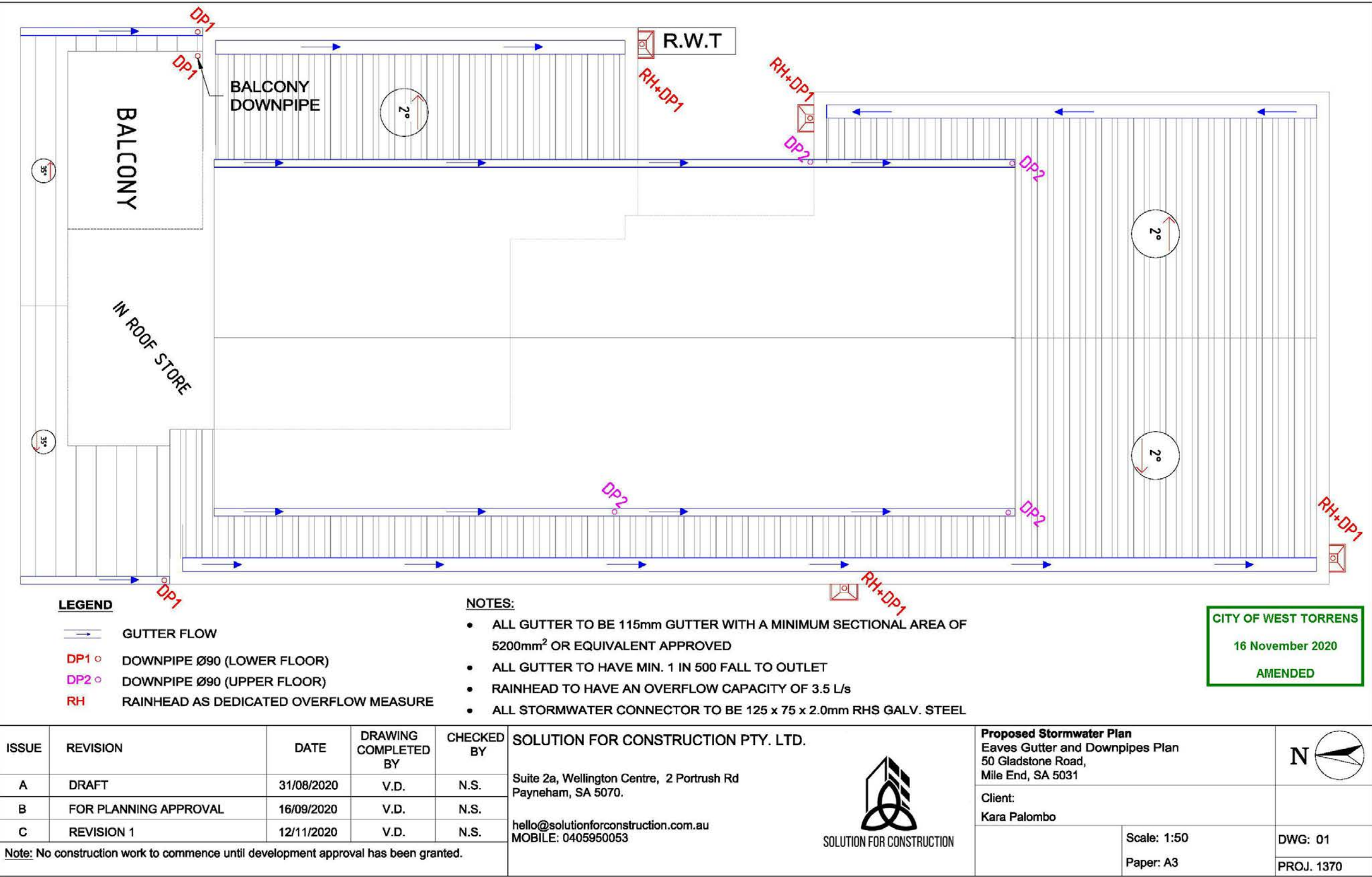
A handwritten signature in black ink, appearing to be "Ryan Mundy", written over a horizontal line.

