

CITY OF WEST TORRENS



# Notice of Panel Meeting

Notice is Hereby Given that a Meeting of the  
**COUNCIL ASSESSMENT PANEL**

will be held in the George Robertson Room, Civic Centre  
165 Sir Donald Bradman Drive, Hilton

on

**TUESDAY, 22 JANUARY 2019**  
**at 5.00pm**

**Donna Ferretti**  
**Assessment Manager**

## City of West Torrens Disclaimer

### **Council Assessment Panel**

Please note that the contents of this Council Assessment Panel Agenda have yet to be considered and deliberated by the Council Assessment Panel therefore the recommendations may be adjusted or changed by the Council Assessment Panel in the process of making the formal Council Assessment Panel decision.

**Note: The plans contained in this Agenda are subject to copyright and should not be copied without authorisation.**

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**1 MEETING OPENED****1.1 Evacuation Procedures****2 PRESENT****3 APOLOGIES****4 CONFIRMATION OF MINUTES****RECOMMENDATION**

That the Minutes of the meeting of the Council Assessment Panel held on 11 December 2018 be confirmed as a true and correct record.

**5 DISCLOSURE STATEMENTS**

In accordance with section 7 of the *Assessment Panel Members – Code of Conduct* the following information should be considered by Council Assessment Panel members prior to a meeting:

A member of a Council Assessment Panel who has a direct or indirect personal or pecuniary interest in a matter before the Council Assessment Panel (other than an indirect interest that exists in common with a substantial class of persons) –

- a. must, as soon as he or she becomes aware of his or her interest, disclose the nature and extent of the interest to the panel; and
- b. must not take part in any hearings conducted by the panel, or in any deliberations or decision of the panel, on the matter and must be absent from the meeting when any deliberations are taking place or decision is being made.

If an interest has been declared by any member of the panel, the Assessment Manager will record the nature of the interest in the minutes of meeting.

## 6 REPORTS OF THE ASSESSMENT MANAGER

### 6.1 21-39 James Street, PLYMPTON - Weigall Oval

Application No 211/646/2018

Appearing before the Panel will be:

Representors: Karren Hazledine of 22 James Street, Plympton wishes to appear in support of the representation.

Applicant: Mr Dean Ottanelli of the City of West Torrens wishes to appear to respond to the representation.

### DEVELOPMENT APPLICATION DETAILS

DEVELOPMENT PROPOSAL	Demolition of existing clubroom building, sports field and associated structures; construction of a new multi-purpose clubroom building comprising change room and toilet facilities, medical rooms, kitchen facilities, function space and store rooms; construction of new soccer pitches and baseball diamonds, associated chainmesh fencing, light towers, entry statement, car parking and landscaping - staged development
APPLICANT	City of West Torrens
APPLICATION NO	211/646/2018
LODGEMENT DATE	23 June 2018
ZONE	Community
POLICY AREA	Recreation - Policy Area 5
APPLICATION TYPE	Merit
PUBLIC NOTIFICATION	Category 3
REFERRALS	Internal <ul style="list-style-type: none"> <li>City Assets</li> </ul>
DEVELOPMENT PLAN VERSION	6 February 2018
RECOMMENDATION	Support with conditions
AUTHOR	Brendan Fewster

### RECOMMENDATION

The Council Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/646/2018 by the City of West Torrens to undertake demolition of existing clubroom building, sports field and associated structures; construction of a new multi-purpose clubroom building comprising change room and toilet facilities, medical rooms, kitchen facilities, function space and store rooms; construction of new soccer pitches and baseball diamonds, associated chainmesh fencing, light towers and fencing, entry statement, car parking and landscaping - staged development at 21-39 James Street, Plympton (CT 5865/249) subject to the following conditions of consent (and any subsequent or amended condition that may be required as a result of the consideration of reserved matters under Section 33(3) of the Development Act):

**Reserved Matters:**

The following information shall be submitted for further assessment and approval by the City of West Torrens as reserved matters under Section 33(3) of the Development Act 1993:

1. A detailed stormwater management system and computations for the development. The stormwater management system shall include:
  - a. Harvesting and a high level of re-use of stormwater runoff from the roof of the new clubroom building into the toilets and hot water system of the building that is to be designed by a suitably qualified stormwater/civil engineer to demonstrate the most economic and sustainable solution for the development;
  - b. Stormwater detention measures demonstrating that stormwater discharge from the car park is directed to a raingarden and would be equivalent to having a 0.25 runoff coefficient for a critical 20 year ARI storm event;
  - c. Stormwater quality improvement measures that are demonstrated to satisfy the State Government Water-Sensitive Urban Design policy guidelines; and
  - d. Revision of the discharge point of underground site runoff connection to Oval Terrace.
2. A revised design for the proposed northern car park that satisfies the following:
  - a. The access point onto Oval Terrace shall be located a minimum of 6 metres west of the prolongation of the western kerb line of McArthur Avenue; and
  - b. The car parking layout shall satisfy the requirements of AS/NZS 2890.1-2004 Off-Street Car parking and AS/NZS 2890.6-2009 - Off-Street Parking for People with Disabilities.
3. A Construction Management Plan (CMP) for the proposed development. The CMP should identify potential issues and appropriate measures to minimise impacts and disruption to surrounding residents and business owners during the construction phase of the development.

Pursuant to Section 42(1) of the *Development Act 1993*, the Council reserves its decision on the form and substance of any further conditions of Development Plan Consent that it considers appropriate to impose in respect of the reserve matters outlined above.

**Development Plan Consent Conditions**

1. That the development shall be undertaken and completed in accordance with the plans and information detailed in this application except where varied by any of the following conditions.

*Reason: To ensure the proposal is established in accordance with plans and documents lodged with Council.*

2. That all landscaping shall be planted in accordance with the following approved plans:
  - General Arrangement Plan 1, Drawing No. L03 Rev.B dated 11/10/2018 prepared by JPE Design Studio;
  - General Arrangement Plan 2, Drawing No. L04 Rev.A dated 14/09/2018 prepared by JPE Design Studio;
  - General Arrangement Plan 1, Drawing No. L04 Rev.A dated 14/09/2018 prepared by JPE Design Studio;
  - General Arrangement Plan 2, Drawing No. L05 Rev.A dated 14/09/2018 prepared by JPE Design Studio;
  - Landscape Details 01, Drawing No. L05 Rev.A dated 14/09/2018 prepared by JPE Design Studio;
  - Landscape Details 02, Drawing No. L06 Rev.A dated 14/09/2018 prepared by JPE Design Studio;
  - General Arrangement Plan 3, Drawing No. L06 Rev.A dated 14/09/2018 prepared by JPE Design Studio; and
  - Landscape Details 01, Drawing No. L07 Rev.A dated 14/09/2018 prepared by JPE Design Studio.

The landscaping shall be planted within three (3) months of the occupancy of the development and any person(s) who have the benefit of this approval shall cultivate, tend and nurture the landscaping and replace any plants which may become diseased or die.

*Reason: To provide amenity for the occupants and users of the development and those of adjacent properties.*

3. No goods, materials or equipment associated with the approved development shall be stored outside of the clubroom building or designated storage areas.

*Reason: To ensure that the development does not unreasonably diminish the amenity of residents of nearby properties or the locality more generally.*

4. The operating hours of the bar, dining and function areas within the clubroom building shall be restricted to between the hours of 7.30am and 11.00pm on any day.

*Reason: To ensure that the development does not unreasonably diminish the amenity of residents of nearby properties or the locality more generally.*

5. Private functions not related to the use of the sport and recreation facilities within the precinct shall not take place within the clubroom building during times when the sport and recreation facilities are in use, including but not limited to game days, club training and community events.

*Reason: To protect the primary use of the development for sport and recreation.*

6. Entertainment during functions or events involving amplified music (live or other) shall be fully contained within the designated function area, with all window and door openings to be closed shut at all times when music is being played.

*Reason: To ensure the development does not unreasonably diminish the amenity of residents of nearby properties or the locality more generally.*

7. All materials, goods and refuse shall at all times be loaded and unloaded within the confines of the subject land. Both waste and delivery vehicles shall only access the site between the hours of 7.30am and 6.00pm on any day. Materials and goods shall not be stored on land delineated for use as car parking.

*Reason: To ensure the development does not unreasonably diminish the amenity of residents of nearby properties or the locality more generally.*

8. All solid waste shall be stored in bins/containers having a close fitting lid. The bins/containers shall be stored within the designated screened bin enclosure. Collection of waste shall be carried out at least once a week by a private contractor or as agreed by Council and within the approved delivery hours.

*Reason: To ensure the development does not unreasonably diminish the amenity of residents of nearby properties or the locality more generally.*

9. All stormwater runoff from roofs and impervious surfaces shall be managed on-site in such a manner that it does not result in the entry of water into a building or adversely affect any adjoining property or public road.

*Reason: To ensure that adequate provision is made for the safe collection and dispersal of stormwater.*

10. Prior to the occupation or use of the development, all car parking spaces shall be line marked in accordance with the approved plans and maintained in a good condition at all times to the satisfaction of Council.

*Reason: To ensure the ongoing use and safety of vehicle parking and manoeuvring areas.*

11. All lights on the periphery of the sporting fields shall be turned off no later than 10pm on any day.

*Reason: To ensure that the lighting does not cause undue disturbance, annoyance or inconvenience to adjoining landowners.*

12. Floodlighting within car parks and around the clubroom building shall be restricted to that necessary for security purposes only and be directed and shielded in such a manner as to cause no light overspill nuisance to nearby properties.

*Reason: To ensure that the lighting does not cause undue disturbance, annoyance or inconvenience to adjoining landowners.*

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## BACKGROUND

The development proposal is presented to the Council Assessment Panel (CAP) for the following reasons:

- All Category 2 or 3 applications where a representor has requested to be heard shall be assessed and determined by the CAP.
- As the City of West Torrens is the applicant, for sake of transparency it is appropriate for the CAP, as an independent body, to be the decision-making authority.

## SITE AND LOCALITY

The subject land is known as the Weigall Oval Reserve, which is a sports and recreation precinct located at 21-39 James Street, Plympton.

The land is situated between Oval Terrace to the north, James Street to the east, Urrbrae Terrace to the south and Birdwood Terrace to the west. The land comprises of one allotment with a total area of approximately 5.25 hectares. While there are no encumbrances or Land Management Agreements registered over the land, there is an easement in favour of the ETSA Corporation that transverse the western side of the subject land.

There are several existing sport and recreation buildings and uses on the land that include soccer and baseball fields, tennis courts, a horse training track, a main clubroom building, ancillary structures and bitumen car parking.

Recent site works include new tennis courts and car parking at the south-western corner of the precinct, as well as considerable public reserve improvements adjacent to Birdwood Terrace. These works have been undertaken as part of 'stage 1' of the redevelopment.

The subject land is currently served by one main access point on Urrbrae Terrace, with a temporary access provided on Urrbrae Terrace for construction vehicles. The new car park contains approximately 75 spaces.

The locality is predominantly residential in land use and built form character as the Weigall Oval Reserve is entrenched within an established residential area. There is a mix of residential development throughout the locality, with considerable infill development taking place at low to medium densities. Approximately 350 metres (m) east of the subject land is the Kurralta Park shopping centre and a similar distance to the south-west and west is Anzac Highway and Marion Road, which are both arterial road corridors accommodating high frequency public transport. A linear recreation reserve - the Westside Bikeway - extends in a north to south direction adjacent to Birdwood Terrace.

The site and locality are shown on the following aerial image and locality plan.









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## PROPOSAL

The proposed development is a staged redevelopment of facilities in Weigall Oval involving:

- Demolition of the existing clubroom, sports field and associated structures;
- Development of a multi-purpose clubroom building incorporating a function room, store rooms, change rooms, toilets/showers, medical room and two kitchens;
- Construction of two new soccer pitches and one baseball pitch;
- Installation of light towers and fencing;
- Development of a car park and entry statement; and
- Landscaping.

The following is more detailed overview of the proposal:

### Outdoor Sporting Facilities

- Construction of a full-size grass soccer pitch and international size baseball diamond. A shared junior size soccer/baseball pitch is to be constructed on the southern side of the site adjacent to the new tennis courts.
- Construction of fourteen (14) light towers to be located around the periphery of the sporting fields. The light towers will range between 22m and 25m in height above ground level (6 x 22m and 8 x 25m) and will comprise of steel construction. Headlamps will be attached to the top of each tower.
- Internal colour-coded chainwire fencing measuring between 6m and 8m in height will be erected adjacent to the batting plates of the senior and junior baseball diamonds. Low 1.2m or 1.8m high chainwire fencing is proposed for the perimeter of the playing fields. No boundary fencing is proposed.

### Clubroom Facilities

- Construction of a single storey multi-purpose clubroom building comprising change room and toilet facilities, medical rooms, two kitchens, function space and store rooms. The building design is contemporary, with a 'V' shape footprint and a series of single pitch roofs that vary in height. The building layout and roof design seek to maximise views of the playing fields. Construction materials comprise a mix of face brickwork, render and glass cladding, timber soffits and colorbond roof sheeting. The material palette is clean and robust, with both bright and earthy colours such as natural white, grey/silver and natural timber.

### Operational Matters

- The operating hours will not exceed 11.00pm on any day (11.00pm curfew, seven days a week). This is consistent with the new lease agreements.
- The maximum capacity of the function area within the clubroom building will be 200 people (165 seated). This is consistent with the new lease agreements.
- All lighting for the sporting fields will be turned off by no later than 10.00pm on any day. This is consistent with the new lease agreements.
- A timber and steel clad bin enclosure measuring 4.8m x 2.8m is to be provided within the northern car park adjacent to the clubroom building. Waste collection vehicles will enter and egress from Oval Terrace.



## Vehicle Access and Car Parking

- A new vehicular access point with simultaneous two-way access from Urrbrae Terrace. The access will serve an at-grade bitumen car park with a total of 75 car parking spaces. The access and car parking were recently constructed as part of Stage 1.
- A second vehicular access will be provided from Oval Terrace at the northern end of the site. The new access will serve an at-grade bitumen car park with a total of 58 car parking spaces.
- Service vehicles will access the site from Oval Terrace via the new car park.
- A concrete entry statement measuring 5m in length and 750mm high will be constructed adjacent to the new access on Oval Terrace.

## Staging

The proposed development will be staged as follows:

- Stage 1 – the western side of Weigall Oval comprising new play space, tennis courts, public toilet, car parking, reserve lighting and reserve upgrades. This stage has been completed.
- Stage 2 – demolition of trotting track and construction of new clubroom building and northern car park.
- Stage 3 – demolition of existing playing fields and construction of soccer and baseball fields, associated fencing, perimeter landscaping and flood lighting.
- Stage 4 – demolition of existing clubroom and construction of junior shared pitch (soccer & baseball).

Refer to **Attachment 1** for the proposal plans and supporting documentation.

## PUBLIC NOTIFICATION

The application is a Category 3 form of development pursuant to Section 38 and Schedule 9 of the Development Act and Regulations.