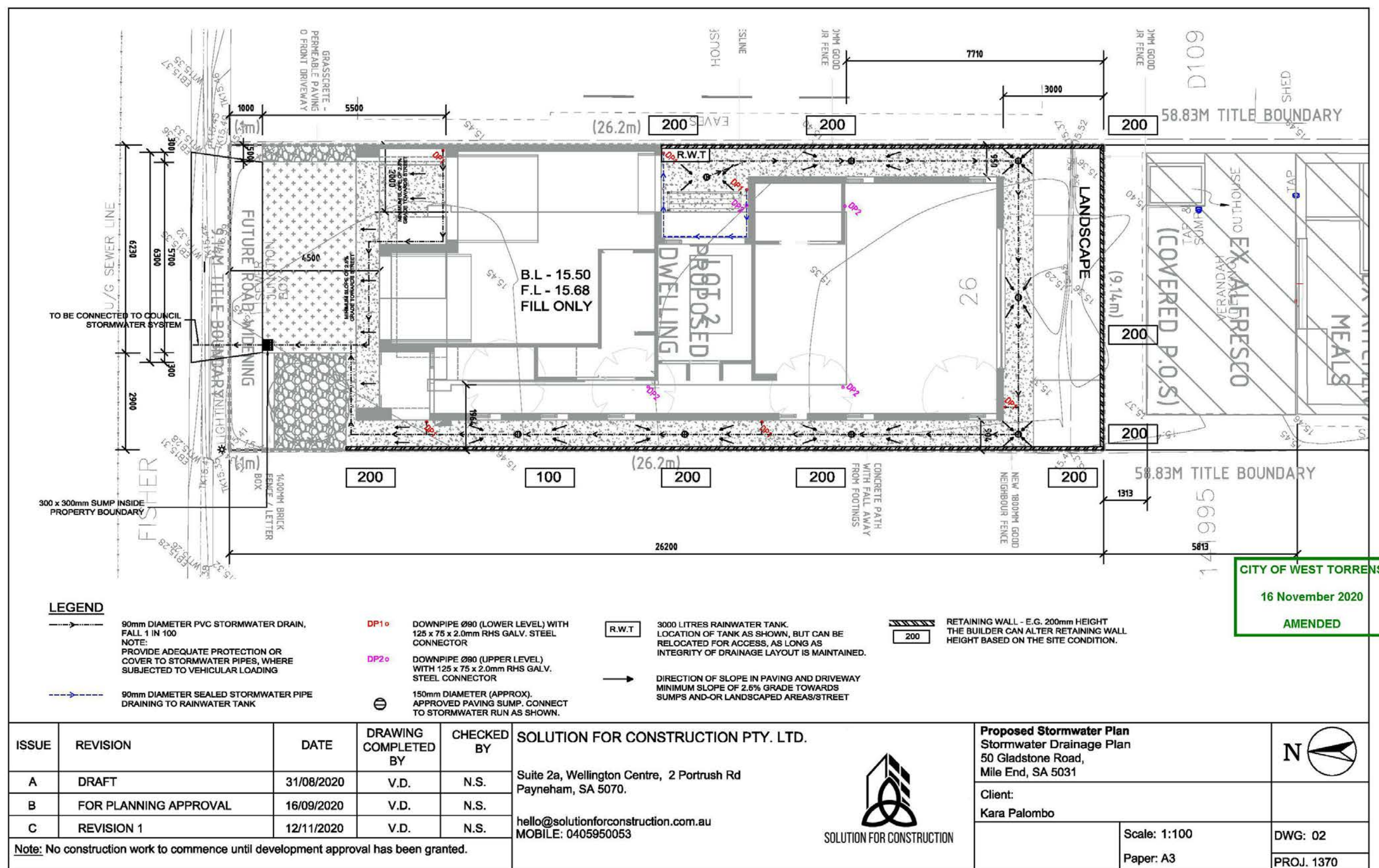
Ryan Mundy
0421 347 898

CITY OF WEST TORRENS

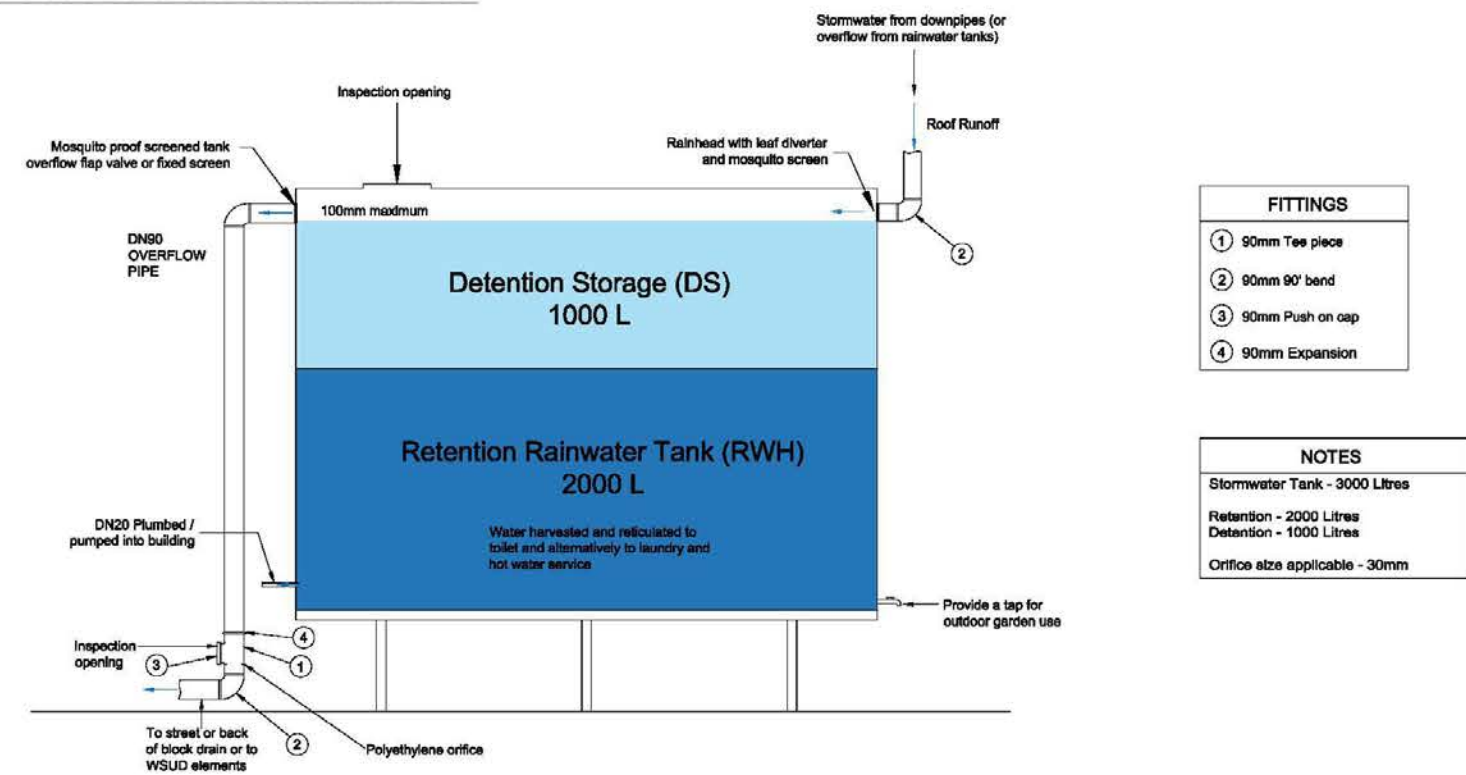
16 November 2020

AMENDED






RAINWATER DETENTION/RETENTION TANK DETAIL
TYPICAL ARRANGEMENT



STORMWATER NOTE:
TOTAL SITE AREA = 239 m²
TOTAL ROOF AREA = 180 m² APPROX.
ROOF AREA TO TANK = 71 m² APPROX.

- NOTES:
- AS PER REGULATIONS, NOT LESS THAN 50 m² OF ROOF TO BE COLLECTED TO TANK THEN PLUMBED TO W.C./ L'DRY/ HOT WATER SERVICE.
ALL DETAILS AS PER SA WATER 'RAINWATER PLUMBING GUIDE' AND AS/NZS 3500:2018 PART 1.
 - STORMWATER LAYOUT IS INDICATIVE ONLY, AND MAY CHANGE TO SUIT SITE CONDITIONS. THE INTEGRITY OF THE STORMWATER DRAINAGE DESIGN SHALL BE MAINTAINED AT ALL TIMES.
DOWNPIPE LOCATIONS ARE SLIGHTLY DIFFERENT TO ARCHITECTURAL DRAWINGS.
 - REFER TO ARCHITECTURAL SITE PLAN FOR ALL SET OUT DIMENSIONS, LANDSCAPING AND ADDITIONAL DETAILS.
 - CONNECTION TO COUNCIL KERB AND GUTTER AS PER CITY OF WEST TORRENS COUNCIL'S GUIDELINE.

| ISSUE | REVISION | DATE | DRAWING COMPLETED BY | CHECKED BY | <div>SOLUTION FOR CONSTRUCTION PTY. LTD. Suite 2a, Wellington Centre, 2 Portrush Rd Payneham, SA 5070. hello@solutionforconstruction.com.au MOBILE: 0405950053</div> <div> SOLUTION FOR CONSTRUCTION</div> | Proposed Stormwater Plan | | |
|---|-----------------------|------------|----------------------|------------|---|---|-----------------------|--|
| A | DRAFT | 31/08/2020 | V.D. | N.S. | | 50 Gladstone Road, Mile End, SA 5031 | | |
| B | FOR PLANNING APPROVAL | 16/09/2020 | V.D. | N.S. | | Client: Kara Palombo | | |
| C | REVISION 1 | 12/11/2020 | V.D. | N.S. | | Scale: NTS Paper: A3 | DWG: 03 PROJ. 1370 | |
| Note: No construction work to commence until development approval has been granted. | | | | | | | | |



Client Name: Kara Palombo
 Project Number: 1370
 Site Address: 50 Gladstone Road
 Mile End, SA 5031

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 2 Portrush Road, Payneham, SA 5070

DOWNPIPE AND EAVES GUTTER DESIGN

EAVES GUTTER AND DOWNPIPE DESIGN TO AS/NZS 3500.3: 2018

Revision 1

Proposed Residential House
 50 Gladstone Road, Mile End, SA 5031

Roof Average slope S = 35 degrees

Intensity I = 120 mm/hr

Upper Floor:

Gutter slope is steeper than 1:500

Table 1. Roof Design for Upper Floor

| Total Roof Area (m ²) | Roof Catchment Area per Downpipe (m ²) | Maximum Eave Gutter Length (m) |
|-----------------------------------|--|--------------------------------|
| 77.35 | 30 | 10 |

Proposed Eave Gutter and Downpipe Size (NCC Volume Two GDO Calculator)

Eave Gutter A 115mm D gutter with a minimum cross-sectional area of 5200 mm²

Downpipe 90 mm dia.

First Continuous overflow measure Front face slotted gutter

Maximum overflow volume 1.7 L/s

Total overflow capacity 5.0 L/s

*Detailed calculation is provided in Appendix A

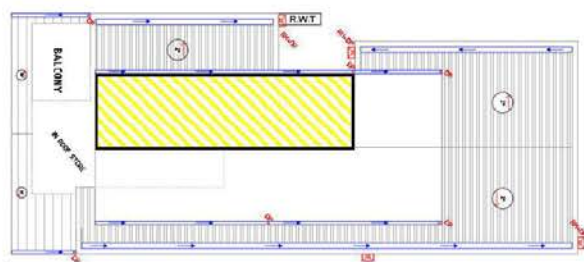


Figure 1. Maximum Roof Catchment Area – Upper Floor

CITY OF WEST TORRENS
 16 November 2020
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 Project Number: 1370
 Site Address: 50 Gladstone Road
 Mile End, SA 5031

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DOWNPIPE AND EAVES GUTTER DESIGN

Ground Floor:

Gutter slope is steeper than 1:500

Table 2. Roof Design for Ground Floor

| Total Roof Area (m ²) | Roof Catchment Area per Downpipe (m ²) | Maximum Eave Gutter Length (m) |
|-----------------------------------|--|--------------------------------|
| 180 | 50 | 10 |

*Roof catchment area per downpipe includes roof area of upper floor

Proposed Eave Gutter and Downpipe Size (NCC Volume Two GDO Calculator)

| | | |
|----------------------------|--|-----|
| Eave Gutter | A 115mm D gutter with a minimum cross-sectional area of 5200 mm ² | |
| Downpipe | 90 mm dia. | |
| Dedicated overflow measure | Rainhead | |
| Maximum overflow volume | 2.8 | L/s |
| Total overflow capacity | 3.5 | L/s |

*Detailed calculation is provided in Appendix A

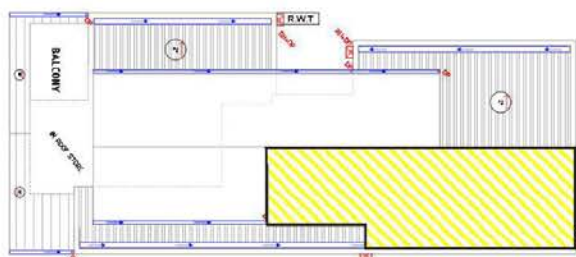


Figure 2. Maximum Roof Catchment Area – Lower Floor

CITY OF WEST TORRENS
 16 November 2020
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 Project Number: 1370
 Site Address: 50 Gladstone Road
 Mile End, SA 5031

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DOWNPIPE AND EAVES GUTTER DESIGN

Stormwater Tank Design

Proposed size of rainwater tank is calculated using The Raintank Analyser spreadsheet proposed by Department of Planning and Local Government.

Design input:

Connected roof area : 71 m²
 In-house daily demand : 615 L
 Minimum stormwater retention requirement : 2000 Litres

Proposed stormwater tank for the dwelling:

- Total Capacity : 3000 Litres
- Retention : 2000 Litres
- Detention : 1000 Litres

Overflow from stormwater tank will be disposed onto the street

| OUTPUT DATA | | |
|---------------------------------------|---------|---------|
| Rainfall input data years | 25.2 | yr |
| Average annual rainfall | 548 | mm/yr |
| Average annual inhouse demand | 224.475 | kL/yr |
| Average annual Irrigation demand | 0 | kL/yr |
| Tank selection | | |
| Suggested tank size is approx. | 2000 | L |
| Average annual yield | 61 | kL/yr |
| Aver. number of days with zero supply | 210 | days/yr |
| % of total demand supplied by tank | 27% | |

Figure 3. Output from Raintank Analyser

CITY OF WEST TORRENS

16 November 2020

AMENDED



Client Name: Kara Palombo
Project Number: 1370
Site Address: 50 Gladstone Road
Mile End, SA 5031

solutionforconstruction.com.au
+61 405 905 053 | (08) 7225 6514
ABN 68 630 985 670 | ACN 630985670
Office Suite 4, Wellington Business Centre
2 Portrush Road, Payneham, SA 5070



DOWNPIPE AND EAVES GUTTER DESIGN


Appendix A **Eave Gutter and Downpipe Size Calculation**

CITY OF WEST TORRENS

16 November 2020

AMENDED

**National
Construction
Code**


Gutters, Downpipes and Overflow

Calculator

Step 1 - Select location, roof catchment area and eave gutter length

| Locality | | Roof design | |
|----------|----------|--|------------------------|
| State | Location | Roof catchment area per downpipe (m ²) | Eave gutter length (m) |
| SA | Adelaide | 30 | 10 |

| |
|----------------|
| Colour Guide |
| Input |
| Calculated |
| Valid result |
| Invalid result |

Gutter type/s required

| Gutter type | Gutter description |
|-------------|--|
| A or C | Gutter type A - A medium rectangular gutter with a minimum cross sectional area of 6500 mm ² . Gutter type C - A 115 mm D gutter with a minimum cross sectional area of 5200 mm ² . |

Downpipe size allowed

| | 75 mm dia. | 100 mm x 50 mm | 90 mm dia. | 100 mm x 75 mm |
|---|------------|----------------|------------|----------------|
| A | Yes | Yes | Yes | Yes |
| C | Yes | Yes | Yes | Yes |

Step 2 - Select any continuous overflow measures

| Continuous overflow measures | | | | |
|------------------------------|---------------------------|--------------------------|---|---|
| First continuous measure | Second continuous measure | Third continuous measure | Total continuous measures overflow capacity (L/s/m) | Total continuous measures overflow capacity (L/s) |
| Front face slotted gutter | None | None | 0.5 | 5.0 |

Step 3 - Select any dedicated overflow measures


| Dedicated overflow measures | | | | |
|-----------------------------|--------------------------|-------------------------|--------------------------|--|
| First dedicated measure | Second dedicated measure | Third dedicated measure | Fourth dedicated measure | Total dedicated measures overflow capacity (L/s) |
| None | None | None | None | 0.0 |

Step 4 - Check whether overflow measures are adequate



| Overflow volume (L/s) | Total overflow capacity |
|----------------------------|-------------------------|
| 1.7 | 5.0 |
| Overflow measures adequate | |

NOTICE FOR ALL USERS:
The Gutter, Downpipes and Overflow (GDO) Calculator is not a compliance tool, nor a Verification Method. It is provided solely to aid practitioners in developing their understanding of the NCC. The GDO Calculator has been developed to assist users to develop a better understanding of the NCC Volume Two Part 3.5.3 Gutters and Downpipes Acceptable Construction Practice provisions. If used correctly, the green shaded cells indicate that the planned GDO arrangements are likely to meet the standard required by the NCC. However, the reliability of the GDO Calculator's results are dependent upon the accuracy of the data input by users. It remains the user's responsibility to ensure that the planned GDO arrangements meet the standards required by the NCC and related State and Territory legislation, and obtain professional advice where required.

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Gutters, Downpipes and Overflow

Calculator

Step 1 - Select location, roof catchment area and eave gutter length

| Locality | | Roof design | | Colour Guide |
|----------|----------|--|------------------------|----------------|
| State | Location | Roof catchment area per downpipe (m ²) | Eave gutter length (m) | |
| SA | Adelaide | 50 | 10 | Input |
| | | | | Calculated |
| | | | | Valid result |
| | | | | Invalid result |

Gutter type/s required

| Gutter type | Gutter description |
|-------------|--|
| A or C | Gutter type A - A medium rectangular gutter with a minimum cross sectional area of 6500 mm ² . Gutter type C - A 115 mm D gutter with a minimum cross sectional area of 5200 mm ² . |

Downpipe size allowed

| | 75 mm dia. | 100 mm x 50 mm | 90 mm dia. | 100 mm x 75 mm |
|---|------------|----------------|------------|----------------|
| A | Yes | | | |
| C | Yes | Yes | Yes | Yes |

Step 2 - Select any continuous overflow measures

| Continuous overflow measures | | | | |
|------------------------------|---------------------------|--------------------------|---|---|
| First continuous measure | Second continuous measure | Third continuous measure | Total continuous measures overflow capacity (L/s/m) | Total continuous measures overflow capacity (L/s) |
| None | None | None | 0.0 | 0.0 |

Step 3 - Select any dedicated overflow measures


| Dedicated overflow measures | | | | |
|-----------------------------|--------------------------|-------------------------|--------------------------|--|
| First dedicated measure | Second dedicated measure | Third dedicated measure | Fourth dedicated measure | Total dedicated measures overflow capacity (L/s) |
| Rainhead | None | None | None | 3.5 |

Step 4 - Check whether overflow measures are adequate

| Overflow volume (L/s) | Total overflow capacity | |
|-----------------------|-------------------------|----------------------------|
| 2.8 | 3.5 | Overflow measures adequate |

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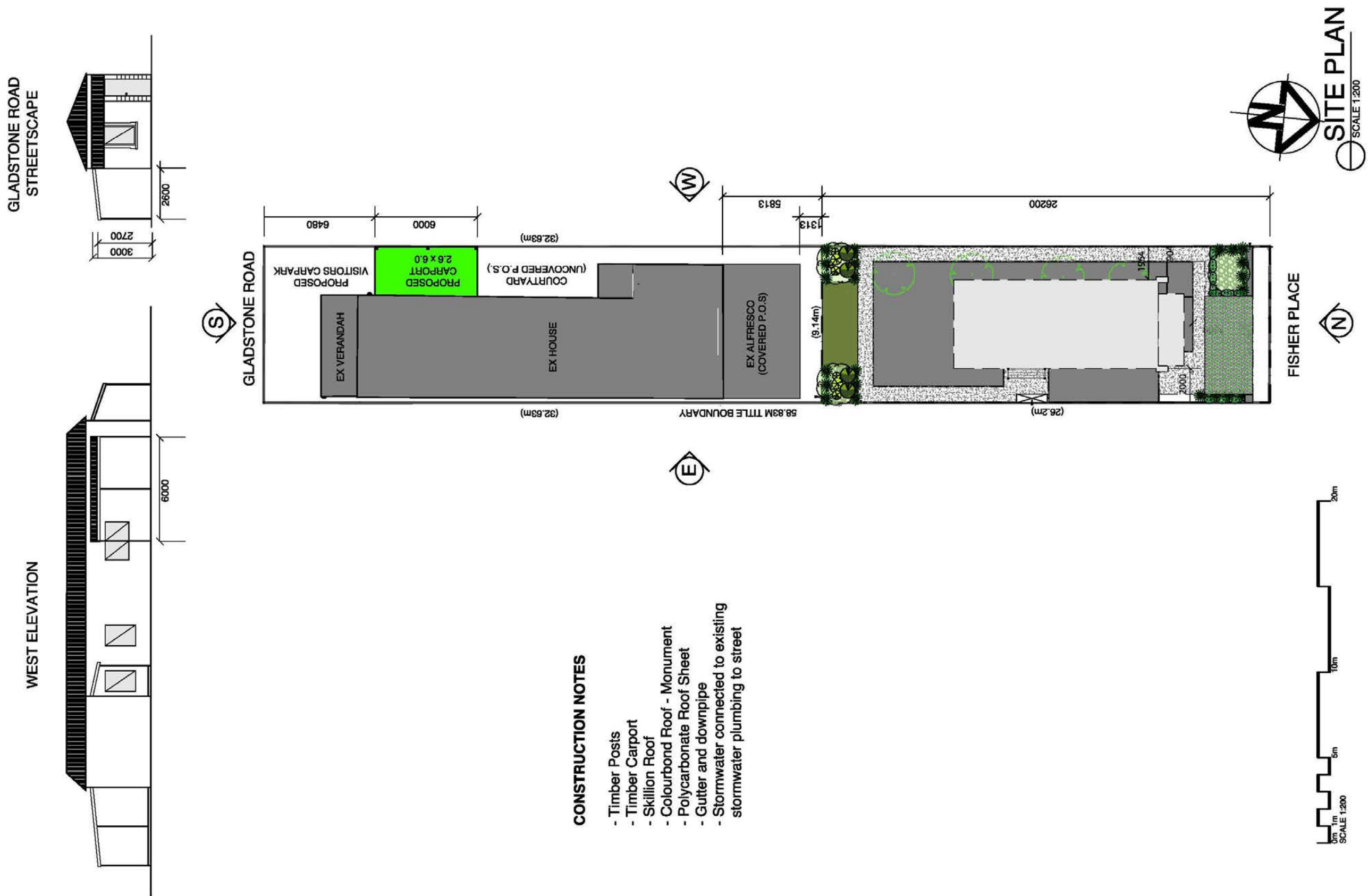
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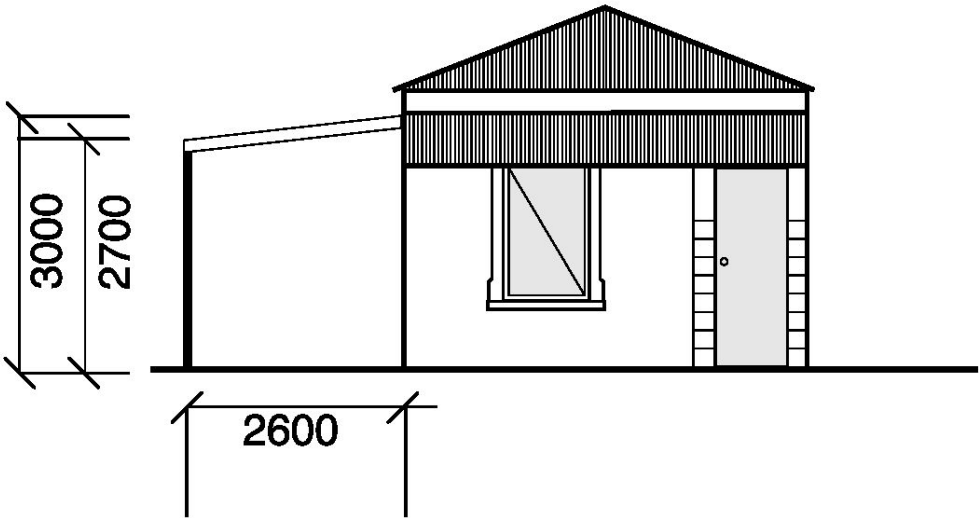
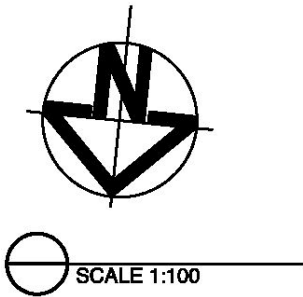
CITY OF WEST TORRENS