<b>Properties notified:</b>	142 properties were notified during the public notification process.
<b>Representations:</b>	Two (2) representations were received.
<b>Persons wishing to be heard:</b>	One (1) representor identified that they wish to address the Panel. <ul style="list-style-type: none"> <li>• Karren Hazledine of 22 James Street, Plympton</li> </ul>
<b>Summary of representations:</b>	Concerns were raised regarding the following matters: <ul style="list-style-type: none"> <li>• The development and consultation process for the development do not represent the interests of the community;</li> <li>• Lack of indigenous consultation;</li> <li>• The development does not give consideration to the disability sector; and</li> <li>• Increased car parking and traffic congestion on James Street.</li> </ul>

<b>Applicant's response</b>	<ul style="list-style-type: none"> <li>• The development represents the interests of the community through meeting objectives identified in Council's suite of strategic management plans (i.e. Community Plan, Infrastructure Plan and Strategic Directions Report);</li> <li>• Extensive consultation was undertaken with a broad range of stakeholder (sporting) groups and the wider community as part of the Master Plan process;</li> <li>• Surveys and media releases were conducted, as well as targeted public consultation relating to the development occurred in accordance with the requirements of the Local Government Act and Council's Public Consultation policy;</li> <li>• The baseball club is not the only party which will benefit from the delivery of this project. The soccer club will also utilise a portion of the building and the wider community will have access to the hall/function space at times when the building is not required for club use;</li> <li>• Whilst Council adopts an inclusive approach to its consultation with the public, consultation with specific individual interest groups was not undertaken as part of the Master Plan process;</li> <li>• The new building and surrounds has been designed to meet all applicable requirements under the Building Code of Australia (BCA) and disabled access legislation;</li> <li>• Additional car parking within the Oval precinct will be provided as part the next stage of works and speed limits will remain at the designated 50km/hr for local streets; and</li> <li>• Signage warning motorists of pedestrians has been installed along Birdwood Terrace, North Plympton.</li> </ul>
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A copy of the representations and the applicant's response to the representations is contained in **Attachment 2**.

## REFERRALS

### Internal

#### **City Assets**

##### *Traffic and Car Parking*

- The net increase in building floor area is less than 700m<sup>2</sup> requiring less than 70 spaces. The proposed parking provision of 133 spaces significantly exceeds this requirement.
- The typical parking rate adopted for functions is 1 space per 3 persons. A function of 240 people would therefore require 80 parking spaces. The parking provision would adequately cater for functions that may be held from time to time within the building.
- The increase in the number of parking spaces on-site (80 spaces) should be more than adequate to accommodate the likely increase in additional users anticipated. There is also significant on-street parking available on all four boundary roads of the subject site.
- The proposed northern car park access point on Oval Terrace is located in close proximity to McArthur Avenue. To comply with AS/NZS 2890.1-2004, the access point should be located at least 6m west of the prolongation of the western kerb line of McArthur Avenue, which is achievable.

- Given that the peak parking demands would be generated on weekends, the traffic flows around the adjacent streets would generally be lower than during weekday periods. As there is not likely to be a significant increase in attendance at the oval, there should not be capacity issues arising for the adjacent road network.

### *Stormwater Management*

- It is considered that addressing the standard stormwater management elements of the development is unlikely to result in the need for wholesale or notable change to the layout, appearance or functionality of the development. Accordingly, further detailed design of the stormwater management system, including the addition of Water Sensitive Urban Design (WSUD) techniques, could be resolved through the imposition of reserved matters.

A full copy of the relevant advice is contained in **Attachment 3**.

## **RELEVANT DEVELOPMENT PLAN PROVISIONS**

The subject land is located within the Community Zone as described in the West Torrens Council Development Plan. The main provisions of the Development Plan which relate to the proposed development are as follows:

<u>General Section</u>		
Community Facilities	Objectives	1 & 2
	Principles of Development Control	1, 2 & 3
Crime Prevention	Objectives	1
	Principles of Development Control	1, 2, 3, 4, 5, 6, 7, 8, 9 & 10
Design and Appearance	Objectives	2
	Principles of Development Control	1, 2, 3, 4, 9, 10, 11, 12, 13, 14, 15, 16, 19, 20, 21, 22 & 23
Energy Efficiency	Objectives	1 & 2
	Principles of Development Control	1, 2, 3 & 4
Infrastructure	Objectives	1, 2, 3, 4 & 5
	Principles of Development Control	1, 2, 3, 4, 5, 6, 8, 9, 10 & 11
Interface between Land Uses	Objectives	1 & 2
	Principles of Development Control	1, 2, 3, 5, 6, 7, 8, 9 & 10
Landscaping, Fences and Walls	Objectives	1 & 2
	Principles of Development Control	1, 2, 3, 4, 5 & 6
Open Space and Recreation	Objectives	1, 2, 3 & 4
	Principles of Development Control	1, 2, 12, 13, 14 & 15
Orderly and Sustainable Development	Objectives	1, 2, 3, 4 & 5
	Principles of Development Control	1, 3, 5, 6, 7 & 8
Siting and Visibility	Objectives	1
	Principles of Development Control	1, 2, 4, 5, 7 & 8
Transportation and Access	Objectives	1, 2, 3 & 4
	Principles of Development Control	1, 2, 5, 6, 8, 9, 10, 11, 12, 14, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 30, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42 & 43
Waste	Objectives	1 & 2
	Principles of Development Control	1, 2, 3, 4, 5 & 6

<b>Zone: Community</b>	
<b>Objectives</b>	1, 2 & 3
<b>Principles of Development Control</b>	1, 2 & 3

<b>Policy Area: Recreation Policy Area 5</b>	
<b>Desired Character Statement:</b>	
<p><b>Precinct 8 Open Space</b></p> <p><i>This precinct will accommodate private recreation land and open space for a range of active and passive recreational land uses. This precinct envisages the continued development of the existing golf courses for active recreation as international and national championship private courses with associated ancillary facilities. Horses often access the site. Development will be of a high architectural standard, designed and landscaped to enhance the amenity of the locality.</i></p> <p><i>Internal roadways, driveways and paths, other than for private golf course pathways, should be sealed in bitumen, concrete or similar impervious materials.</i></p>	
<b>Objectives</b>	1, 2, 3 & 4
<b>Principles of Development Control</b>	1, 3, 4 & 5

<b>Precinct: Precinct 8 Open Space</b>	
<b>Objectives</b>	
<b>Principles of Development Control</b>	14 & 15

## QUANTITATIVE STANDARDS

The proposal is assessed for consistency with the prescriptive requirements of the Development Plan as outlined in the table below:

DEVELOPMENT PLAN PROVISIONS	STANDARD	ASSESSMENT
STREET SETBACK <i>Design and Appearance</i> PDCs 20 & 21	Consistent with adjacent buildings	50m  <b>Satisfies</b>
LANDSCAPING <i>Landscaping, Fences &amp; Walls</i> PDC 4	10% (minimum)	50% (includes playing fields)  <b>Satisfies</b>
CAR PARKING SPACES <i>Transportation and Access</i> PDC 34	55 spaces (functions) 70 spaces (community use)  125 car parking spaces required	133 spaces provided  <b>Satisfies</b>

## ASSESSMENT

In assessing the merits or otherwise of the application, the proposed development is discussed under the following sub headings:

### Land Use

The subject land is situated within the Community Zone, Recreation Policy Area 5 and Precinct 8 - Open Space. The land is identified as a Local Reserve.

The Objectives for the Community Zone actively seek *“community, educational, recreational and health care facilities for the general public’s benefit”*. More particularly, the Objectives and Desired Character for the policy area encourage the use of land for private recreation and open space for active and passive activities.

In general land use planning terms, the proposed redevelopment of the site would not change the existing sport and recreational use of the land. For many years, the land has been used for sports and recreation by sporting groups and the public. The Adelaide Cobras Soccer Club and Adelaide Angels Baseball Club have long term leases over the reserve and share the facilities. The playing fields and reserve areas are accessible to the public at times they are not being used by the clubs. The proposed redevelopment of the site will replace an existing clubroom building that is no longer fit for purpose, with a new modern facility that will better serve the needs of sporting groups and the community more broadly.

Principle of Development Control (PDC) 2 of the Community Facilities module seeks to ensure that community facilities are *“integrated in their design to promote efficient land use”*. The proposed clubroom building has been specifically designed as a multi-purpose/integrated community facility, with change rooms and toilet facilities, meeting/medical rooms, kitchen facilities, a function room with bar and store rooms. The facilities will cater for the needs of key user groups (i.e. soccer and baseball) and provide the necessary revenue streams to ensure the community clubs that lease or use the facilities are financially sustainable. The commercial uses within the building (i.e. bar and function areas) have relatively modest floor areas and are well integrated with the main sport and recreation facilities.

The clubhouse building will be available for community hire for functions such as community meetings, corporate meetings and training sessions and presentation nights. The integrated design of the development therefore makes efficient use of the land as envisaged by PDC 2 of the Community Facilities module.

The proposal also satisfies Objective 1 and PDC 1 of the Community Facilities module in so far as the development is conveniently located and accessible to the community. The site can be accessed from both Marion Road and Anzac Highway and is well served by public bus routes and pedestrian and bicycle infrastructure, particularly that provided by the Westside Bikeway that runs adjacent the western boundary of the site.

The Objectives and Desired Character for the Community Zone clearly envisage sport and recreation facilities of this nature. The proposal is therefore considered to be an orderly and desirable form of development from a land use perspective.

### Built Form, Scale and Appearance

The Development Plan provisions promote contemporary and innovative building designs provided there is sufficient regard for the desired character of the area. Development that is of a *“high architectural standard, designed and landscaped to enhance the amenity of the locality”* is desirable within the zone and policy area.

The design of the clubroom building is contemporary and reflects the vision of the Council and sports/community groups to develop a modern and high quality sports and recreation precinct that is a landmark for the local community. The design incorporates visually interesting facades that feature a mix of materials and fenestration under a series of single pitch roofs that vary in height. The building layout and roof design seek to maximise views of the playing fields. The material palette is clean and robust, with both bright and earthy colours such as natural white, grey/silver and natural timber that provide visual interest and softening through 'light and shade'. The proposed building is appropriately designed in a contemporary and innovative manner that would contribute positively to the enhancement of the precinct.

The provisions within the Community Zone do not place any specific limitations on the size and height of new buildings. Buildings for sporting and recreation purposes are typically large as they are often required to cater for a variety of sports and recreation activities. The proposed building is 8m at its highest point above ground level, however the height reduces down to approximately 5m at both ends. Overall, the proposed building is not overly tall and the boundary setbacks of at least 50m to Birdwood Terrace ensures there is sufficient spatial separation to minimise the building scale from a visual perspective. The height and scale of the building is considered to satisfy PDC 1 of the Design and Appearance module.

Accordingly, the design and form of the proposed development is such that it would contribute positively to the existing precinct and the prevailing character and amenity of the surrounding area.

### **Interface and Operational Considerations**

As the Weigall Oval Reserve is situated within an established residential area in a Residential Zone, the Development Plan provisions require that any new development is designed and operated in a manner that 'minimises' adverse amenity impacts. While some noise and disturbance is inevitable, particularly from spectators and increased traffic movements during sporting and community events (as is already the case), it is important that the proposal incorporates strict operational management.

The main cause of disturbance is likely to come from vehicles accessing the site. While the proposal may generate additional traffic due to the enhanced facilities, vehicle manoeuvring and car parking will be improved by the proposed development. Additional car parking will be provided at the northern end of the site with the vehicle access located away from residences. As outlined in the traffic section below, a total of 133 car parking spaces will be provided within two new parking areas, which will significantly reduce the need for on-street parking, particularly along Birdwood Terrace.

In terms of hours of operation, there would be no significant changes to the current lease arrangements for sports and community groups that utilise the existing facilities within the precinct. The function area and bar within the building is unlikely to cause any significant disturbance as these areas are fully contained within the building and are located well away from residential properties. In any event, all activities within the building will need to be appropriately managed in order to meet the noise requirements of the *Environment Protection (Noise) Policy 2007*. Commercial deliveries will take place within daytime hours.

Conditions relating to the operating hours of the clubroom building, associated deliveries and control of lighting have been included as part of the recommendation should the CAP decide to support the proposed development. These arrangements will sufficiently protect the amenity of surrounding residential properties while also meeting the operating requirements of the facility.

Accordingly, it is considered that the proposal would not adversely impact upon the amenity of nearby sensitive uses by way of noise, light spill, glare or traffic. The proposal is considered to satisfy Objectives 1 and 2 and PDCs 1 and 2 of the Interface between Land Uses module.

## Sports Lighting

The proposal includes the construction of 14 light towers to be located around the periphery of the sporting fields. The light towers will range between 22m and 25m in height above ground level (6 x 22m and 8 x 25m) and will comprise of steel construction. Headlamps will be attached to the top of each tower.

While the proposed light towers would be visible from some surrounding residential properties, in most cases only the upper-most section of these towers would be readily visible. It is noted that the surrounding land does not exhibit any of the following qualities or characteristics:

- natural, rural or heritage character;
- high visual or scenic value; or
- coastal views or views from public reserves, tourist routes or walking trails.

The proposal therefore would not be at variance to PDC 1 of the Siting and Visibility module. Furthermore, the slim-line design and the amount of space around the towers would help minimise the visual impact in accordance with PDC 4 of the Siting and Visibility module.

In terms of potential for light spill, the applicant has provided light spill diagrams which demonstrate that light measured at the nearest residential properties would be well below 10 Lux, which is the maximum level allowable under Australian Standard 4282-1997 '*Control of the Obtrusive Effects of Outdoor Lighting*'. The lighting levels at the boundaries of nearest residential properties would typically be 2 lux or less.

The applicant has also confirmed that the lighting will be turned off by no later than 10.00pm each night. This curfew is considered reasonable in minimising the potential for noise and general disturbance to surrounding residential properties. A condition to this effect has been included within the recommendation.

## Vehicular Access, Car Parking and Traffic

The Development Plan provisions seek to ensure that new development provides safe and convenient access for vehicles and pedestrians and sufficient on-site car parking for patrons.

The proposal includes a new vehicular access point with simultaneous two-way access from Urrbrae Terrace which serves an at-grade bitumen car park with a total of 75 car parking spaces. The access and car parking were recently constructed as part of Stage 1. A second access and car park is proposed from Oval Terrace at the northern end of the site with a total of 58 car parking spaces. In addition to 133 on-site car parking spaces, there are numerous on-street spaces on both sides of Birdwood Terrace and James Street which have wide carriageways.

Council's Traffic Consultant considers the access point to the proposed northern car park to be located too close to the McArthur Avenue intersection. To comply with AS/NZS 2890.1-2004, the access point should be located at least 6m west of the prolongation of the western kerb line of McArthur Avenue. The required offset from the road junction is considered achievable and therefore a Reserved Matter to this effect is recommended. Subject to satisfying the reserved matter, the proposed access arrangements are considered to be safe and convenient in accordance with PDC 24 of the Transportation and Access module.

In terms of on-site car parking requirements, *Table WeTo/2 – 'Off Street Vehicle Parking Requirements'* prescribes car parking rates for various community, sports, recreation and commercial land uses. For instance, a community centre has a rate of one space per 10m<sup>2</sup> of floor space. A restaurant or dining room has a rate of one space per three seats. Based on the total floor area of the building and a maximum seating capacity of 165 within the function room, conservatively, the proposed clubroom building would generate a car parking demand for approximately 125 spaces. The provision of 133 on-site car parking spaces is therefore considered adequate.

Furthermore, the following observations are noted:

- The proposal will significantly increase the amount of on-site car parking available for patrons (the previous car park catered for only 52 spaces);
- The function room and bar would generate minimal additional traffic as most patrons would be users of the sports and recreation facilities (already on-site) and the size of the function area is relatively small; and
- There is ample on-street car parking spaces available along Birdwood Terrace and James Street during peak periods should it be required.

There is unlikely to be any traffic capacity issues on the surrounding road network as a result of the development as both Birdwood Terrace and James Street have wide carriageways with links to Marion Road and Anzac Highway. This has been supported by Council's Traffic Consultant.

Given the above considerations, the proposal would sufficiently meet the anticipated car parking demand generated during peak periods and would not lead to conditions detrimental to the free flow and safety of pedestrian and vehicular traffic on the surrounding road network.

### **Bicycle Access and Parking**

Given the location of Weigall Oval adjacent the Westside Bikeway, provision for the parking of bicycles has been made at the following locations within the subject site:

- adjacent the western entry of the new clubroom building;
- adjacent the playground area at the south-eastern end of the baseball pitch;
- alongside the batting nets fronting the junior soccer pitch; and
- close to the James Street entrance pathway.

These locations provide cyclists with safe and convenient access to the key facilities and playing fields across Weigall Oval from both the Westside Bikeway and surrounding residential streets. As a result, the proposed development is considered to satisfy PDCs 16, 17, 18, 19, 21 and 22 of the Transportation and Access module.

### **Deliveries and Waste Management**

A timber and steel clad bin enclosure measuring 4.8m x 2.8m is to be provided within the northern car park adjacent to the clubroom building. Commercial size refuse bins will be provided.

Waste collection vehicles will enter and egress from Oval Terrace during daylight hours and refuse collection will take place at least once a week. The proposed refuse facilities and delivery/collection arrangements are considered appropriate.

### **Crime Prevention and Public Safety**

Objective 1 of the Crime Prevention module seeks to ensure that public safety is carefully considered in all new development. The proposed development incorporates the following crime prevention measures:

#### *Passive Surveillance*

- views of sporting fields from the clubroom building;
- mostly low lying shrubs along the road frontages and adjacent to car parking areas;
- locating car and bike parking areas in close proximity to public roads; and
- defined and legible internal walking paths for pedestrian connectivity.

#### *Lighting*

- lighting provision within the new car parks and surrounding the proposed clubroom and outdoor sporting areas; and
- flood lighting for sporting grounds.



### Security

- 24 hour building alarm monitoring; and
- security patrols to be employed as required.

The above building design, lighting, landscaping and security measures would ensure adequate passive and active surveillance from within the site and from adjacent road frontages and other public areas. The relative openness of the new car parking areas and connectivity between facilities would also ensure there are no areas for potential entrapment in accordance with PDC 10 of the Crime Prevention module.

Accordingly, the proposed development is considered to achieve a safe and secure public environment.

### Trees, Landscaping and Fencing

While mature trees are to be removed during Stages 2 and 3 of the development, none of the trees are protected under the *Development Regulations 2008*. This has been confirmed by Council's Arborist.

Black colour coated chainmesh fencing is proposed surrounding the perimeter of the baseball diamonds ranging from 6m up to a maximum height of 8m. The purpose of this fencing is to improve safety for observers by preventing foul fly balls adjacent the batters plate from spilling into those observing. Fencing of this nature is commonly used around recreational and sporting facilities. As this fencing is visually permeable there are no unreasonable visual impacts associated with the installation of such fencing.

A series of landscape plans have been prepared which propose a mix of trees, shrubs and ground covers to provide shade and visually soften the car parks, road frontages and built form. The proposed landscaping is comprehensive and would provide an attractive setting for the proposed clubroom building, as well as provide some visual screening for residential properties along Oval Terrace and James Street. The proposed landscaping would therefore enhance the overall appearance and amenity of the development in accordance with PDCs 4 and 5 of Precinct 8 Open Space and Objective 1 and PDC 1 of the Landscaping, Fences and Walls module.

### Stormwater Management

The proposed development includes a stormwater management system designed by TMK Consulting Engineers for the on-site management of stormwater runoff from the proposed building, car parking areas and other impervious surfaces. The stormwater system incorporates a series of sumps to collect and dispose of runoff from the car parks and playing fields, with bio-retention trenches to be used within the new northern car parking area.

Although Council's City Assets Department is satisfied in principle with the civil design, as the stormwater design does not include mechanisms to harvest and re-use stormwater, or provides sufficient stormwater quality improvement measures, a Reserved Matter is recommended so that these matters can be satisfactorily addressed prior to the granting of Development Approval.

## SUMMARY

Having considered all the relevant Objectives and Principles of the Development Plan, the proposal is not considered to be seriously at variance with the Development Plan. In particular, the proposal is considered to:

- be an orderly and desirable form of development in the context of the site and its locality;
- provide much needed improvements to existing sport and recreation facilities, whilst expanding the facilities within the precinct in order to attract new community user groups and provide revenue streams for community sporting clubs and groups;
- be appropriately designed in a contemporary and innovative manner that contributes positively to the prevailing streetscapes and the overall character and amenity of the locality;
- not significantly impact upon the amenity of nearby residential properties or the locality more generally;
- provide sufficient on-site car parking and safe and convenient access so as not to lead to conditions detrimental to the free flow and safety of vehicular traffic within the site and on the adjacent road network;
- provide an appropriate level of on-site bicycle parking at convenient and accessible locations across the site to encourage people to cycle, rather than drive, to the Oval; and
- incorporate appropriate measures for passive and active surveillance in order to achieve a safe and pleasant public environment.

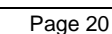
For all of the above reasons, the proposal is considered to achieve the Objectives and Desired Character for the Community Zone while sufficiently according with the relevant provisions of the West Torrens Council Development Plan consolidated 6 February 2018. Accordingly, the application warrants the granting of Development Plan Consent.

## Attachments

1. **Plans and supporting information**
2. **Representations and applicant response**
3. **Referral response**

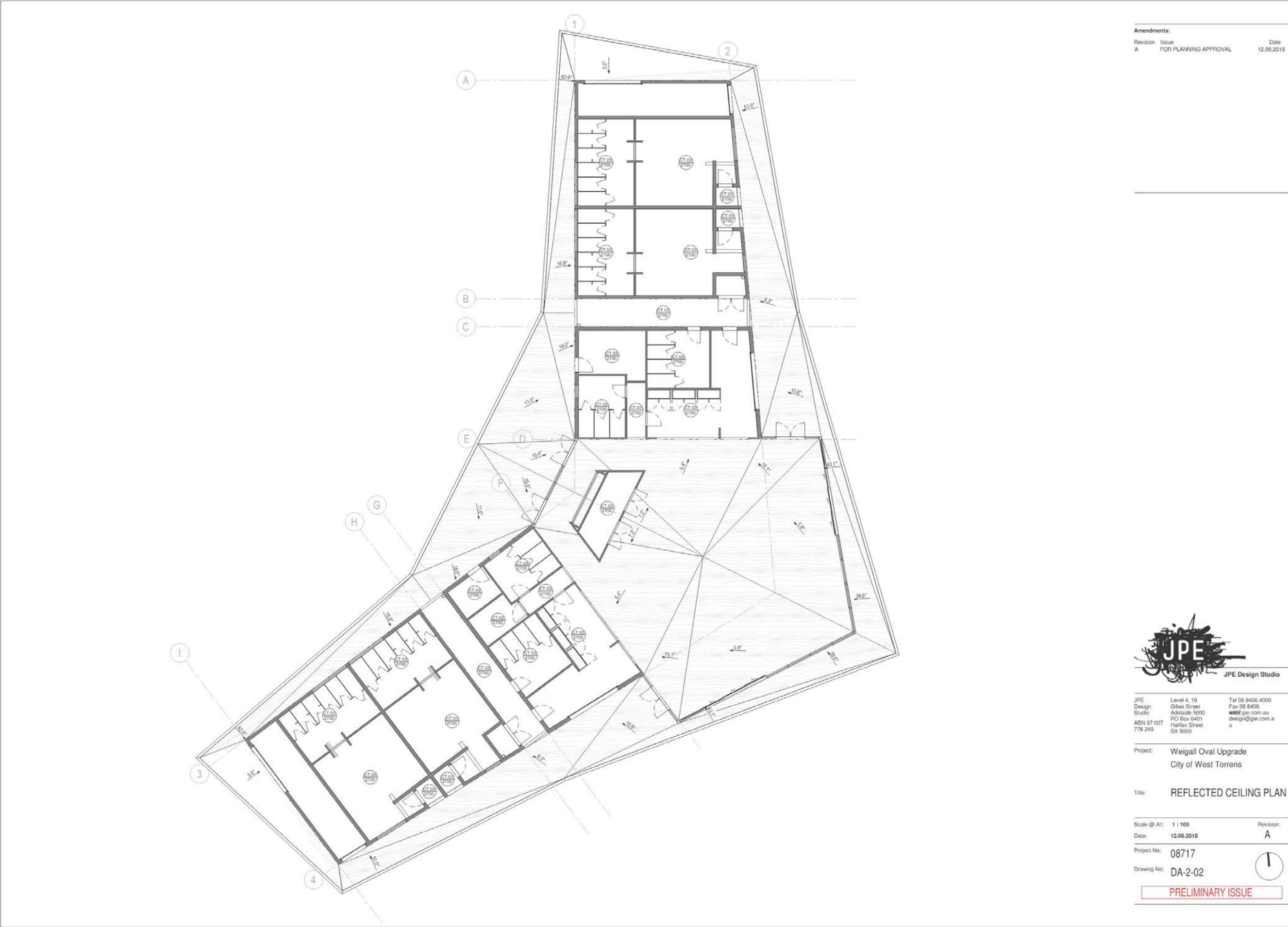




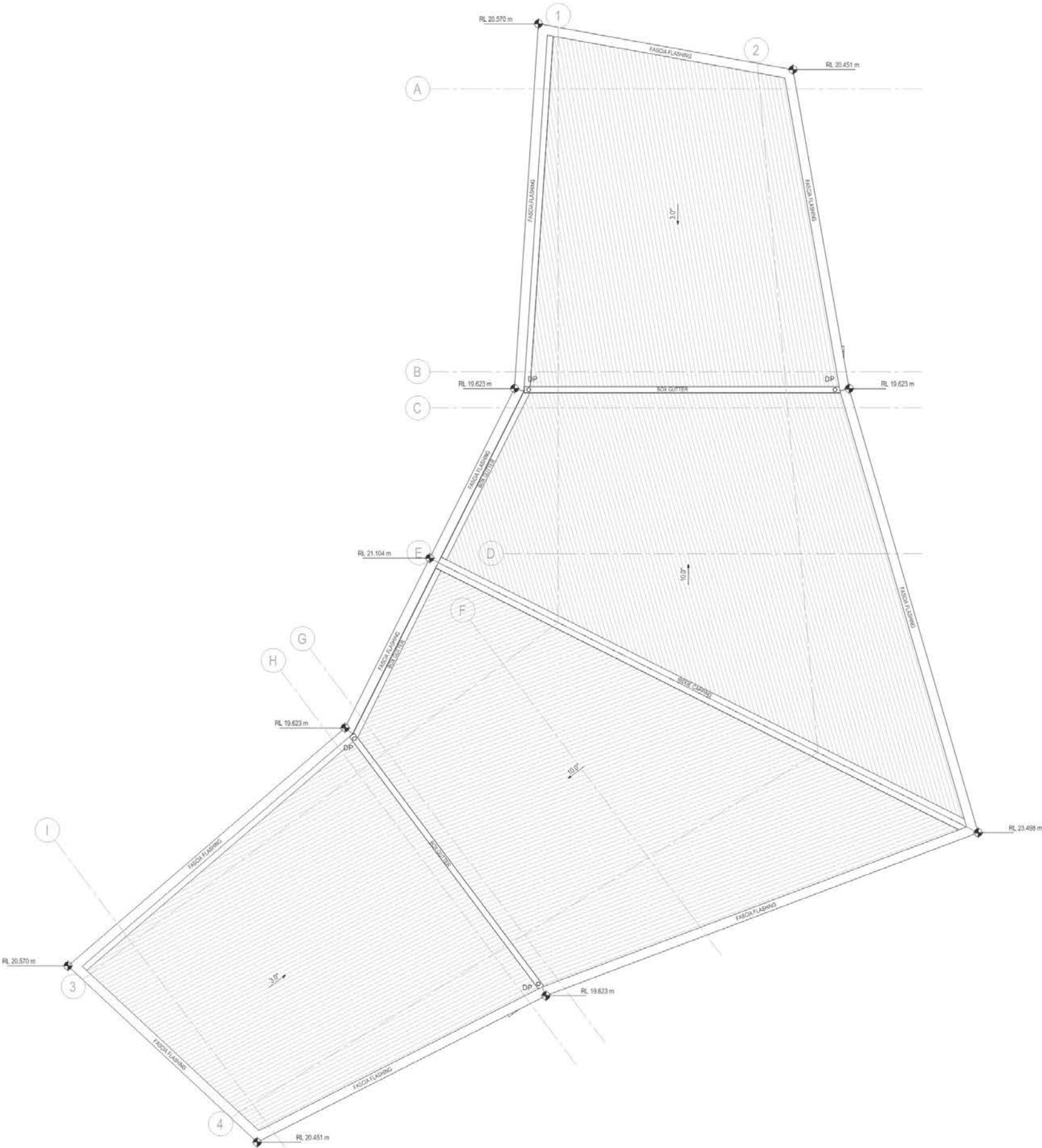












Amendments:

Revision	Issue	Date
A	FOR PLANNING APPROVAL	12.06.2018



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SA 5000  
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Project: Weigall Oval Upgrade  
City of West Torrens

Title: ROOF PLAN

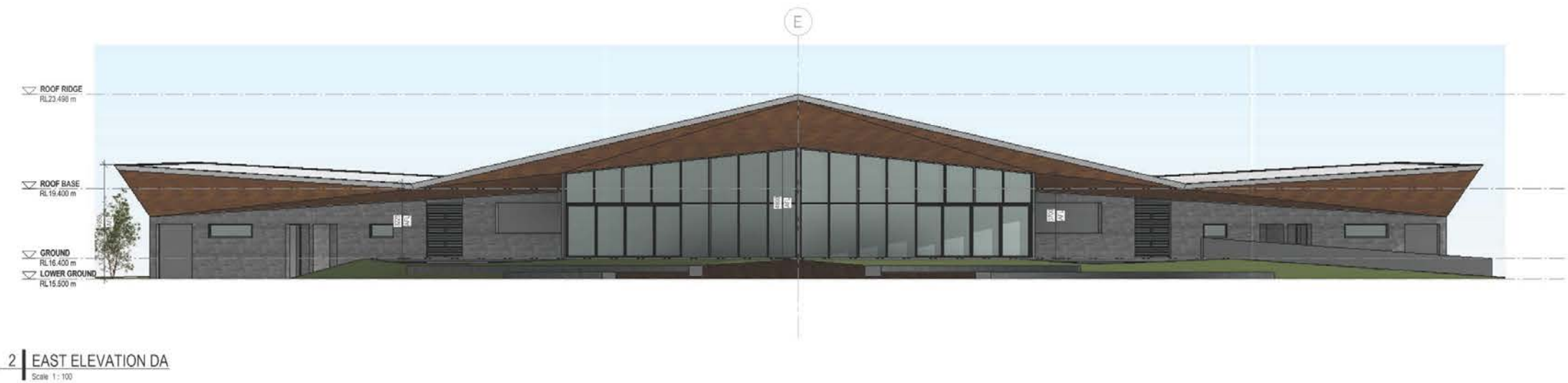
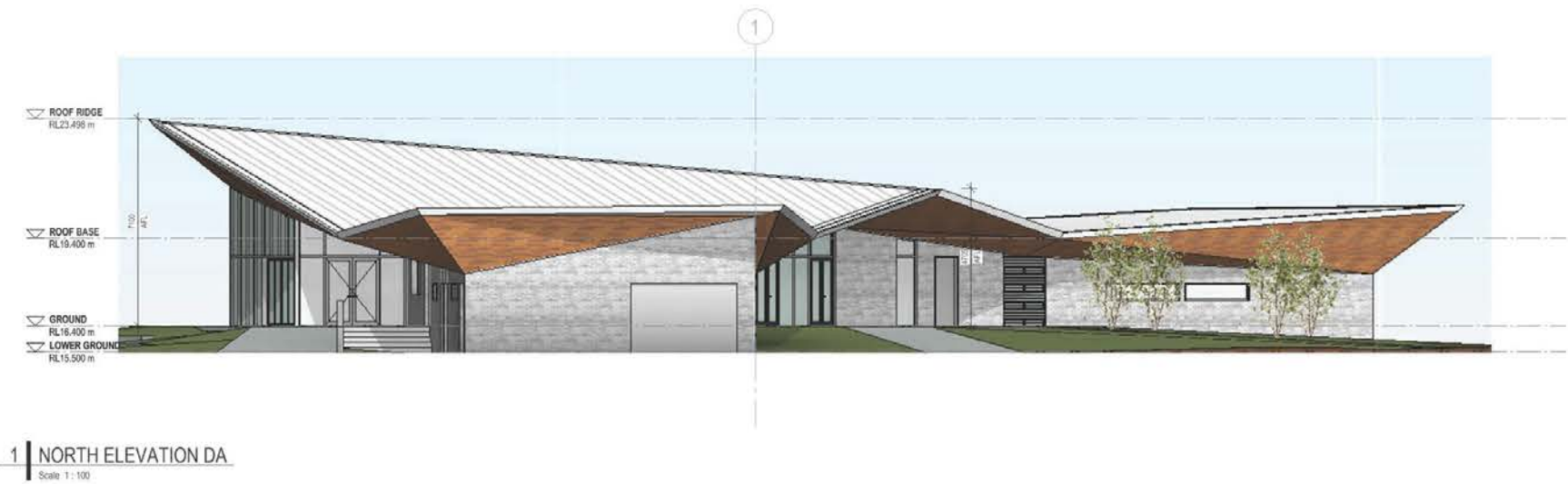
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Revision: A