16 November 2020

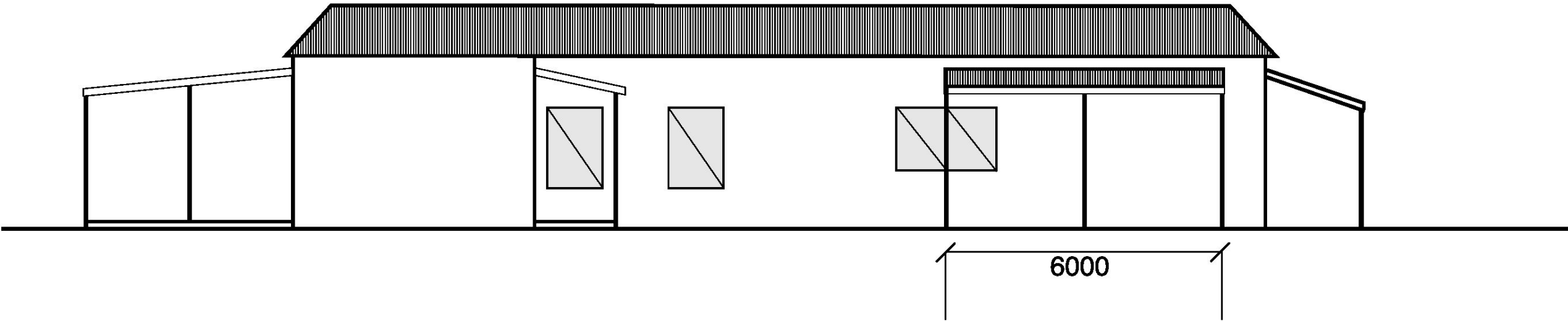
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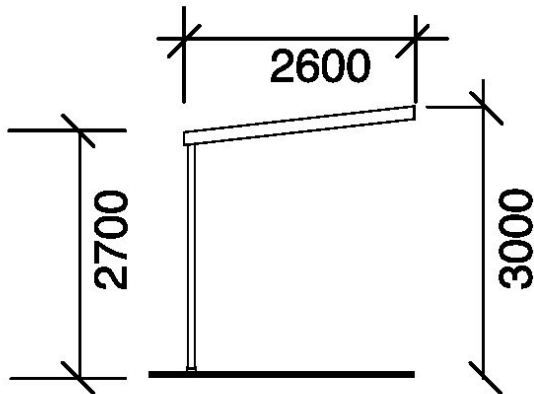
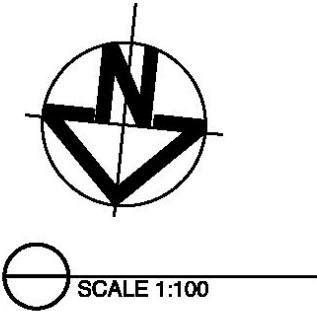
GLADSTONE ROAD
STREETSCAPE



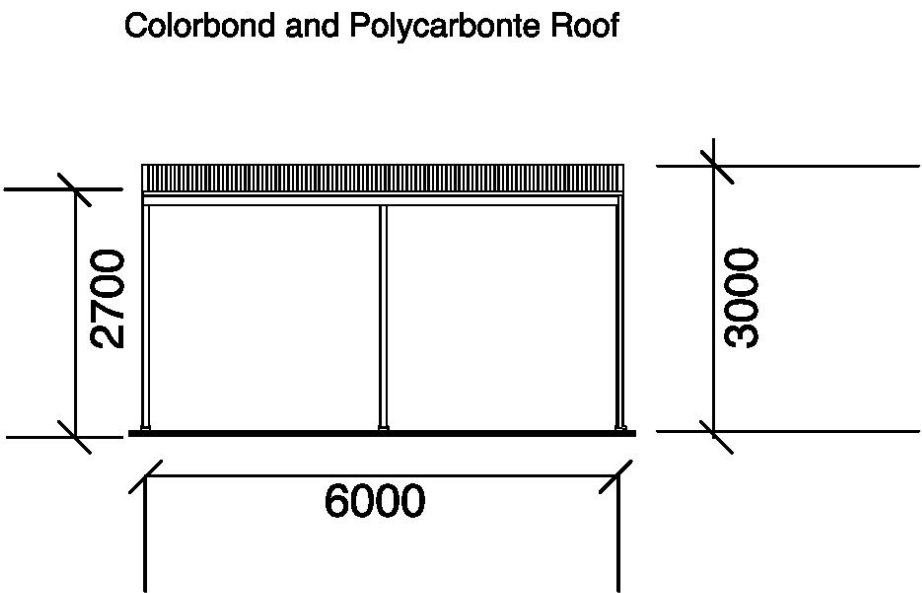
WEST ELEVATION



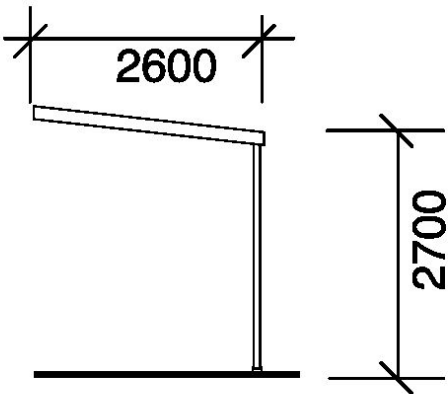
PROPOSED CARPORT



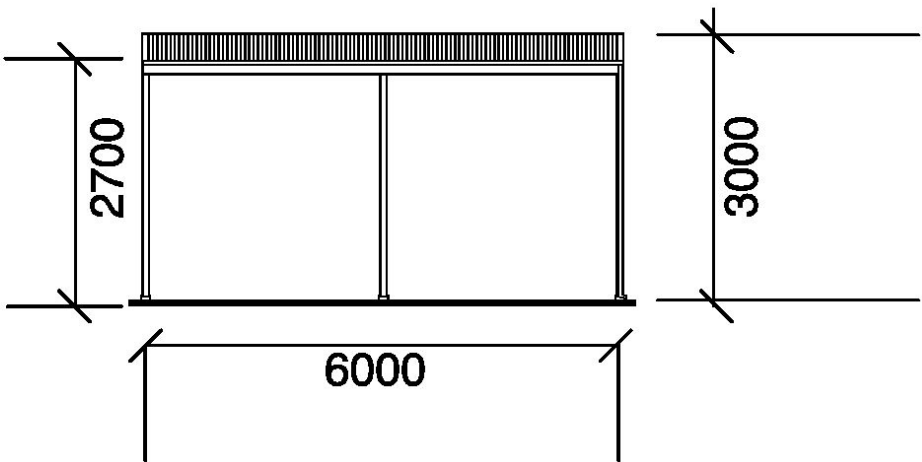
SOUTH
ELEVATION



WEST
ELEVATION



NORTH
ELEVATION



EAST
ELEVATION

Material List for Carport at 50 Gladstone Road Mile End

| ITEM | SIZE | DESCRIPTION | AMOUNT |
|----------------------------|----------|---|----------------|
| Pitching beam | 190x45 | MGP 10 Permapine | 2/5.4m, 2/2.7m |
| Rafters | | | |
| Ridge | | | |
| Hip/Valley | | | |
| Valley Board | | | |
| Collar Ties | | | |
| Purlins | 70x45 | MGP 10 Permapine | 3/2.7m |
| Posts | 90x90 | MGP 10 Permapine | 3/3.6m |
| | | | |
| Post shoe | 90x90 | Galc with 300mm Leg | 3 |
| Bolts | 10x120 | Hex Head Galv | 10 of |
| | 10x120 | Cup Head Galv | 10 of |
| Dynabolts | 12x75 | Galv | 10 of |
| | | | |
| Fascia/Pergola brackets | | | |
| Cement sheet | | | |
| Plastic Joiner | | | |
| Bungle Screws | | | |
| | | | |
| Roof sheets | Standard | Colourbond Corrugated (Monument grey) | 6/2.8m |
| Gutter | Standard | Colourbond "D" Gutter | 1/5.5m |
| Roofing screws | Standard | Colourbond Heads | 150 of |
| Stop ends | Standard | Colourbond "D" Gutter | 2 |
| Barge cap | Standard | Colourbond Square | 1 |
| One shot screws | | | |
| Bitcharmized foam | | | |
| Pops | 75mm | Round | 1 of |
| Downpipes | 90mm | PVC | 1/6.0m |
| Silicon | Standard | Translucent Roof and Gutter | 2 of |

Preliminary Traffic, Flooding & Stormwater Assessment

Development Application No: 211/878/2020

Assessing Officer: Sonia Gallarello
Site Address: 50 Gladstone Road, MILE END SA 5031
Certificate of Title: CT-5803/866
Description of Development: Construction of a two storey detached dwelling and masonry fence and construction of a carport to existing dwelling

TO THE TECHNICAL OFFICER - CITY ASSETS

Please provide your comments in relation to:

- ☐ Site drainage and stormwater disposal
- ☐ Required FFL
- ☐ On-site vehicle parking and manoeuvrability
- ☐ New Crossover
- ☐ Your advice is also sought on other aspects of the proposal as follows:

.....
.....

PLANNING OFFICER - Sonia Gallarello

DATE 29 September, 2020



Memo

To Sonia Gallarello
From Richard Tan
Date 29-Sep-2020
Subject 211/878/2020, 50 Gladstone Road, MILE END SA 5031

Sonia Gallarello,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

Note: The dimensions on the stormwater management plan are contradicting to the architectural plan.

1.0 Laneway Land Acquisition

- 1.1 The development has provided Council with a 1.0 metre deep portion of land across the southern boundary along Fisher Place for future road widening purposes.

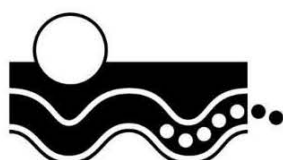
2.0 Services for Sub-Divisions Adjacent Laneways

- Stormwater – Stormwater can be discharged to Fisher Place and Gladstone Road's water table.
- Sewer – A sewer main is located adjacent to the subject site in Fisher Place and there is no sewer in Gladstone Road
- Water Supply – A water main is located in Gladstone Road and no water main in Fisher Place
- Electricity, Gas, Telecommunications – It is noted that these services are unlikely to currently be located within Fisher Place and that the provision of these services along Fisher Place to the proposed new allotments could be at substantial expense.

As there is no land division proposed, hence easement is not required.