Project No: 08717

Drawing No: DA-2-03

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Project: Weigall Oval Upgrade  
City of West Torrens

Title: ELEVATIONS

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Date: 12.06.2018  
Revision: A

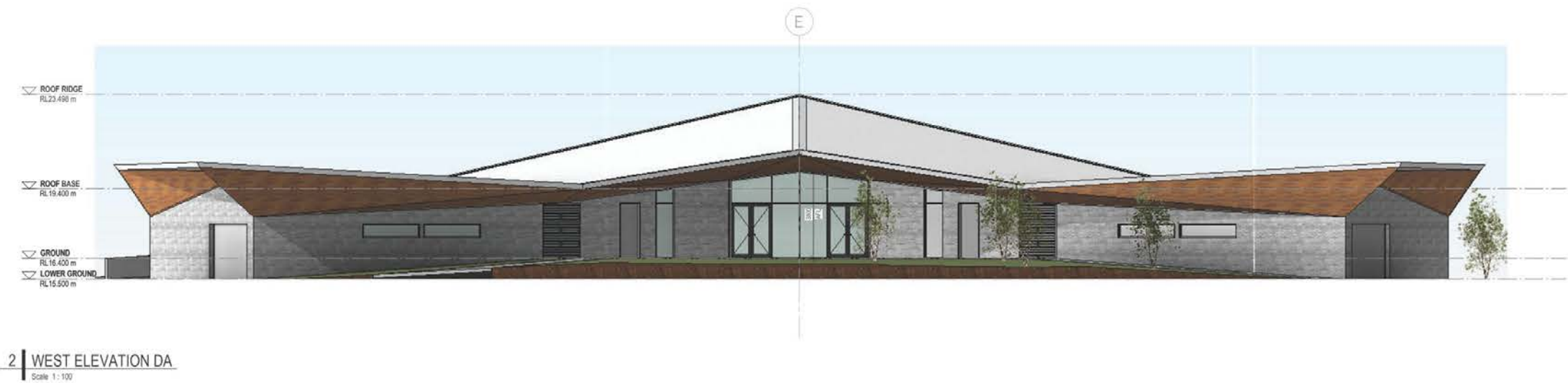
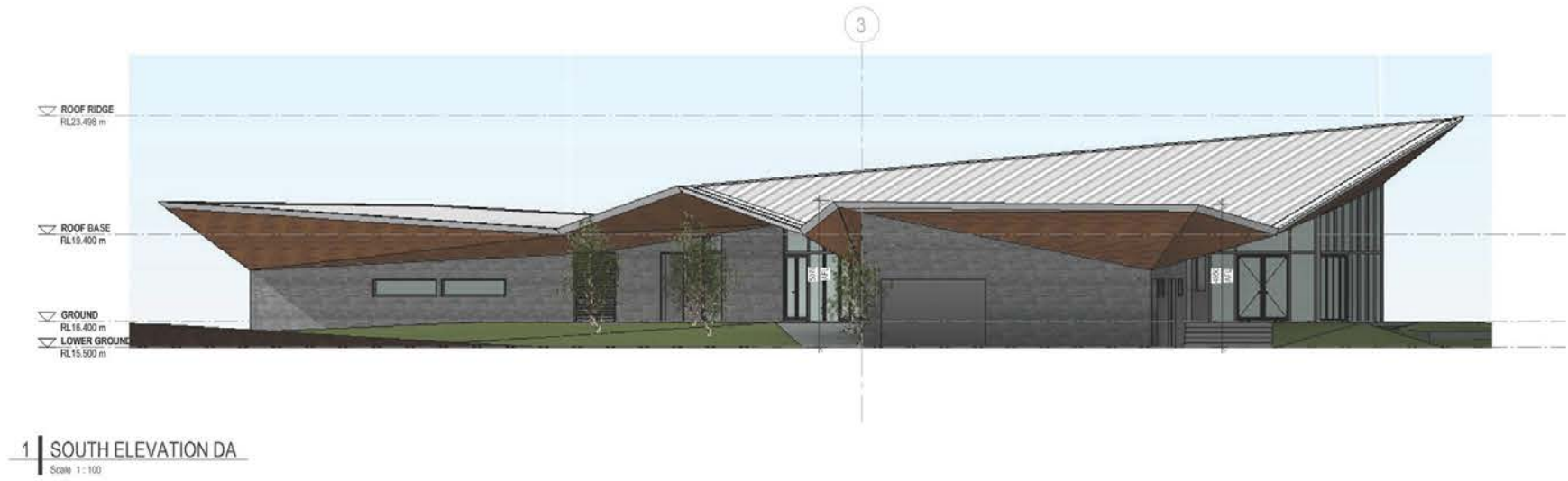
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Drawing No: DA-3-01

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Project: Weigall Oval Upgrade  
City of West Torrens

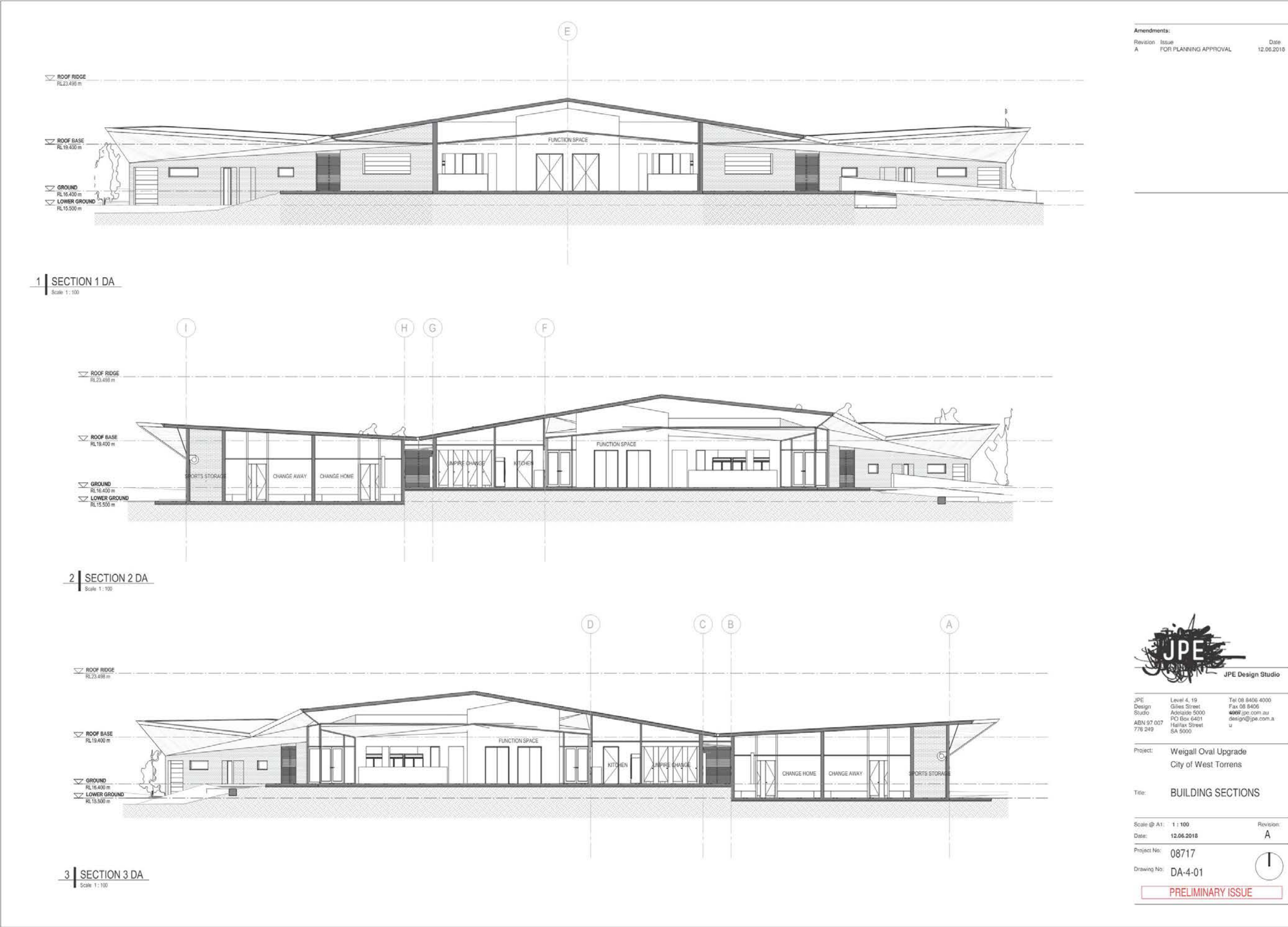
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Revision: A

Project No: 08717

Drawing No: DA-3-02

PRELIMINARY ISSUE





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Project: Weigall Oval Upgrade  
City of West Torrens

Title: BUILDING SECTIONS

Scale @ A1: 1 : 100  
Date: 12.06.2018  
Revision: A

Project No: 08717

Drawing No: DA-4-02

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Project: Weigall Oval Upgrade  
City of West Torrens

Title: 3D VIEWS

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Project No:	08717	
Drawing No:	DA-5-01	

PRELIMINARY ISSUE



Amendments:		
Revision	Issue	Date
A	FOR PLANNING APPROVAL	12.06.2018



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Project: Weigall Oval Upgrade  
City of West Torrens

Title: 3D VIEWS

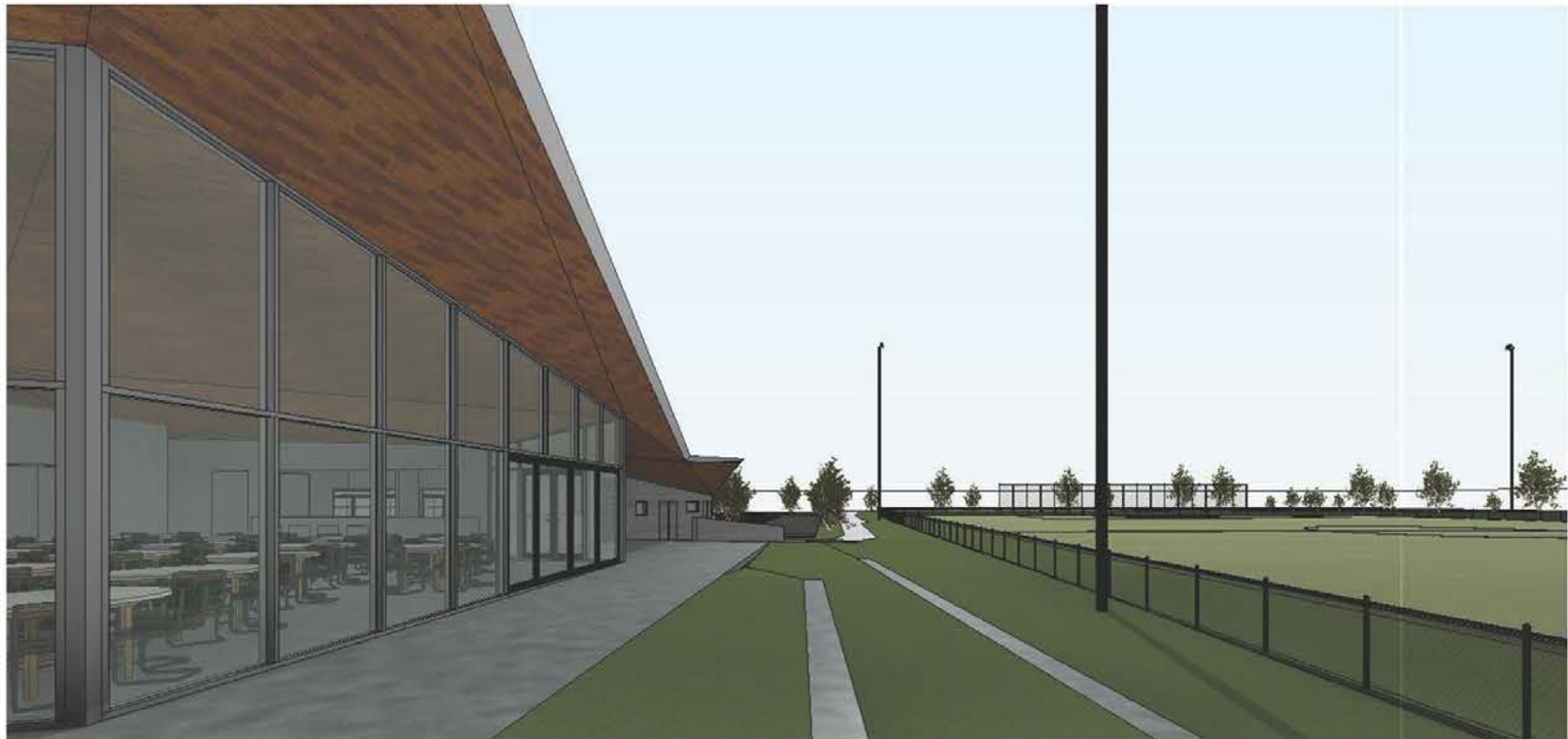
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Revision: A

Project No: 08717

Drawing No: DA-5-02

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Amendments:		
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Project: Weigall Oval Upgrade  
City of West Torrens

Title: 3D VIEWS

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Date: 12.06.2018	A

Project No: 08717

Drawing No: DA-5-03

PRELIMINARY ISSUE



Amendments:		
Revision	Issue	Date
A	FOR PLANNING APPROVAL	12.06.2018



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Project: Weigall Oval Upgrade  
City of West Torrens

Title: 3D VIEWS

Scale @ A1: Date: 12.06.2018 Revision: A

Project No: 08717

Drawing No: DA-5-04

PRELIMINARY ISSUE



# Weigall Oval Stage 2 + 3

## Sports Clubrooms + facilities

Weigall Oval, Plympton SA



JPE Design Studio

Development Plan Application  
22<sup>th</sup> June 2018





08717-WEIGALL OVAL STAGE 2+3-Sports Clubrooms + Facilities-Concept Design Report



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### Appendix

- TMK Services Masterplan
- Services survey - Weigall Oval SW2
- Topographic survey 31.5.2016
- Weigall Oval \_ CT (A2033172)
- Tree assessment

# 1.0 Introduction & Development Summary



## Introduction

This document has been prepared as part of a Building Schematic Design & Progress Site Scheme for Stage 2 + 3 of the proposed new Sports Clubrooms and Landscape at Weigall Oval, Plympton.