3.0 FFL Consideration – Finished Floor Level (FFL) Requirement

- 3.1 Based on the survey information provided on 'Proposed Stormwater Plan' (SFC, Ref: 1370-02-B, dated 16/9/2020) a minimum FFL of 15.68 would be required.



City of **West Torrens**

Between the City and the Sea

It is recommended that revised plans indicating the required minimum FFL be provided to Council.

4.0 Verge Interaction

- 4.1** In association with new development, driveways and stormwater connections through the road verge need to be located and shaped such that they appropriately interact with and accommodate existing verge features in front of the subject and adjacent properties. Any new driveway access shall be constructed as near as practicable to 90 degrees to the kerb alignment (unless specifically approved otherwise) and must be situated wholly within the property frontage.

New driveways and stormwater connections are typically desired to be located a minimum 1.0 metre offset from other existing or proposed driveways, stormwater connections, stobie poles, street lights, side entry pits and pram ramps, etc. (as measured at the kerb line, except for driveway separation which will be measured from property boundary). An absolute minimum offset of 0.5m from new crossovers and stormwater connections to other existing road verge elements is acceptable in cases where space is limited.

These new features are also desired to be located a minimum of 2.0 metres from existing street trees, although a lesser offset may be acceptable in some circumstances. If an offset less than the desired 2.0 metres is proposed or if it is requested for the street tree to be removed, then assessment for the suitability of such will be necessary from Council's Technical Officer (Arboriculture).

- 4.1.1** Crossover for the new dwelling has not been indicated on plan. It should be noted that the proposed crossover should be 0.5m offset from property boundary.

It is recommended that revised plans indicating satisfaction to the above requirements should be provided to Council.

- 4.2** It is assumed that the existing verge along Gladstone Road remains as existing condition and no modification work has been proposed.

- 4.3** It should also be nominated for the stormwater connection through the road verge area to be constructed of shape and material to satisfy Council's standard requirements

- 100 x 50 x 2mm RHS Galvanised Steel or
- 125 x 75 x 2mm RHS Galvanised Steel or

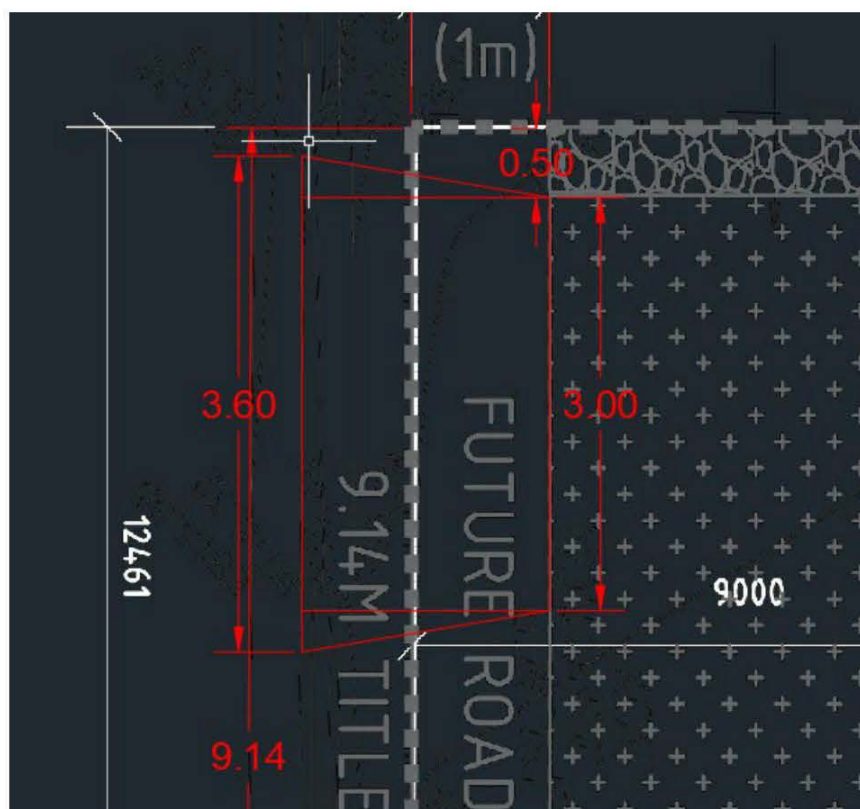


- Multiples of the above.

It is recommended that revised plans clearly and accurately indicating satisfaction of the above criteria be provided to Council.

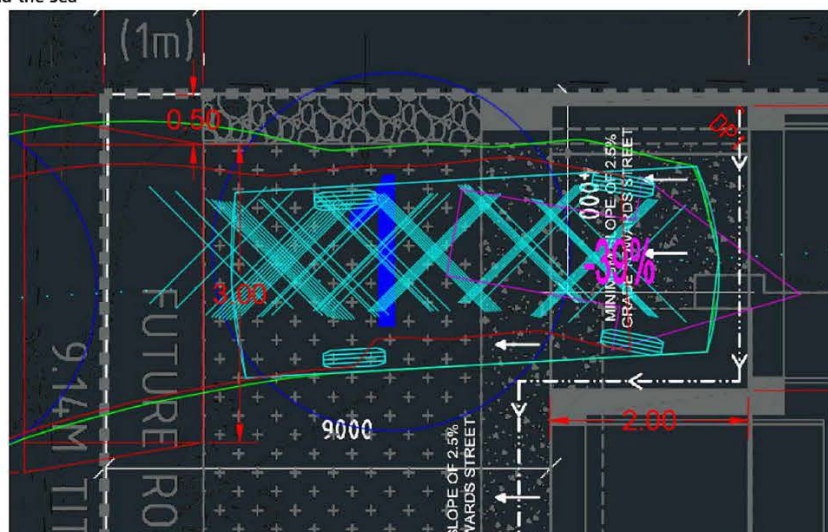
5.0 Traffic Requirements

- 5.1** It is recommended that the width of the crossover servicing the front dwelling is 3m with 0.3m flaring on each side (3.6m wide at the kerb line). This 0.3m flaring enables for easier entering and exiting from the driveway.



It is recommended that revised plans showing a 3m crossover with 0.3m flaring on each side (3.6m wide at the kerb line) be provided to Council.

- 5.2** The parking space in front of the garage/carport for the new dwelling has insufficient space for driver to leave the vehicle when the vehicle is parked on that space. Under such context, the parking space is not suitable for vehicle parking and amendment to the building should be provided or the parking space should be removed.



If the parking space has been removed, then the garage setback will be 3.5m which will not be supported as vehicle will overhang onto laneway. A reduced garage setback of 2m or an increased setback of 5.5m should be provided.

It is recommended that revised plans clearly and accurately indicating satisfaction of the above criteria be provided to Council.

5.3 The garage dimension as indicated on 'Lower Floor Plan' (TA, Ref: 73.2020-DDA02/06, dated 13/08/20) have been assessed as satisfying minimum requirements. However, the garage dimension will requires to be reassessed once changes to the building has been proposed to address issue 5.2.

5.4 The carport dimension and setback for the proposed addition at existing dwelling has been assessed as satisfying minimum requirements as per 'Site Plan' (TA, Ref: 73.2020-DDA01/06, dated 13/08/2020)

6.0 Waste Management

6.1 The public kerbside space available for bin presentation has been assessed as satisfying minimum requirement.

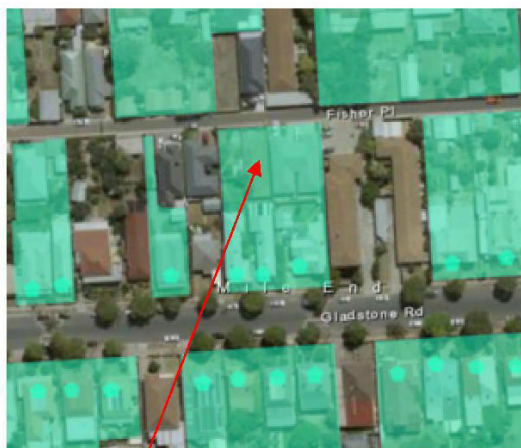
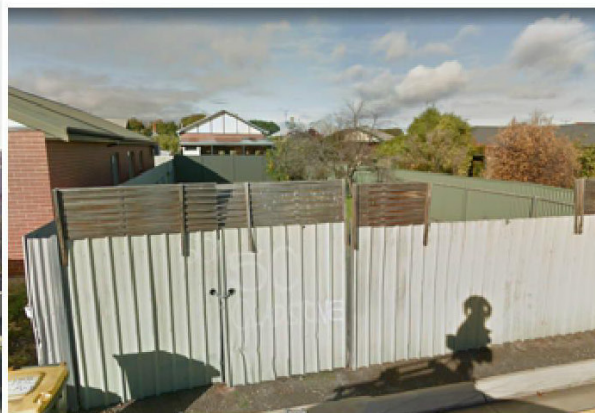
7.0 Stormwater Detention

7.1 The proposed stormwater detention has been assessed as satisfying minimum requirements.

Regards
Richard Tan
Civil Engineer

City of West Torrens Heritage Advisor Comment

Planning Application No.: 211/878/2020
Location: 50 Gladstone Road, MILE END
Zone: Residential
Policy Area: Mile End Conservation Policy Area 30
Heritage Status: Historic Conservation Area
Proposal: Construction of a two storey detached dwelling, fencing and carport to existing dwelling
To: Sonia Gallarelo
Date: 20/10/2020

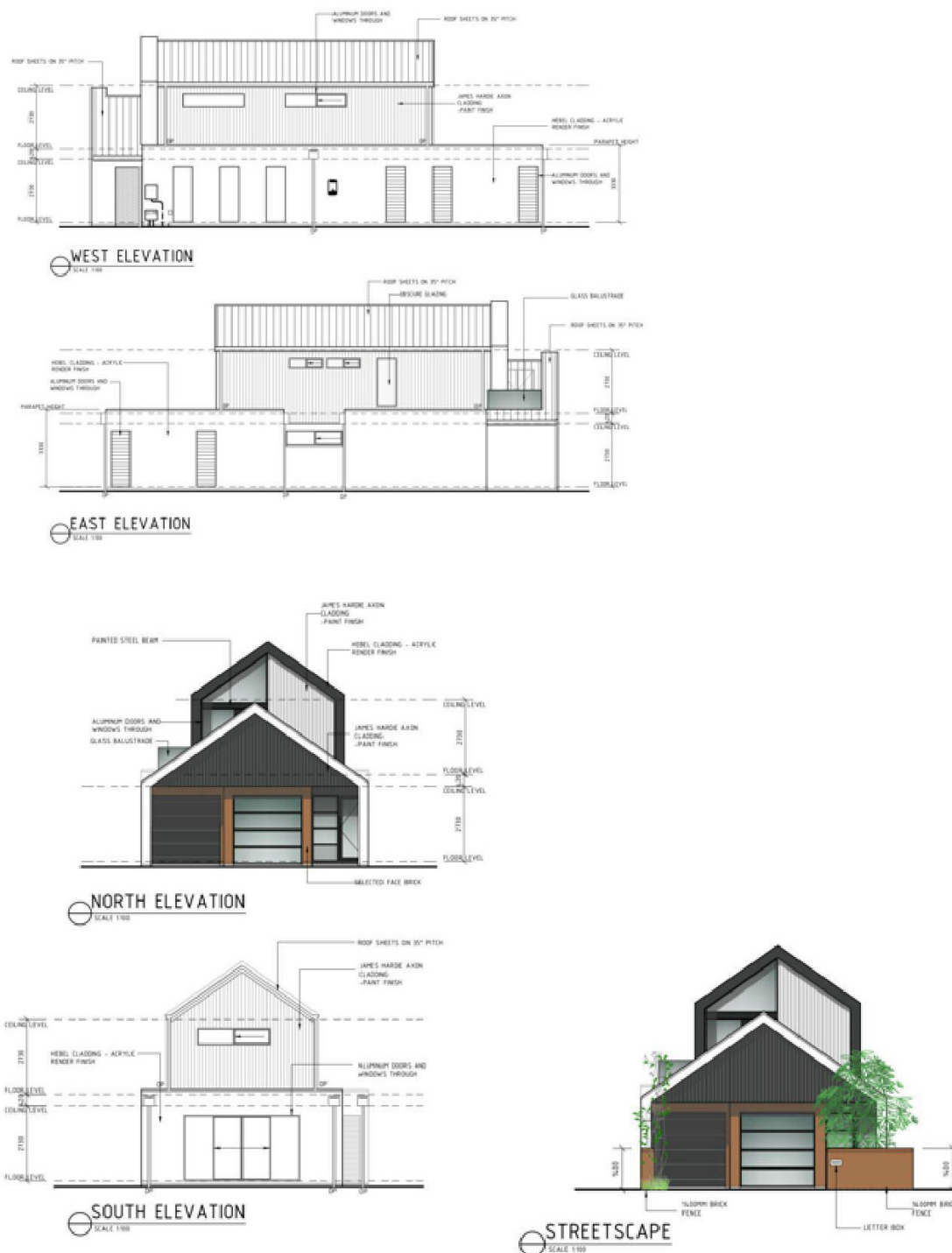


Subject Land

The architectural drawings include the following components:

- WEST ELEVATION:** A side elevation of the building showing a gabled roof section with a height of 3000mm and a width of 2600mm. The main body of the building is 6000mm wide and 2700mm high.
- SOUTH ELEVATION:** A front elevation showing a width of 2000mm and a height of 2700mm.
- WEST ELEVATION (Detailed):** A side elevation showing a width of 6000mm and a height of 2700mm.
- NORTH ELEVATION:** A rear elevation showing a width of 2000mm and a height of 2700mm.
- FLOOR PLANS:**
 - Ground Floor:** Shows a layout with a Dining/Living area, Kitchen, Butler's, Study, Service Court, and Garage. It includes dimensions for various rooms and a north arrow.
 - First Floor:** Shows a layout with two Bedrooms, a Bath, and a Hallway. It includes dimensions for various rooms and a north arrow.
- SECTION:** A vertical section showing the building's profile, including the roof, walls, and floor. It includes dimensions for the overall height and width.
- EXTERIOR ELEVATION:** A detailed elevation of the building's exterior, showing the roof, walls, and windows. It includes dimensions for the overall height and width.

City of West Torrens Heritage Advisor Comment



Description:

The Subject Land is on the north side of Gladstone Road, a Contributory Item. The proposal involves the construction of a carport to the side of the Contributory Item facing Gladstone Road and a new dwelling to the rear or north side of the allotment facing Fisher Lane.

City of West Torrens Heritage Advisor Comment

The carport will be setback 6480mm from the street boundary and also setback behind the main façade. It extends the full width between dwelling and boundary (260mm) and is 6000mm long with open sides. The skillion roof has a maximum height of 3000mm and minimum of 2700mm on boundary.

The carport will be constructed of timber and clad with a combination of Colorbond Monument roof sheeting and polycarbonate roof sheeting.

The proposed new dwelling will be two-storey with the upper level set back from the Ground Floor frontage, sides and rear boundary. The frontage at Ground Floor will be a gable that spans the width of the ground floor and incorporates two staggered single garages and an entrance porch. The first floor will also incorporate a narrower span gable facing the street, setback from the frontage. The Ground Floor gable will part screen a balcony at first floor level. The east garage will be constructed to the side boundary.

The new allotment is 26200mm long by 9140mm wide and the ground level built form is setback 904mm to the west and varies along the eastern boundary. The first floor is setback 2000mm from the eastern boundary, 1964mm from the western boundary, 7710mm from the rear boundary. The upper storey ceiling height is 5880mm above ground floor level.

The roof will be clad with Kliplock Surfmist cladding at a 35 degree roof pitch.

To the northern elevation (to Fisher Lane), the façade will be clad in a combination of face brick to 2370mm (ceiling level) and James Hardie Axon Cladding.

One garage door to the east side is proposed as Colorbond Shale Grey, the other is proposed as Perspex. To the first floor the gable surround will be clad with Hebel cladding with an acrylic render finish. The main cladding is James Hardie Axon cladding. Half of this façade will be glazed with aluminium windows painted Night Sky. A small portion of glazed balcony balustrade is visible.

To ground floor the remaining elevations will be constructed of Hebel with an acrylic render finish. Doors and windows will be aluminium framed with Night Sky finish. The first floor will be clad with James Hardie Axon cladding. Glazing is proposed as obscure to the east elevation.

A 1400mm high brick fence is proposed to Fisher Lane. This will extend 2900mm along Fisher Place with an open driveway measuring 6230mm in width. Landscaping is proposed to the front and rear gardens.

As development affecting a Contributory Item within a Historic Conservation Area, the Mile End Conservation Policy Area 30, and Residential Zone, I have considered the following Development Plan Provisions:

Historic Conservation Area

OBJECTIVES: 1,2,3

PRINCIPLES OF DEVELOPMENT CONTROL: 1,2,3,4,5,6,7,8,9,10,12,13

Mile End Conservation Policy Area 30

OBJECTIVES: 1

DESIRED CHARACTER

PRINCIPLES OF DEVELOPMENT CONTROL: 1,2,3,4,5

Residential Zone

OBJECTIVES: 1,2,4

DESIRED CHARACTER

PRINCIPLES OF DEVELOPMENT CONTROL : 1,5,6,7,8,10,11,12,13

Assessment:

Historic Conservation Area

The proposed development is located to the rear and side of the single fronted Contributory Item, that has a typical wall height and steeply pitched roof and front verandah and attractive fencing. The proposed carport will be relatively low profile and set back from the frontage. The new dwelling introduces a new contextual contemporary style and form that has been developed using traditional gable roof forms. The proposal retains the historic streetscape character of Gladstone Road and alters the rear lane configuration with positive effect. I consider Objective 1 and 2 satisfied. The dwelling may lead to an improvement of infill housing in the lanes.

The forms are reasonably complementary and I consider the use of the non-traditional profile cladding appropriate for the type of dwelling, satisfying Objective 3.

City of West Torrens Heritage Advisor Comment

I will discuss Desired Character (PDC 1) under the Policy Area.

The proposal will retain the Contributory Item, its prominence and integrity, satisfying PDC 2, 3 and 5. The proposal will be located to the rear, satisfying PDC 4.

The carport and new dwelling successfully adopt traditional design cues and in the case of the dwelling, proportions and compositions and material palette, satisfying PDC 6. The proposal includes landscaping as contemplated by PDC 7.

The upper level design adopts the guidance of PDC 8 by being of a lesser area and set back from the ground floor walls, particularly the front ground floor gable, appearing as an extension to the roof space. The front boundary is sufficiently open to ensure the solid fence to the lane is of no concern, satisfying PDC 9. The proposal nominates good neighbour fencing in monument. While corrugated profile is typically requested, it is acknowledged that the modern profile to match the roof may be more consistent.

The topography appears respected satisfying PDC 12 and the Land Division appears to have already occurred.

Mile End Conservation Policy Area 30

The proposal offers an innovative and contemporary unity of built form that contributes to the desired character of the policy area satisfying HCA PDC 1, and PA 30 Objective 1 and PDC 2.

As single storey development to the frontage PDC 3 is satisfied and the proposed alignments are consistent with adjacent dwellings, satisfying PDC 4.

I have assumed the Land Division does not form part of this application.

Residential Zone

Residential zone Objective 1 and 2 are satisfied through the increased density and diversity of housing product. Desired Character Objective 4 and PDC 5 are satisfied.

The number of storeys and height is as contemplated by PDC 6 and the dwelling is sufficiently setback not to upset PDC 7.

PDC 8 is satisfied by the reasonable set back from the lane, consistent with adjacent lane dwellings and the stepped increasing setback of the upper level satisfies PDC 10.

Side set backs are consistent with or sufficiently close to satisfy PDC 11. The garage wall location, length and height does not offend PDC 12 because its length and height is reasonably consistent with PDC13.

Assessment:

The proposal represents an improved standard of contextual design in the Area and Policy Area and is worthy of heritage support.