Stage 2 + 3 works are part of an overall masterplan undertaken in 2013 by JPE Design Studio and Suter Planners for Weigall Oval and was endorsed by Council in 2014.

The project involves the design development and documentation of the Stage 2 and 3 landscape works, plus concept design, design development and documentation of the proposed clubroom building.

Key scope items included in Stage 2 include:

- New shared use club building with sporting focus and some community use, with a 700m2 footprint
- Demolition of trotting track and existing clubrooms
- Construct associated path network and linkages
- General improved landscaping and amenity, including park furniture selections

Key scope items included in Stage 3 include:

- Demolish current sports field fencing and playground
- Construct new playing fields (senior soccer pitch, international baseball diamond and juniors shared
- use area) including lighting, fencing, irrigation and drainage as appropriate
- Construct northern carpark
- General improved landscaping and amenity, including park furniture selections

The project presents a unique challenge due to it's vast size (over 40,746m<sup>2</sup>) and vested interests from clubs and community to deliver a quality, contemporary and functional facility with substantial surroundings, whilst being flexible and future ready. The Design has been developed with close consultation with the Client (City of West Torrens) and Sporting Clubs.

The project team comprises of:

City of West Torrens  
Client

JPE Design Studio  
Architecture / Interior Design and Landscape Architecture

TMK Consulting Engineers  
Building Services,Structural & Civil Engineers

Living Turf  
Turf and Pitch Specialist

Cameron Irrigation Consulting  
Irrigation Consultant

Mackgroup Kitchen Consultants  
Community Kitchen Design



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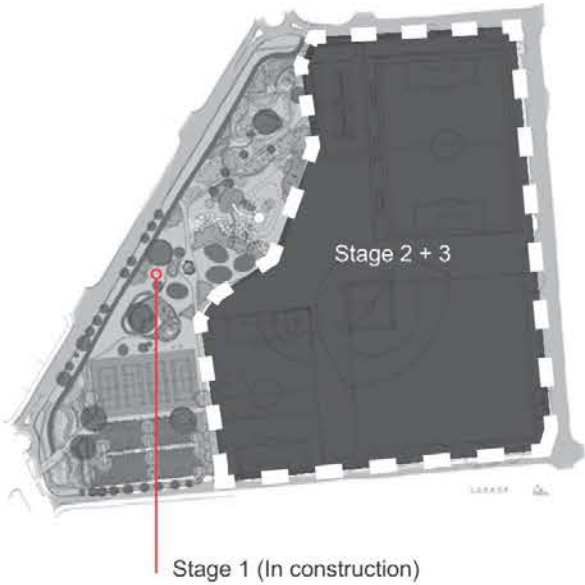
2.0 Site Context & Analysis



Stage 1 - Community Park   Existing Clubrooms   Subject Site   Race Track   Angels Baseball Pitch   Cobra's Soccer Pitch



Site Context Plan - Macro





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Site Context & Locality Plan

The subject site is located at Eastern portion of Weigall Oval, Plympton, Adelaide. The subject site area is approximately 40,746m<sup>2</sup>, is bounded by Urrbrae Avenue, James Street and Oval Terrace.

The built form in the vicinity of the subject site is predominantly residential.

The existing trotting track covers the majority of the stage 2 site with an existing soccer and baseball pitch to the centre. These will both be demolished as part of stage 2 and 3.

The land to the western portion of the site is currently in construction of a community park and tennis facilities as part of the stage 1 works. The current Sports Club building on the southern end of the site will be demolished to allow for the shared junior soccer and baseball pitch.

A contiuous bike path that runs along Birdwood Terrace on the western side of the community park will remain.

The new building is located centrally within the site with adequate offstreet parking from both Urrbrae Terrace and Oval Terrace.

Legend

Single Storey Residential

Subject Site





Site Context Photographs

The following images indicate the existing character and context of the built form and landscape in the vicinity of the subject site.





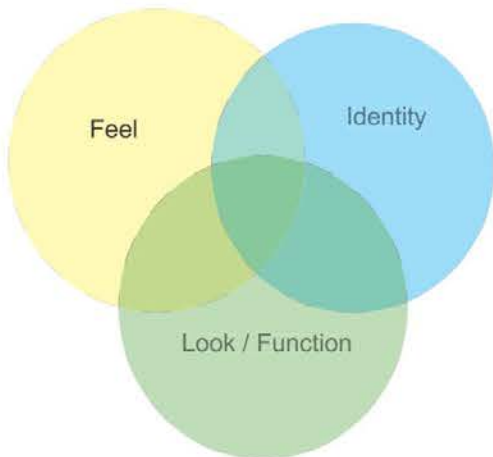


Consultation

On the 21st of November 2017, JPE Design Studio met with Council and Club representatives to discuss the direction and aspirations for the new Sports Clubrooms. Attendees included two representatives from Adelaide Angels baseball Club and three representatives from Adelaide cobras. Stakeholders were asked to find words that best described their ideal future clubrooms.

JPE Design Studio presented a preliminary design drivers for the project that was well reviewed and provided a basis for further discussion.

Stakeholder Feedback



Feel

Tradition  
Relaxed  
Functional  
Inclusive  
Inviting  
Safe

Identity

Future ready  
Family oriented  
Ownership  
Community

Look/Function

Modern open feel  
Views  
Able to supervise kids  
Proximity to fields  
Adaptable  
Shelter

Represented Sporting Clubs

The consultation allowed for a better understanding of the clubs needs and future plans and opportunities that should be considered in the overall design of the building and surrounding spaces.

 ADELAIDE OMONIA COBRAS EST-1972	 ADELAIDE ANGELS BASEBALL CLUB Est. 1908
Adelaide (Omonia) Cobras Soccer Club	Adelaide Angels Baseball Club
280 players accross 18 teams 14 teams from U7-U18 Reserve team 1st Div team 2 amateur teams Games played all day Sat + Sun	145 players 325 members 12 teams - 6 junior + 6 senior Games played all day Sat + Sun Training in winter on Tues + Wed Season 1st Oct - end of Mar





## Facility use and leasing arrangements

Soccer and baseball are the two key sports played at Weigall Oval, with leases currently held with:

- Adelaide Cobras (Omonia) Soccer Club, and
- Adelaide Angels Baseball Club

Both Clubs currently share the lease of the Weigall Oval premises. Baseball hold the lease from the first day in October until the last day in March each year, and soccer hold the lease from the first day in April to the last day in September each year.

With the Stage 2/3 Upgrade to Weigall Oval, it is anticipated that this arrangement will continue for the Clubrooms, changerooms and junior field/pitch however, each club will be the sole leaseholder (full 12 months per year) of their respective sports field and kitchen/bar area.

Currently, the use of Weigall Oval by the lease holders is:

Adelaide Angels Baseball Club:

- During Summer Season, training occurs most evenings each week from 4.30pm to 8.00pm. In addition, Tuesday nights are set aside for Twilight games (Div 1) with the Diamond in use from 5pm to 8pm.
- Competition games are typically played on Friday nights (Women's comp), Saturday's and Sunday's during the summer, and, depending on programming can run anywhere from 9am to 6pm (on Saturdays and Sundays). Junior Games also operate on Sundays resulting in 2 diamonds in use.
- During winter, the Club currently operates training and games for approximately half the number of teams as in summer. Training is typically one to two nights per week from 6pm to 8.30pm. Winter games are only played on Saturdays and the diamond could be in use from 9am to 5pm.

Adelaide Cobras Football Club (soccer):

- During Winter Season, training occurs most evenings each week until approximately 8.00pm.
- Senior and Junior competition games are typically played on Saturday's and Sunday's during the winter, and, depending on programming can run anywhere from 9am to 5pm.
- During summer, the Club currently operates some training for a small number of teams and participates in junior tournaments on occasion. Training is typically one to two nights per week until approximately 8pm and tournaments run on weekends between 9am and 5pm.

The current lease for both Clubs stipulates pitch/field lighting should not be used after 10.30pm. This will continue to be a requirement with the upgraded facility. It is not envisaged that the existing use of the facility will change dramatically with the construction of a new building. However, with the introduction of separate sporting fields, it is expected that both fields will be in operation (although reduced during the respective off-seasons) year round.

The predominant use of the Clubrooms will be weekends when games are played at home. The canteens will be operational and there may be food service or bbq's that take place. Social activities, meetings and other club related activities will also be undertaken in the facility on an as-needs basis.

Weekends are important fundraising and social nights for the Clubs and often include a BBQ or dinner service. Social activities operate year round (baseball activities in summer and soccer activities in winter currently). The number of social activities may increase with the new building, however the times of use would still be within the licenced days/times. Overall, numbers are not expected to increase significantly. It is expected numbers will range from 30 people to full capacity of the function space. Presentation evenings will also be held in the new facility 1-2 times per year per club where the facility will be used to its capacity.

Although numbers of members for each club may increase with the construction of a new facility, it is not seen as a significant increase due to the fact that both of these clubs are currently strong with large numbers of junior and senior participants.

As is the case with the existing clubroom facility, the lease currently (and will continue to) stipulate that "Sports facilities on Community Land will be accessible to all residents.

Recognising that some sports surfaces need to be protected by locked fencing, clubs are required to facilitate community use by way of hire or social membership".

There will therefore continue to be an opportunity for the public to hire the function space for birthday parties, meetings and other community activities. It is anticipated that community hire of the function space will occur on week days and weeknights year round, and weekend evenings when not in use by the lessees (Clubs).

The types of activities that may take place at the facility include:

- Community group meetings such as Neighbourhood Watch, mum's groups etc.
- Training for community groups such as first aid and volunteer management
- Celebrations (birthdays, engagements, christenings etc).

The operation of the clubroom building will span 7 days per week. Finishing times for hires would be conditioned by hire terms and conditions to be developed. It is envisaged that the majority of hires would conclude by midnight.

It is not envisaged the community space will be used to capacity (i.e. will not be hired at each available time/date) and it is expected that most usage will occur in the day time. It is expected most community hires will be attended by small numbers (20-40 people), except for functions where numbers would be expected to be larger.

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## Design Brief

Following the consultation a design brief document was developed to capture the needs and aspirations of stakeholders. This was presented to council on the 27th November 2017.

### EXTERNAL AREAS

Emphasis on shelter from rain and sun  
 Need to be able to fence off soccer pitch and carpark for ticketing for state games in the future  
 Lighting – investigate upgrade of lighting requirements/light spill issues  
 Provide adequate space for spectators that gather along sidelines – approx. 100-300 people  
 Batting cages – location was discussed. CWT to confirm scope within project  
 Soccer race required on race day (approx. 2mx4m)  
 JPE to confirm size of junior pitch whether it is large enough for U14-U16 games  
 Potential outside cooking area – Baseball has a BBQ on trailer  
 JPE to investigate successful facilities at Henley/Grange, Sturt and Glenelg (Woodville clubrooms too far away from pitch)

### BUILDING LOCATION AND SURROUNDS

Generally soccer would prefer change rooms and building close to the centre of the pitch and allow space for players race  
 Baseball agreed in principle with the idea of the building on a mound with lawn terraces. Ideally building within 30m of diamond.

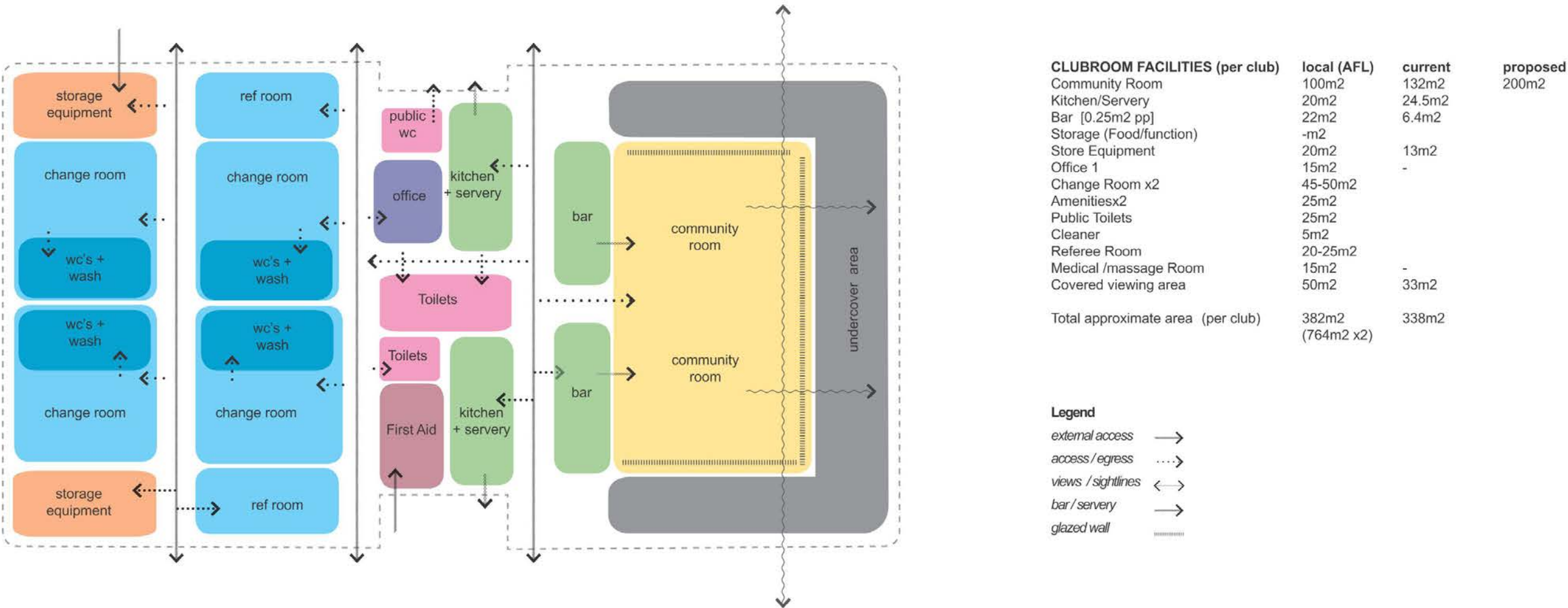
### BUILDING

Single storey approach was discussed highlighting complications and ongoing costs of elevators if 2 storey that would be added expense for clubs  
 Agreed approach for shared community space with flexible use between clubs:  
 Two separate bars – split between clubs (Due to stock and licencing arrangements)  
 Split four change rooms between clubs (flexible for state games)  
 Requirement for gear storage to be separate and accessible from outside (currently have about 10-20m2 shared by both clubs)  
 Two separate kitchen work areas  
 100-200 people at functions currently (roughly 1 per month) but both clubs would prefer to be able to accommodate more people.  
 Agree with operable wall to divide social space allowing one larger space for bigger events  
 Kitchen & Bar  
 Kitchen currently generates majority of revenue  
 Kitchen requirements – fryer, dishwasher, coolroom, bench space, fridge/ freezer etc  
 Locate serving of food close to where spectators are for sales & volunteers  
 (volunteers ideally still need to see game + supervise children)  
 Consider separate food truck/kiosk  
 Potential integration of laundry facilities  
 Consider future growth of clubs – new facilities will attract more players/members  
 Could have 'walk of fame' / trophy display at entry of building



Spatial Arrangement

A spacial arrangement plan was developed based on best practice, budget and space. This was used to better understand the flow and function of the building as well as opportunity for flexibility.