Douglas Alexander

Contact Planning Services
Telephone 7109 7018
Email dlcptpdc:learanceletters@sa.gov.au



10 September 2020

The Chief Executive Officer
City of West Torrens

Dear Sir/Madam

**Re: Proposed Application No. 211/C089/20 (ID 69113)
for Land Division by Mrs Kara Palombo**

In accordance with Section 33 of the Development Act 1993 and Regulation 29 (1) of the Development Regulations 2008, and further to my advice dated 04 September 2020, I advise that the State Commission Assessment Panel (SCAP) has consulted with SA Water Corporation (only) regarding this land division application. A copy of their response has been uploaded in EDALA for your consideration. The Commission has no further comment to make on this application, however there may be local planning issues which Council should consider prior to making its decision.

I further advise that the State Commission Assessment Panel has the following requirements under Section 33(1)(c) of the Development Act 1993 which must be included as conditions of land division approval on Council's Decision Notification (should such approval be granted).

1. The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.
On receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non standard fees.
The developer must inform potential purchasers of the community lots of the servicing arrangements and seek written agreement prior to settlement, as future alterations would be at full cost to the owner/applicant.
2. Payment of \$7761 into the Planning and Development Fund (1 allotment(s) @ \$7761/allotment).
Payment may be made by credit card via the internet at www.edala.sa.gov.au or by phone (7109 7018), by cheque payable to the Department of Planning, Transport and Infrastructure and marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Level 5, 50 Flinders Street, Adelaide.
3. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the State Commission Assessment Panel for Land Division Certificate purposes.

The SA Water Corporation will, in due course, correspond directly with the applicant/agent regarding this land division proposal.

PLEASE UPLOAD THE DECISION NOTIFICATION FORM (VIA EDALA) FOLLOWING COUNCIL'S DECISION.

Yours faithfully

A handwritten signature in blue ink, appearing to read 'Biljana B.', is positioned above the printed name.

Biljana Prokic
Land Division Coordinator - Planning Services
as delegate of
STATE COMMISSION ASSESSMENT PANEL



10 September 2020

Our Ref: H0102705

The Chairman
State Commission Assessment Panel
50 Flinders St
ADELAIDE SA 5000

Dear Sir/Madam

PROPOSED LAND DIVISION APPLICATION NO: 211/C089/20 AT MILE END

In response to the abovementioned proposal, I advise that pursuant to Section 33 of the Development Act it is necessary for the developer to satisfy this Corporation's requirements, which are listed below.

The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.

On receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non standard fees.

The developer must inform potential purchasers of the community lots of the servicing arrangements and seek written agreement prior to settlement, as future alterations would be at full cost to the owner/applicant.

Yours faithfully

Michael Zoanetti
for MANAGER LAND DEVELOPMENT & CONNECTIONS

SA Water
Level 6, 250 Victoria Square
ADELAIDE SA 5000
Ph (08) 7424 1119
Inquiries Michael Zoanetti
Telephone (08) 7424 1119

6.3 Council Assessment Panel Annual Report 2020

Brief

To provide Council with information on the activities of, and feedback from, the Council Assessment Panel.

RECOMMENDATION

It is recommended to Council Assessment Panel that

1. The draft Council Assessment Panel Annual Report 2020 (appended as **Attachment 1** of Agenda report) be ratified for presentation to Council.
2. That the Assessment Manager be authorised to make any changes of a minor or technical nature, including changes to add the December 2020 CAP meeting data.

Introduction

The City of West Torrens CAP Terms of Reference stipulate:

The CAP will report to Council at least once per year, detailing issues for consideration by the Council. The Annual Report should include the following information:

- (a) The number of meetings held;*
- (b) The number and nature of applications that were considered (including the number of confidential items considered);*
- (c) Advice in respect of any trends, issues and other matters that have become apparent or arisen through the CAP's assessment of applications, and*
- (d) The number of decisions of the CAP that were appealed to the Environment, Resources and Development Court.*

The CAP presented its 2019 Annual Report to Council at the January 2020 Council meeting.

Discussion

It is proposed that an annual report for the period 1 January 2020 to 31 December 2020 be submitted to the Council.

The submitted report will contain a summary of the activity of the CAP in 2020, including feedback from CAP members with regards to trends, issues and other matters relating to planning or development that have become apparent or arisen through its assessment of applications.

As the Draft Planning and Design Code is currently on consultation, the Presiding Member has written to Mayor Coxon to provide policy advice and feedback for Council's consideration in its submission to the State Planning Commission. This letter is appended to the Draft Annual Report.

A draft report for the CAP's consideration is included as **Attachment 1**. Any amendments may be considered by CAP during the meeting.

If ratified, the report will be presented to a future meeting of Council.

Conclusion

The 2020 annual report is proposed to be submitted to the Council in accordance with the CAP's Terms of Reference.

Attachments

1. **Draft City of West Torrens Council Assessment Panel Annual Report 2020**

City of West Torrens Council Assessment Panel

Annual Report 2020

Introduction

The following report summarises the activity of the CAP for the 12 month period between 1 January 2020 and 31 December 2020. Development-related issues that have arisen during the course of the CAP's determination of development applications across the City in that period are also discussed.

Discussion

Membership

During 2020 the CAP comprised the following members:

| | |
|------------------------------|-----------------|
| Independent Presiding Member | Colleen Dunn |
| Independent Member | Jane Strange |
| Independent Member | Ben Russ |
| Independent Member | Michael Arman |
| Council Member | Jasmine Wood |
| Deputy Independent Member | Megan Lewis |
| Deputy Council Member | Graham Nitschke |

Meetings

The CAP met on thirteen (13) occasions during the course of 2020 in line with the normal monthly meeting schedule and an additional special meeting to adopt new meeting procedures to facilitate electronic meetings during the Declared State Emergency for the COVID Pandemic.

CAP members attended a CAP Workshop on the implementation of the Planning Reform following the July CAP meeting.

Meeting Attendance

Attendance of members at CAP meetings during 2020 is noted in Table 1.

| Member | Attended | Apologised |
|---|-----------------|-------------------|
| Colleen Dunn | 12 | 0 |
| Jane Strange | 11 | 0 |
| Ben Russ | 12 | 0 |
| Michael Arman | 12 | 0 |
| Jasmine Wood | 7 | 5 |
| Graham Nitschke (deputy Council member) | 4 | 0 |
| Megan Lewis (deputy independent member) | 0 | 0 |

Table 1: Attendance Record (excluding December 2020)

A quorum was present for all meetings of the CAP during the year.

Following the declaration of a State Emergency for the COVID Pandemic on 22 March 2020, CAP amended its Meeting Procedures to allow for some or all of CAP meetings to be held in alternative locations including via an electronic platform. During 2020 CAP meetings were held in the following locations:

| Meeting location | Number | Percent |
|---|-----------|------------|
| Civic Centre with in-person public gallery | 4 | 33.3 |
| Civic Centre with electronic public gallery | 3 | 25 |
| Electronic platform (Zoom) | 4 | 33.3 |
| Thebarton Community Centre | 1 | 8.3 |
| TOTAL | 12 | 100 |

Table 2: Summary of CAP Meeting Locations (excluding December 2020)

Independent Member Accreditation

The *Planning, Development and Infrastructure Act 2016* requires independent members to be registered as an Accredited Professional - Level 2 Planning with the Accreditation Authority, however this requirement is not yet operative until the Planning Reform Phase 3 "Go Live" date.

During 2020, in preparation for Phase 3 the "Go Live" date, all independent CAP members obtained their Accredited Professional registration ahead of the required deadline.

Originally scheduled in June 2020, the Planning Reform Phase 3 "Go Live" date is now expected in the first quarter of 2021.

Development Applications

A total of XXXX development applications were received by Council between 1 January 2020 and 31 December 2020, with 42 (or X.X%) of those applications considered and determined by the CAP. This number represents a notable decrease from the number of applications determined by CAP in 2019 (85 DAs) and 2018 (130 DAs). This decrease can be attributed to the implementation of new delegations removing the requirement for applications with minor deficiencies in site area/frontage width to be assessed by the CAP.

The CAP's decisions for 2020 are further disaggregated in the following tables.

| Decision | Number | Percent |
|---------------------------------|-----------|------------|
| Approved with recommendation | 38 | 90.5 |
| Approved against recommendation | 0 | 0 |
| Refused with recommendation | 4 | 9.5 |
| Refused against recommendation | 0 | 0 |
| Deferred | 0 | 0 |
| TOTAL | 42 | 100 |

Table 3: Summary of Decisions (excluding December 2020)

Table 3 shows that CAP decisions were in line with the staff recommendation.

This result is to be expected given that most development proposals go through a process of negotiation between Council's planning staff and applicants to ensure compliance with the relevant

Development Plan provisions before they are presented to the CAP. Council's planning staff have also taken on feedback from CAP members which is conveyed to applicants during negotiations.

Figure 1 below presents this information in graphical and chronological form and shows that there has been relatively consistent number of applications considered by CAP throughout the year.

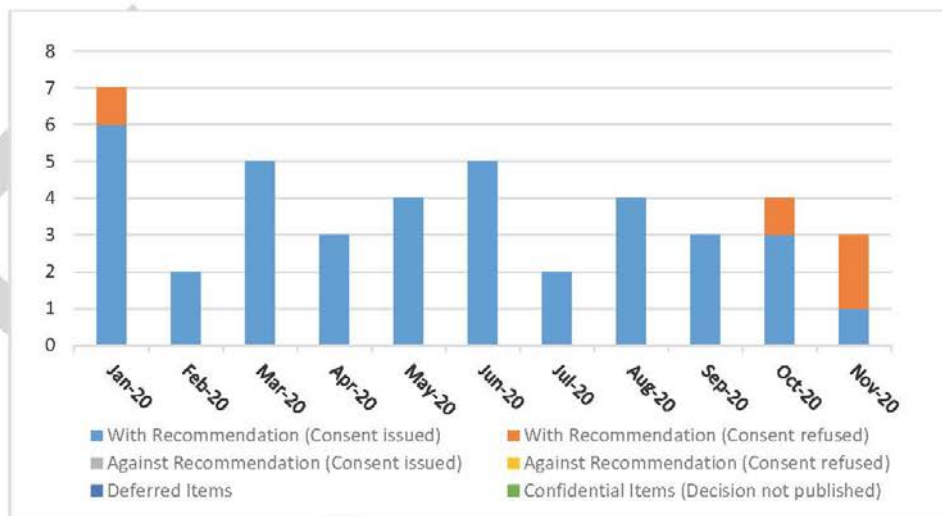


Figure 1: Summary of Decisions (excluding December 2020)

Table 4 (below) shows the type of developments that were determined by the CAP during 2020. Land division, dwellings and combined land division/built form proposals - most of which were for infill development - were especially prominent and constituted nearly 60% of applications determined by the CAP. Signage and commercial/industrial applications comprised approximately 15% of applications, similar to 2019. There were only 2 applications for tree damaging activity (i.e. removal of significant/regulated trees) which was less than the 7 application in 2019.

| Type of development | Number | Percent |
|-------------------------------------|-----------|------------|
| Land division | 11 | 23.4 |
| Dwellings/additions | 10 | 21.3 |
| Combined land division & built form | 6 | 12.8 |
| Change of use | 6 | 12.8 |
| Signage | 5 | 10.6 |
| Commercial/industrial | 2 | 4.3 |
| Tree damaging activity | 2 | 4.3 |
| Demolition | 2 | 4.3 |
| Variation to DA | 3 | 6.4 |
| TOTAL | 47 | 100 |

Table 4: Types of Development (excluding December 2020)

Of note, CAP assessed a new Meals on Wheels Headquarters and a new Nazareth Catholic College campus, involving adaptive reuse of a former university campus. The CAP consider both are exceptional projects, of which the City of West Torrens can be proud.

Confidential Items

The CAP determined no confidential items during the period, all of which were supported in line with the staff recommendation.

Appeals

No development decisions of the CAP were appealed to the Environment, Development and Resources Court during the year compared to four in 2019. There are currently no outstanding appeals.

Feedback to Council from CAP

Ms Colleen Dunn, Presiding Member wrote to Mayor Coxon in December 2020 regarding CAP's observations on development trends and policy advice so Council may contemplate these matters in Council's submission to the State Planning Commission on the Draft Planning and Design Code. A copy of the letter is attached to this report.

Further, the CAP note many residents remain unaware of the changes to policy areas as a result of the Housing Diversity Development Plan Amendment implemented in 2015. That formerly low density policy areas have become medium density is a continuing source of distress to some residents. That a neighbouring single dwelling could be replaced by up to five units is unexpected. The residents feel unrepresented by Council and the CAP make a particular effort to explain to representors the policy planning process, the role of Council and the State Government's vision. Lack of awareness amongst City residents of forthcoming policy changes is now a major issue for many Elected Members given the imminent introduction of the Planning & Design Code. CAP suggest that Council implement a clear communications strategy for the introduction of the Planning & Design Code.

Conclusion

The CAP has sought to make the assessment of development proposals within the City of West Torrens a transparent process so that applicants, representors and the general public understand the decision making process and the policy underpinning development decisions.

Given the imminent introduction of a completely new policy regime in the form of the Planning and Design Code in early 2021, it will be important for the CAP to continue operating in such a transparent fashion to ensure that community members understand the context of development decisions and the limits placed on the CAP's determinations.

Members of the CAP would like to express their appreciation to Elected Members, the Chief Executive Officer, and staff of the City of West Torrens for their ongoing support and assistance. Particularly, the CAP acknowledge the planning staff who are clearly encouraging applicants to address the CAP's concerns and the planning and IT staff that ensured seamless COVID-safe operations which enabled the CAP to continue to hear from representors, and the meetings could be live-streamed.

Attachments

1. Letter to the Mayor Coxon, 1 December 2020

Mayor Coxon
City of West Torrens
165 Sir Donald Bradman Drive
Hilton SA 5033

1 December 2020

Dear Mayor Coxon

The City of West Torrens Council Assessment Panel (CAP) provide Council with an Annual Report on its activities each year and is scheduled to provide Council with its 2020 Annual Report in January 2021. I write to you regarding the Planning and Design Code (Phase Three) currently on public consultation until 18 December 2020 so Council may consider CAP's observations on development trends and policy advice in Council's submission to the State Planning Commission on the Draft Planning and Design Code.

The issues CAP have been facing over the past five years still prevail: reduction in green canopy in the Council area and inadequate compensation for the removal of significant and regulated trees, combined with insufficient landscaping and increased paved areas in medium density developments are having an adverse effect on the City of West Torrens and metropolitan Adelaide in general. Coupled with increased crossovers, reduced on street parking and removal of street trees, the streetscape is changing to its detriment in many areas zoned for medium density residential housing.

The strong Deemed To Satisfy provisions in the Planning and Design Code originally proposed have been watered down in the latest version of the Draft Planning and Design Code so that there will be very little change to the current system, which has caused the increase in heat island effect and the decimation of good design outcomes and amenity within the Council area.

Deemed To Satisfy provisions in the Planning and Design Code should not be reduced so that a decision by a relevant authority may approve a minor variation, which could have significant ramifications on the amenity of the locality and the community at large. They should remain a strict standard by which development which complies can be assured approval. If it doesn't comply, then Performance Assessment gives Council's Administration the opportunity to negotiate a better outcome, as they do now.

If the current proposals are translated into Phase Three of the Code, a Code Amendment would take some three years to effect necessary changes and the issues currently faced will only increase. In addition, the change would apply to the zone(s) across the State and would be far more complex.

The above items have been cited repeatedly by the CAP over the past years and, despite the staff's best endeavours, the general trend is downward and to the detriment of the City. This is due to the lack of strong design policy in the Development Plan, which is now reflected in the Draft Planning and Design Code.

Every effort should be made to increase the protection afforded by good design principles by ensuring their inclusion in the Planning and Design Code and to uphold and implement the provisions of the 30-Year Plan for Greater Adelaide.

I have also enclosed policy advice the CAP provided to Council in its 2019 Annual Report which continues to remain very relevant today. If you wish to discuss any of the above matters with me please contact me on 0416 214 931.

Yours Sincerely

A handwritten signature in black ink, appearing to read 'Colleen Dunn', with a stylized, cursive script.

Colleen Dunn
Presiding Member
City of West Torrens Council Assessment Panel

2019 Feedback to Council from CAP

The following policy advice has been provided by CAP members in consideration of their assessment of development applications during the past 12 months:

- Continued and persistent over-development of sites as applications demonstrate poor design with respect to solar access, cross ventilation, heat loading, waste management and general amenity. While there is evidence of developers positively responding to requests from assessment planners to improve the design of exterior and interior spaces, increase the quantity and quality of landscaping and provide more functional private open space, many developers continue to put forward sub-standard designs that nonetheless meet the requirements of the Development Plan.
- On a related note, landscaping continues to be treated as tokenistic by many applicants and needs to be meaningfully integrated into applications by incorporating structured plantings that have cooling and shading effects.
- Further erosion of tree canopy as applicants rarely provide replacement trees during the course of development. Given that Adelaide has the lowest level of tree canopy cover of all capital cities in Australia, any further erosion of tree canopy is likely to accentuate heat loading in residential areas of the City.
- Provision of sufficient car parking has become increasingly contentious with higher levels of infill development, especially in relation to the provision of visitor parking. In contrast, bicycle parking provision is often ignored by applicants even when the subject site is located in easy access to high-quality cycle paths and networks.
- Substantial areas of impervious paving in development proposals required for vehicle access, parking and manoeuvring often compromises design outcomes and accelerates heat loading in medium density policy areas.
- Lack of storage space continues to be an issue with insufficient storage space often associated with medium density developments.
- Waste management, including the siting of bins, is becoming an increasingly contentious issue for medium density development across the City. Planning staff are currently working with City Assets to develop an acceptable approach to this issue.
- Stormwater issues arising from the greater intensity of development across the City and the predominance of impervious hard surfaces.

7 CONFIDENTIAL REPORTS OF THE ASSESSMENT MANAGER

Nil

8 SUMMARY OF COURT APPEALS

8.1 Summary of SCAP and ERD Court Matters - November 2020

Brief

This report presents information in relation to:

1. any planning appeals before the Environment, Resources and Development (ERD) Court;
2. any matters being determined by the State Commission Assessment Panel (SCAP);
3. any matters determined by the Minister of Planning (Section 49);
4. any matters determined by the Governor of South Australia (Section 46); and
5. any deferred items previously considered by the Council Assessment Panel.

RECOMMENDATION

The Council Assessment Panel receive and note the information.

Development Application appeals before the ERD Court

| Reason for referral | DA number | Address | Description of development | Status |
|---------------------|-------------|-----------------------------------|---|---|
| SCAP | 211/M015/19 | 1 Glenburnie Terrace, PLYMPTON | Six-storey residential flat building (32 dwellings) & associated car parking | Appeal lodged - compromise proposal has been tabled at SCAP in confidence - decision unknown at this stage. |
| SCAP | 211/M022/17 | 79 Port Road, THEBARTON | Multi-storey mixed use development, incorporating commercial tenancy, 2 storey car park, 9-storey residential flat building, four x 3-storey residential flat buildings and car parking | Appeal lodged - compromise plans have been received and Council comments provided to SCAP |

Matters pending determination by SCAP

| Reason for referral | DA number | Address | Description of development |
|---------------------|-------------|--------------------------------|---|
| Schedule 10 | 211/M030/18 | 192 ANZAC Highway, GLANDORE | Eight-storey residential flat building (40 dwellings) & removal of regulated tree |

Matters pending determination by the Minister of Planning

| Reason for referral | DA number | Address | Description of development |
|----------------------------|------------------|---|---|
| Section 49 | 211/V103/20 | West Beach Parks Golf Park, Military Road, West Beach | Construction of a storage shed for golfers buggies and equipment |

Matters pending determination by the Governor of South Australia

Nil

Deferred CAP Items

Nil

Conclusion

This report is current as at 30 November 2020.

Attachments

Nil

9 OTHER BUSINESS**10 MEETING CLOSE**