# 3.0 Design Response

## Design Themes - Vision

The following themes have been developed in consultation with the City of West Torrens and club representatives, as a way of explaining the key aspirations for the project.



DESIGN THEME 1



### IDENTITY

- Shared use - ownership of spaces
- Keep connections to traditions and history
- Family oriented

DESIGN THEME 2



### CONNECT

- Close proximity to all playing fields for spectating
- Activated spaces inside and outside

DESIGN THEME 3



### SOCIAL

- Able to cater for various events
- Relaxed and Inclusive
- Community involvement

DESIGN THEME 4



### SAFE

- Be able to supervise kids from most spaces
- Open and transparent
- Encourage volunteers during matches
- Safe access for players

DESIGN THEME 5



### SMART

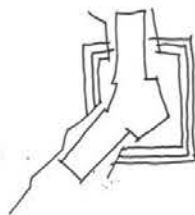
- Have an open modern feel
- Be flexible for different uses
- Be future ready to allow for changing needs
- Provide shelter for spectators





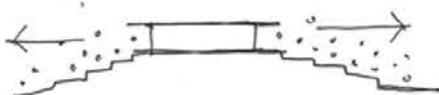
Design Themes - Landscape

The following diagrams explain the key design drivers that have influenced the landscape of the design.



CONNECTION TO SITE - LANDFORM

A key design driver for Weigall Oval Stage 1 was to retain the existing mounds on the site. These mounds provided topographical relief to the otherwise flat site while providing viewing opportunities.



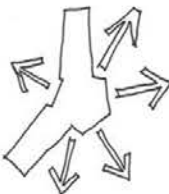
RAISED PLATFORM

To cohesively connect with stage 1 the use of landform was also adopted by placing the building on a platform serving as both a land feature and viewing platform. The building should act as a destination to view the wider landscape from an optimal vantage point.



ACTIVATED SPACES

Internal circulation paths in and around the building with voids structured around circulation points should become a focus, creating key zones within the building that facilitate connection between multiple functions. This will maximise and reinforce access to a wider community.



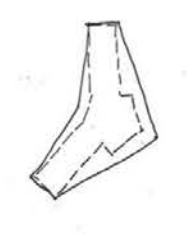
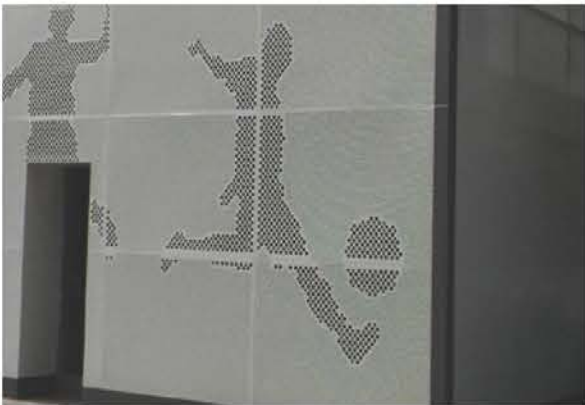
CONNECTEDNESS

A direct ground level connection from the internal and external spaces will ensure users feel connected to the action whether they are playing, supervising or volunteering. The new building should be exposed and expressive to allow both building users as well as the wider community to feel engaged with the spaces within.



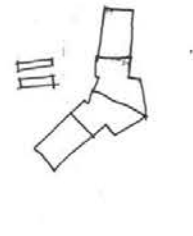
Design Themes - Built Form

The following diagrams and images explain the key design drivers that have influenced the built form and functional layout of the design.



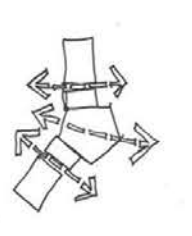
SHELTERED SPACE

Consultation highlighted the need for shade and shelter for spectators. This provides opportunity for the roof to become not only functional but a visual focus for the built form. The roof shape was influenced by the building typology of Plymton with typically hipped roofs to strengthen ties to its surroundings while providing a modern interpretation.



SHARED SPACES

The provision of one clubroom for two clubs requires flexible spaces that will allow users the opportunity to use facilities for separate functions at the same time. The spaces should enable multiple uses that encourage revenue opportunities for the club ranging from formal occasions such as weddings and club presentations to informal social gatherings.



TRANSPARENT

The brief identifies the need for an open modern feel to the building with good connections to spectators and views to playing fields. This transparency allows for greater supervision providing safety for younger players and enables better opportunity for spectator participation within the club.



IDENTITY - PAST + PRESENT

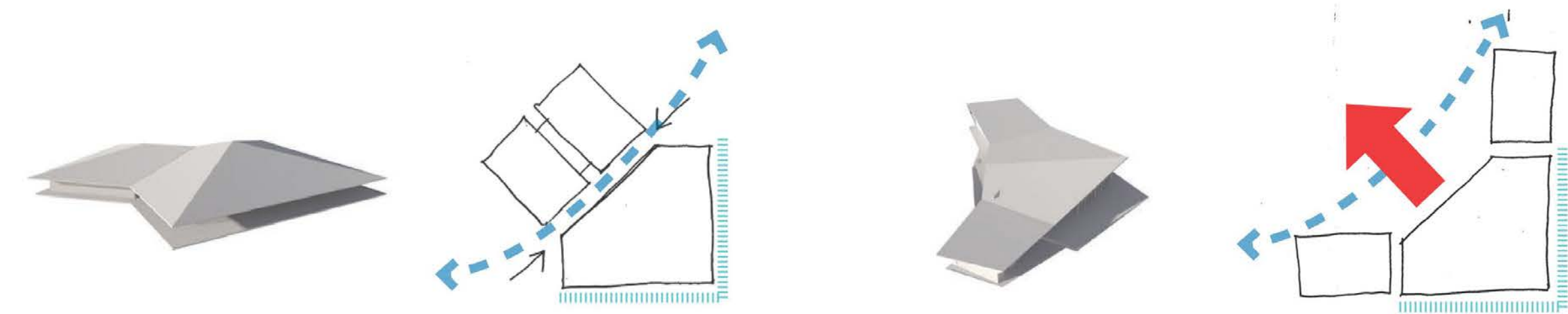
The new building can represent connections to the sites history while allowing flexibility in the use and ownership of the spaces. This could be achieved through form, material or graphic representation.





Building Form Development - Compact vs Semi Circular

Several arrangements of form and program were considered to address the design themes and aims of the stakeholders.



COMPACT

The initial concept design was for a compact form with shared bar/kitchen and amenity that was able to be easily divided into one or two flexible spaces depending on the users needs. The building was angled to towards the playing fields for optimum viewing however the shape lacked an singular arrival point and would have its back to 50% of the Oval.

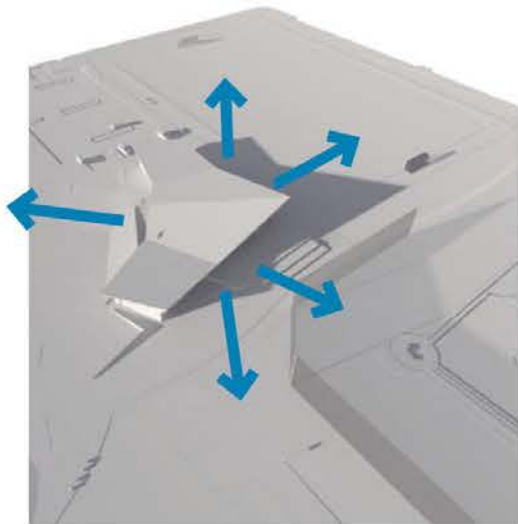
SEMI-CIRCULAR

By pulling out the changerooms to each side of the building created better opportunity provide a formal entrance and address the remainder of the Oval and Community Spaces. This was achieved by using the same footprint.



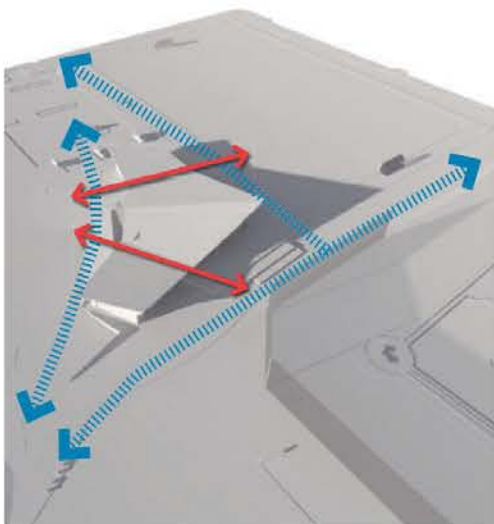
Building Form Development - Context Interface

The following diagrams highlight how the new building's overall form and massing has responded to the site context.



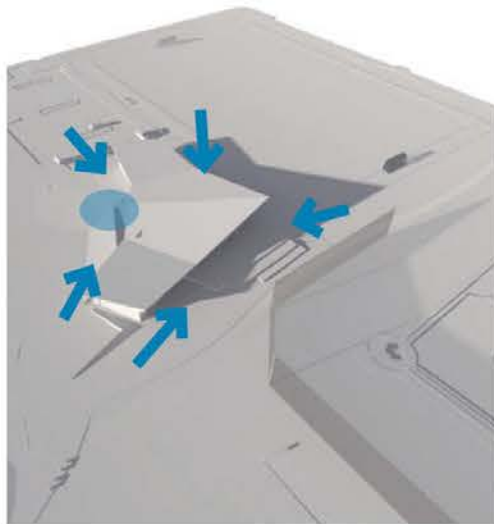
VIEW

The arrangement of form and program address both playing fields and allows for maximum views across the site.



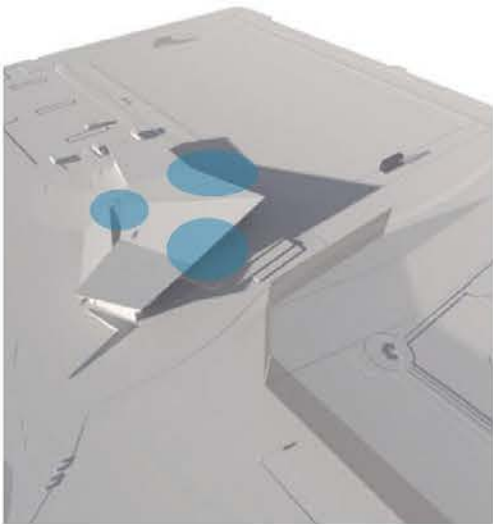
CIRCULATION

The building's location in the centre of the site allows for intuitive circulation route through and around the building. The breezeways through the building provides opportunity for natural ventilation and permeability. Player entry points are separated from general public providing safe transitions from building to pitches.



ARRIVAL

The design has no obvious front or back addressing all sides of the park. Visitors are directed to arrival points by pathways and landscaping. The shape of the roof enables a visual queue to the main areas.



GATHER

The overhang of the roof provides large shaded areas at the best spectator viewing points that connect to the main functions areas.



Building Form Development - Context Interface

The following diagrams show how the new building’s overall form and massing sits within the wider landscape context and has responded to the a sense of arrival.



The Landscape emulates the buildings angular form making a congruous connections while directing visitors to the front of the building.



The building has no obvious front or back addressing all sides of the park.



The building folds out of the landscape undulating up and down highlighting the use of topography.



The building form and mass is opens up at the centre of the building giving hei-rachy to the buildings functional spaces.



08717-WEIGALL OVAL STAGE 2+3-Sports Clubrooms + Facilities-Planning Application

4.0 Materials



Proposed External Materials

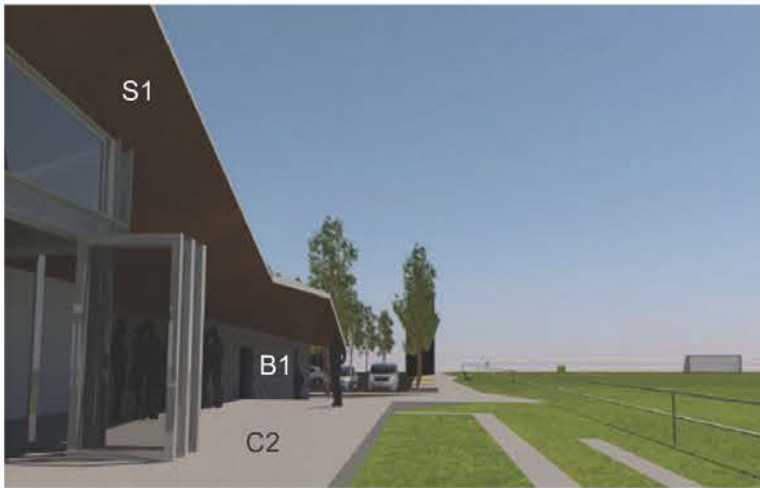
- P1 Rendered brick paint finish. Colour: Natural White
- B2 Glazed Brick. Colour: Grey/Silver
- G1 Laminated glass. Colour: Clear
- R1 Fielders Nailstrip - Colorbond Whitehaven
- W1 Aluminium window frames. Colour: Natural Anodised
- C1 Concrete garden walls. Colour: Barossa Moonscape
- C1 Concrete garden walls. Colour: Penfield
- M1 Metal finishes.Colour: Micaceous Iron Oxide
- S1 Timber soffit. Colour: Natural clear



SA=Solar Absorptance: The classification of colours in the BCA is based on solar absorptance, which is the inverse of solar reflectance, expressed as a ratio between 0 and 1. A SA value of 0 indicates that a roof absorbs none and a value of 1 indicates that a roof absorbs 100% of the incoming solar radiation.

The solar absorptance values shown are not applicable for COLORBOND® Stainless steel.

Colour	Solar Absorptance	BCA Classification	BASIX Classification
Whitehaven®	0.23	L	L





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Elevation - North 1:100 @ A1



Elevation - East 1:100 @ A1

08717-WEIGALL OVAL STAGE 2+3-Sports Clubrooms + Facilities-Planning Application



Elevation - South 1:100 @ A1



Elevation - West 1:100 @ A1



08717-WEIGALL OVAL STAGE 2+3-Sports Clubrooms + Facilities-Planning Application



SCREENING



BLACK ACCENTS



COLOUR HIGHLIGHTS



BAR FACADE



TEXTURE IN MATERIALITY



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08717-WEIGALL OVAL STAGE 2+3-Sports Clubrooms + Facilities-Planning Application



The adjacent images illustrate the diverse planting character from the Weigall Stage 1 which will be reflected in the following stages for continuity. The species selection, although rich in biodiversity, as well as having local fauna attracting qualities, is a simple selection of low maintenance, drought tolerant yet ornamental planting.

The key species considered for this development are as follows;

STREET & OPEN SPACE TREES

- Jacaranda mimosifolia
- Koelreuteria paniculata
- Tristaniopsis laurina
- Angophora costata
- Eucalyptus leucoxylon "Euky Dwarf"

SHRUBS

- Acacia cognata
- Westringia 'Zena'
- Euphorbia wulfenii
- Grevillea sp

GROUNDCOVERS

- Senecio 'Blue Sticks'
- Myoporum parvifolium
- Prostrate rosemary

GRASSES

- Liriope gigantea
- Dianella sp.
- Festuca glauca
- Lomandra Tanilka





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## 5.0 Landscape Concept Perspectives

### Perspective 01 - James Street looking West



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Perspective 04 - Community Park looking South East



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Perspective 02 - Soccer Pitch looking West



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Aug 03, 2016

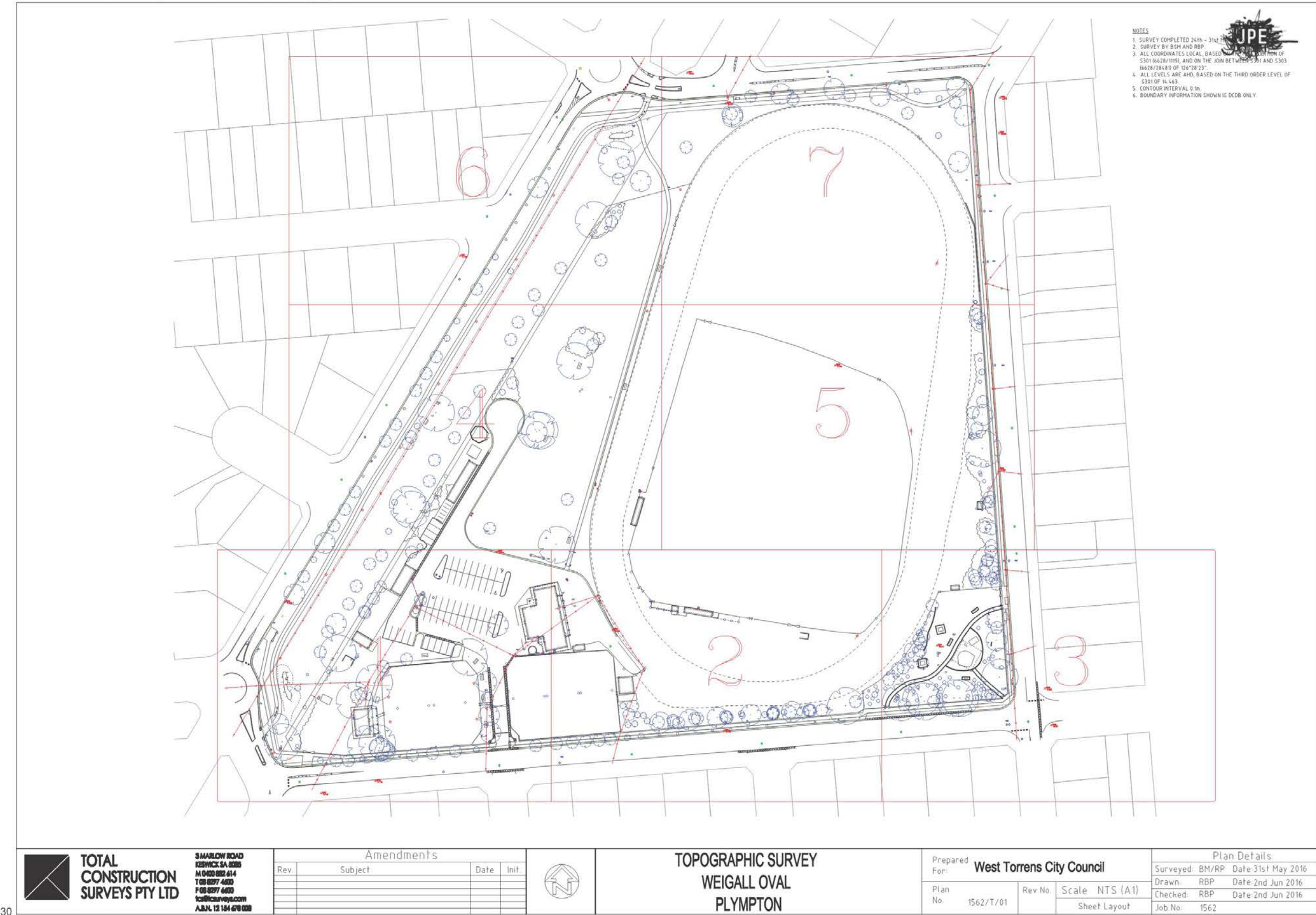


Disclaimer  
The City of West Torrens accepts no liability for any reliance placed on the validity and accuracy of data in this publication. While care and effort has been taken in the presentation of this data it is only to be used for demonstration purposes.





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08717-WEIGALL OVAL STAGE 2+3-Sports Clubrooms + Facilities-Planning Application

	Product	Register Search (CT 5865/249)
	Date/Time	07/08/2017 02:16PM
	Customer Reference	LGE6P
	Order ID	20170807008093
	Cost	\$28.25



REAL PROPERTY ACT, 1985

The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5865 Folio 249

Parent Title(s)	CT 2601/138				
Creating Dealing(s)	CONVERTED TITLE				
Title Issued	24/01/2002	Edition	1	Edition Issued	24/01/2002

Estate Type

FEE SIMPLE

Registered Proprietor

CITY OF WEST TORRENS  
OF 165 SIR DONALD BRADMAN DRIVE HILTON SA 5033

Description of Land

ALLOTMENT 1 FILED PLAN 7394  
IN THE AREA NAMED PLYMPTON  
HUNDRED OF ADELAIDE

Easements

SUBJECT TO EASEMENT(S) OVER THE LAND MARKED A TO THE ETSA CORPORATION (CERTIFICATE OF TITLE UNDER ROAD ORDER VOL.2595 FOLIO 171)

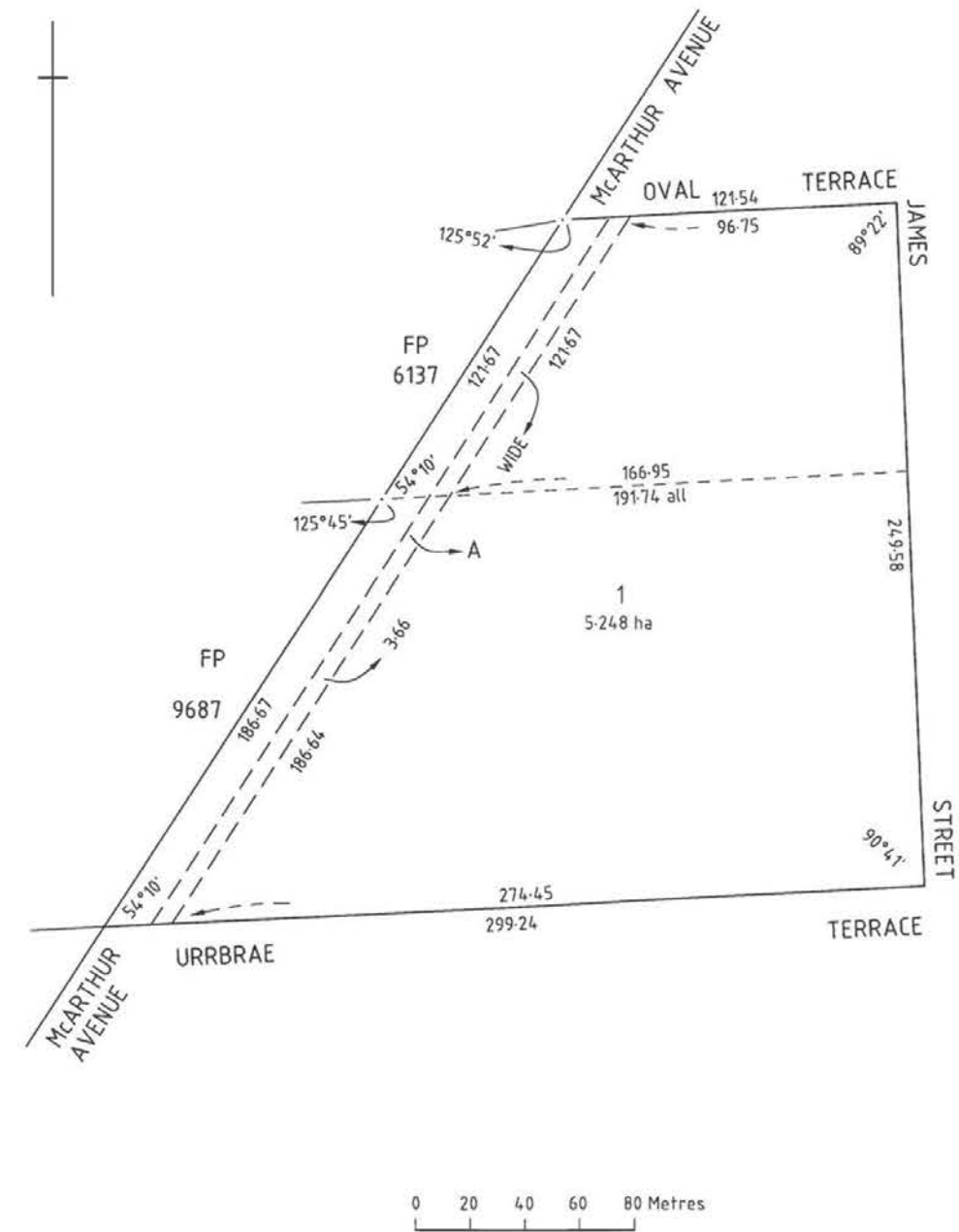
Schedule of Dealings

NIL

Notations

Dealings Affecting Title	NIL
Priority Notices	NIL
Notations on Plan	NIL
Registrar-General's Notes	NIL
Administrative Interests	NIL

	Product	Register Search (CT 5865/249)
	Date/Time	07/08/2017 02:16PM
	Customer Reference	LGE6P
	Order ID	20170807008093
	Cost	\$28.25





Tree removal

There are no significant trees for removal. Five trees will be removed in stage 2 and 3 and have been assessed by City of West Torrens arborist. These trees were found to be exotic, are not regulated and would be recommended for removal.



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JUNE 2018



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## TMK CONSULTING ENGINEERS

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Job No: 1803158  
JUNE 2018  
ISSUE: PA



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### COMMERCIAL PROJECTS DESIGN BRIEF

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WEIGALL OVAL UPGRADE  
OVAL TERRACE, PLYMPTON, SA

FOR CITY OF WEST TORRENS

PREPARED FOR: JPE DESIGN STUDIO

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Civil - Environmental - Structural - Geotechnical - Mechanical - Electrical - Fire - Green ESD - Lifts - Hydraulics  
105 Waymouth Street, Adelaide S.A. 5000 Telephone (08) 8238 4100 Facsimile (08) 8410 1405

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## 1 INTRODUCTION

The objective of this report is to:

- a. Provide preliminary design input on building services and structural/civil for the building project to give the recipient insight into the mandatory requirements, advisory requirements and design intent for construction.

The various steps undertaken in the investigation were:

- a. Examination of available information from service authorities.

The following items are excluded from the Design Brief:

- a. Acoustical analyses
- b. Detailed design information (to be confirmed during design documentation stage).

## 2 PROJECT SUMMARY

The project entails the construction of the following:

Type of Building:	Community Centre
Class of Building:	9b
Number of Storeys:	1
Type of Construction:	Type C

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### 3 MECHANICAL SERVICES

#### 3.1 SCOPE OF WORKS

The following is the proposed extent of works:

- Provision for reverse cycle, single split wall mounted and duct mounted type air conditioning units to serve the areas as shown complete with controls, wiring and the like.
- Provision for ducted exhaust systems to the amenities area.
- Provision for local control panels to serve each air conditioning unit.
- Provision for evaporative type air conditioning system to provide makeup air for the kitchen area as shown complete with controls, wiring and the like.
- Provision for commercial style kitchen hood to the cook top and fryer complete with controls, ductwork, wiring and the like.
- Provision for interlocking of the operation of the outside air fans to the associated air conditioning unit. The fan shall operate whenever the air conditioning units are on.

#### 3.2 SITE CONDITIONS

Not Applicable.

#### 3.3 RECOMMENDATIONS

##### Function Space

- Provision for split 'inverter' duct mounted type air conditioning units to serve the areas as shown complete with all associated pipe work (refrigeration and condensate), ductwork, diffusion, electrical and controls and the like for safe and satisfactory operation. Provision for a variable refrigerant flow, multi-split, 'heat recovery' type air conditioning condensing system to serve the fan coil units complete with all associated pipe work (refrigeration and condensate), electrical and controls and the like for safe and satisfactory operation.
- Separate and independent airconditioning system for the Community Space and Clubroom.
- Four (4) ducted systems are required to service each area, which takes into account the heat load, and physical constraints of the space;
- The indoor units to be located in ceiling space above function area, where space permits.
- Air distribution is via a combination of slot diffusers.
- 600L/s total Natural ventilation via external door, which conforms with BCA requirements, in lieu of mechanical outside air system.
- The outdoor condensing units to be mounted on ground, within louvred enclosure, ducted as detailed; or roof mounted in location that has least visual impact.
- Roof access to be determined.
- Provision for manual operation, but with run-on timer facility; to prevent plant being left running. The run-on timer facility to be set for 2-hours, but to be adjustable.

##### Canteens

- Provision for split 'inverter' wall mounted type air conditioning units complete with all associated pipework (refrigeration and condensate), filters, electrical and controls and the like for safe and satisfactory operation to serve the areas as shown. Provision for a variable refrigerant flow, multi-split, 'heat recovery' type air conditioning condensing system to serve the fan coil units complete with all

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associated pipework (refrigeration and condensate), electrical and controls and the like for safe and satisfactory operation.

- No outside air fan required for Canteen. Compliance by natural ventilation via the roller shutter.
- Commercial type Kitchen exhaust hood comprising of duct mounted exhaust air fan and discharging via at roof level.
- Provision for evaporative system to provide makeup air to the kitchen area as shown complete with all associated pipework, ductwork, diffusion, electrical and controls and the like for safe and satisfactory operation.
- Provision for manual operation, but with run-on timer facility; to prevent plant being left running.
- The run-on timer facility to be set for 2-hours, but to be adjustable.

#### Medical Room

- Provision for split 'inverter' wall mounted type air conditioning unit complete with all associated outside air fan & ductwork, pipework (refrigeration and condensate), filters, electrical and controls and the like for safe and satisfactory operation to serve the areas as shown.
- Provision for manual operation, but with run-on timer facility; to prevent plant being left running.
- The run-on timer facility to be set for 2-hours, but to be adjustable.

#### Changeroom / Amenities Areas

- Ducted exhaust from the amenities area comprising of roof mounted fan and discharging via roof to atmosphere.
- Provision for interlocking the operation of the exhaust fans to light switches serving that space, such that, when the lights are turned on, the fans shall operate.

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### 3.4 DESIGN CONDITIONS

The design has been based on the following design data:

#### REVERSE CYCLE COOLING / HEATING / VENTILATION

Extreme ambient conditions under which all plant shall be required to operate.	Summer: 46°C DB / 24°C WB full solar load. Winter: 0°C DB.
Outside ambient conditions for air conditioning plant design rating.	Summer: 38°C DB / 21.4°C WB full solar load. Winter: 2°C DB.
Internal conditions for cooling plant full load performance	22 ± 2°C dry bulb
Lighting Load	Minimum of 10 W/m <sup>2</sup>
Equipment Load	80 W/m <sup>2</sup> for the Kitchen Minimum of 15 W/m <sup>2</sup> unless stated otherwise
People Load	Medical Room – 3 people Canteens – 5 people Dining – 130 people total as one space
Outside Air	In accordance with AS1668.2 – 2012 100% outside air for kitchen area 10l/s/person for all other areas, with a minimum particulate filtration efficiency of 20%, according to test dust no.1, for air filters.
Amenities Areas	In accordance with AS1668.2 - 2012, exhaust 15l/s/m <sup>2</sup> minimum, unless stated otherwise
Internal Heat Gains	70 W / person, sensible 60 W / person, latent

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## 4 ELECTRICAL SERVICES

### 4.1 SCOPE OF WORKS

The following is the proposed extent of works:

#### Site Infrastructure

- Connection of sub mains from new Main Distribution Board (MDB-Site) to clubhouse distribution board (DB-CO) and DB.P;
- MDB-Site shall contain 1 retail electrical meters; as per confirmed Council requirements. Three utility accounts for the building.
- Provision of new communication pits and electrical pits;
- Connection of voice grade cable from new main distribution frame (MDF-Site) to clubhouse;
- 45 RU communication cabinet for clubroom.
- External light fittings ;
- New Car Park light fittings to existing car park
- Connection to existing main switchboard (Relabelled to switchboard and remove MEN link) which feeds existing car park and tennis courts.
- New lighting to soccer field and baseball field.

#### Internal Fit out

- General lighting and local switching, with motion sensors for ancillary areas.
- Emergency & Exit Lighting to AS2293 requirement;
- Power distribution and reticulation;
- Provision of distribution board for clubhouse;
- Communication cabling infrastructure;
- Structured Cat 6 cabling to Communication cabinet;
- 10 pairs of voice grade in clubhouse;
- Basic Security System with security infra red detectors (Client to advice if require card readers and CCTV camera?);
- Power to associated kitchen equipment (To be advice by client).
- MATV Systems;

#### Excluded Works

- Active networking equipment, handsets and PABX system;
- UPS units;
- Telecommunication lead in cabling including Communication Carrier;
- White goods including plasma television;
- Audio Visual equipment and cabling;

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## 4.2 RECOMMENDATIONS

### Existing Footpath Lighting

- Extend existing footpath lighting to meet AS1158 category P4.

## 4.3 SITE CONDITIONS

### Existing Power Connection

- Disconnect existing supply point and run new supply point from James street.



### Existing Telstra Connection

- There is an existing P50 communication conduit capped to the boundary at Urrbrae Terrace. This conduit to be used to cater for new incoming lines to clubroom.

## 4.4 INTERNAL WORKS

### Electrical services incorporating the following:-

- Power to associated equipment. (Equipment schedule required to confirm Estimated Maximum Demand for power.)

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WEIGALL OVAL UPGRADE  
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## Lighting

### General

- Lighting sub circuit cabling to AS3000 requirements;
- Internal lighting and external wall mounted light fitting;
- Time clock to external light fittings;
- Lockable switch at switchboard for sports lighting.
- Car Park Lighting to AS1158 P11c;
- Refer lighting layout concept. General LED requirement, with vandal proof provisions for change room and amenities lighting;
- Lighting to all amenities areas to movement activated.

Internal Lighting reticulation to AS1680 requirement :

(Refer Appendix A for proposed light fixtures)

Specific minimum maintained average illuminance levels:	
Function	240 lux at working plane.
Store	80 lux at working plane
Office	320 lux at work plane.
Amenities	80 lux at working plane.
Corridor	80 lux at working plane.
Kitchen and Kiosk	160 lux at working plane.
General Areas	
Sports Lighting	Refer Lighting Calculation

## Power

### General

- Internal Power reticulation to AS3000 requirements
- We will need to be advised of any additional power outlet beyond the standard 10A GPO.
- Power to associated equipment. (Equipment schedule required to confirm Estimated Maximum Demand for power.)
- Sub-circuit cabling and general purpose (Refer concept design for power and data arrangement.)
- MDB and distribution boards for clubhouse.

## Communication

### General

- Provision of MDF-Site;
- Connection of 10 pair voice grade cable to new main distribution frame (MDF-Site)
- Provision of new 45RU wall mounted communication cabinet.

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## Security

### General

- Basic standalone security with security PIR, incorporating separate security system for Clubrooms and Community Centre; with separate monitoring by the Council and the Club.
- **No** CCTV provision. (Client to advise if require)

## Audio Visual System

### General

- Backbone cabling to be provided in Clubrooms and Community Hall; with no equipment provided. Future equipment installation by Council / Football Club respectively.
- Hearing loop provision for extent of the Community Space only;

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## 5 HYDRAULIC SERVICES

### 5.1 SCOPE OF WORKS

The following is the proposed extent of works:

- New water and sewer reticulation
- Trade waste to kitchen via a grease arrester;
- Gas reticulation for commercial kitchen and hot water heating;

### 5.2 SITE CONDITIONS

#### Sewer

- 1x existing 150mm & 1x existing 100mm sewer connections are located off Urrbrae Terrace; to serve existing facilities on site.
- There is an existing 150mm SA Water sewer main on Oval Terrace suitable for connection to;

#### Water Supply

- The existing facilities are serviced by a 2x 32mm & 1x 40mm water meter off James Street.
- There is an existing 100mm SA Water main on James Street suitable for connection to;

#### Gas Supply

- There is an existing gas meter off Urrbrae Terrace with capped off main for connection to proposed club rooms;
- There is a medium pressure authority supply in Urrbrae Terrace.

### 5.3 RECOMMENDATIONS

#### Sewer

- Due to the difficulty of connection to existing sewer connection, which will require cutting up existing area with no proposed works, a new 150mm sewer connection off Oval Terrace is proposed based on the fixture loading from new club rooms;
- A new sewer reticulation will be required for the proposed new kitchen & amenities (hand basin, sink, wc, showers etc).

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### Trade Waste

- A grease arrester will be required for pre-treatment of kitchen waste prior to discharging to sewer. A 2,400 Litre grease arrester is proposed based on SA Water "Commercial Food Preparation & Service" guideline;

### Water

- A new 50mm water meter is proposed to cater for water supply demand;
- An SA Water flow test is being arranged to ascertain the water flows and pressure available.
- New reticulation to the proposed new fixtures

### Reclaimed Water

- Rainwater reticulation is not mandatory for commercial tenancies as per South Australian building rules. Client direction to proceed with plumbing toilets for a future rainwater tank supply connection.

### Hot Water

- Gas instantaneous hot water units, strategically located to service the various areas to be adopted,
- The hot water units to be wall mounted externally with caging, as per permitting;
- Alternatively; hot water units can be mounted a designated in plant room area, rather than external mounting. However, a hot water ring main will be required for a centralized hot water system, to reduce wait time & dead leg.
- Tempered water is provided to the personal hygiene areas (i.e hand basins, showers) via a thermostatic mixing valve, mounted in a recessed wall box..
- Un-tempered water provided to kitchen sinks in general, at 65°C supply temperature.

### Gas

- The existing capped off main can used to supply proposed club rooms given pipe is appropriately sized (minimum 110dn).
- Alternatively a new reticulation will be required from gas meter.

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## 6 FIRE SERVICES

### 6.1 SCOPE OF WORKS

The following is the proposed extent of works:

- Skeletal Fire detection throughout the building for early warning protection
- Fire hydrant protection and coverage
- Fire Hose reel protection and coverage.
- Portable fire extinguishers
- Exit and Emergency Lighting to code requirements

### 6.2 SITE CONDITIONS

- Not Applicable
- No existing systems present

### 6.3 REQUIREMENTS / RECOMMENDATIONS – DEEMED TO SATISFY

#### 6.3.1 General

The following requirements and recommendations are based on fire & life safety services, fully compliant to the Deemed to Satisfy requirements of the BCA.

The fire services concept has been principally approved with the SA Fire Service, following a meeting in November 2014. (Meeting minuted).

#### 6.3.2 Fire hydrants

- Fire hydrant protection is a mandatory requirement for the building, as the overall building floor area is greater less than 500m<sup>2</sup>
- There is an existing street plug on Oval Tce, but coverage falls well short
- A new external on-site hydrant system is required to provide full coverage to the building, with a hydrant booster assembly.
- A new 150mm water connection is required to service the building.
- Two external hydrants are required for protection to the building;
- One hydrant head is required to flow , for a flow of 10l/s@200kPa.
- Awaiting SAWater flow test results to confirm the adequacy of the water supply

#### 6.3.3 Smoke Hazard Management

- A Smoke hazard management system (i.e smoke detection)is not a mandatory requirement for the building in accordance with Section E of the BCA
- However, for early warning and asset protection, a skeletal fire detection system connected to security is highly recommended, via a dedicated fire panel.
- The fire panel to link to the security system.

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#### 6.3.4 Fire sprinkler system

- Not applicable for the Building in accordance with BCA criteria.

#### 6.3.5 Fire Hose Reels

- Fire hose reel protection is required for the building, as the overall building floor area and fire compartment is greater than 500m<sup>2</sup>
- A reticulated fire hose reel system, branching off the proposed fire hydrant will be required;
- One (1) fire hose reel will be required to protect the main central part of the building, with the provision of a fire rated wall between the changerooms and clubroom. The fire compartmentation option removes the requirement for an alternative solution to delete the changeroom fire hose reel.
- The changeroom fire compartment is then less than 500m<sup>2</sup>, and does not require fire hose reel protection.

#### 6.3.6 Fire extinguishers

- Portable fire extinguishers are required throughout the building to BCA and AS2444 requirements
- An array of CO<sub>2</sub> and H<sub>2</sub>O extinguishers proposed through the building for compliance.

#### 6.3.7 Fire Separation

- No Fire separation proposed. The building is one fire compartment, and satisfies the maximum fire compartment criteria for Type C Construction of 2,000m<sup>2</sup> and 12,000m<sup>2</sup>
- The fire wall as referred above (For deletion of the changeroom fire hose reel) will require a 90/90/90 FRL
- The external bounding walls of the property boundary are well beyond the property boundaries, as such no fire rating is required to the external walls.

#### 6.3.8 Exit & emergency Lighting

- An exit and emergency lighting system to be installed throughout the building to AS2293 requirements

### 6.4 REQUIREMENTS / RECOMMENDATIONS – ALTERNATIVE SOLUTIONS

#### 6.4.1 General

No alternative solutions proposed.

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## 7 GEOTECHNICAL

### 7.1 SCOPE OF WORKS

Soil testing and analysis by the visual tactile method will be undertaken with samples to 3m depth taken over the proposed building area.

All existing fill material encountered will be required to be removed and replaced to achieve a density of not less than 98% Standard compaction.

Geotechnical testing to be limited to the determination of soil heave for footing design purposes only.

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## 8 CIVIL

### 8.1 STORMWATER MANAGEMENT

The proposed works for this development will include the implementation of a functional stormwater drainage system comprising conventional pits and pipes. Where possible, the proposed stormwater system will pick up existing structures and stormwater infrastructure to facilitate to design.

All stormwater provisions to be designed in accordance with AS/NZS 3500.3:2003 'Plumbing and drainage. Part 3: Stormwater drainage' including all roof box gutter systems designed to cater for 1:100 year A.R.I. storm.

Liaison with the Andrew King and the City of West Torrens, may be needed to confirm further civil/stormwater related queries if they arise.

#### 8.1.1 Existing Stormwater Infrastructure

From initial investigations, a large concrete stormwater pipe at Oval Tce appears to be the closest stormwater infrastructure to the proposed building location. Stormwater infrastructure at James St may be utilized to discharge runoff from the eastern end of the site.

Two existing stormwater outlets on the culvert, which are likely from the current site drainage system, may be utilised in the future stormwater design. Council have indicated they would not oppose the construction on a new outlet if deemed more practical.

#### 8.1.2 Stormwater Harvesting & Re-use

City of West Torrens have indicated their preference towards developments which incorporate stormwater harvesting and reuse of water back into new buildings (i.e. toilets). Future designs will look to incorporate stormwater collection from the building roof and re-use where appropriate.

#### 8.1.3 Stormwater Detention

Stormwater Detention may be required to restrict post development runoffs to under pre development runoffs for a major 1:100 Yr ARI storm event.

#### 8.1.4 Stormwater Quality

Future civil designs will look to incorporate bio retention swales within the car park area.

Further assessment will be undertaken to determine if additional measures are required. Council have indicated their support for end-of-line treatment (GPT's, etc), prior to discharge to the receiving pipe.

### 8.2 FLOOD MITIGATION

The site appears to be clear of any flood zones. Therefore, design requirements for flood mitigation are not required.

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### 8.3 CAR PARK / PAVEMENT

New car park pavements will be designed to withstand medium duty vehicular loading.

Further designs / discussion will be needed to determine the preferred type (asphalt, concrete, permeable paving) and location of new vehicular and pedestrian pavements.

### 8.4 LEVELS

An engineering level survey has been completed by others, which will be used for all future civil design. Additional survey information may be required once the civil scope has been finalised.

A review of the existing levels, indicates an approximate height difference of 0.5m between the oval and car park. The proposed finished floor level of the building will therefore need to facilitate access to both of these areas.

All Finished levels are to be designed in accordance with AS/NZS 2890.1-2004 'Parking facilities. Part 1: Off-street car parking' and AS 1428.1-2001 'Design for access and mobility. Part 1: General requirements for access – New building work'.

## 9 STRUCTURAL

### 9.1 GENERAL

The design loadings considered for the structural design is AS/NZS 1170.0:2002 'Structural design actions. Part 0: General principles'.

- Ground floor live load of 5.00kPa
- Roof dead load of 0.4 kPa (i.e. roof sheeting with ceiling and minor services)
- Roof live load of 0.25kPa
- Limit state wind speed of 40 m/s.

All structural design to comply with the Building Code of Australia and relevant SAA Standards.

### 9.2 FOOTING SYSTEM

Conventional reinforced concrete stiffened raft footing system with slab on ground, founded on natural ground or certified compacted fill.

Footings will be designed to reduce the risk of foundation (ie, soil or rock) conditions causing distress to the structure. Footings are not designed to completely eliminate all cracking or other distress.

Footings are designed and constructed to achieve a small but finite probability of failure, as generally it is not economical to construct footings which completely eliminate the possibility of cracking. The generally

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accepted probability of failure is 5%. This equates to the probability that 1 in 20 buildings will experience a crack of 5 mm width sometime during their design life. This risk is a community based standard as defined by AS 2870.1. If the owner desires a lower risk of distress, this can be achieved, but at increased expense. The owner must specifically request such low risk design if desired.

Generally the specified footings are the most economical which will provide the desired performance and which comply with all relevant building codes and industry practice, and which meet specific requirements of the client.

### 9.3 WALLS

### External walls

External walls  
Non load bearing walling.

### Internal walls

Non load bearing timber stud walling.

## 9.4 ROOF

Structure is to be steel framed consisting of steel sheet roof cladding on cold formed steel purlins all supported by hot rolled steel roof beams.

Ceiling to flat areas (change/amenities ) is to be suspended from the roof purlins.

Ceiling to raked areas to have independent rigid support framing supported from roof beams.

Additional secondary framing to support windows / openings will also be required, sizes to be confirmed.

Maximum roof member deflection:

- Span / 360 for DL only.
- Span / 250 for (DL + 0.7LL).
- Span / 250 for Uplift (DL + Serviceability WL)

A more stringent level of roof deflection may be adopted if requested by the client. However, a penalty in member size may be associated with this.

Refer to Structural Roof Marking Plan 1803158-SSK1 for member sizing.

## 9.5 LATERAL STABILITY

Lateral stability to be provided by steel roof cross bracing in both directions transferring the lateral forces to steel wall bracing in both the external and internal walling.

## 9.6 FIRE RATING AND STRUCTURAL ELEMENTS

Structural elements have not been designed for any fire rating level with the exception of walls separating function area to change/amenities area which may require a FRL 90/90/90.



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## 10 ENERGY EFFICEINCY

### 10.1 INSULATION

Minimum Insulation to walls: R2.5

Minmum Ceiling Insulation: R4.0

### 10.2 GLAZING

Minimum glazing systems required:

- Northern Facade:	Total U-Value $\leq$	3.9
	Total SHGC $\leq$	0.32
- Eastern Facade:	Total U-Value $\leq$	3.9
	Total SHGC $\leq$	0.32
- South-Eastern Facade:	Total U-Value $\leq$	3.9
	Total SHGC $\leq$	0.32
- South-Western Facade:	Total U-Value $\leq$	3.9
	Total SHGC $\leq$	0.32
- North-Western Facade:	Total U-Value $\leq$	5.0
	Total SHGC $\leq$	0.66

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## 11 APPENDIX A

### 11.1 DESIGN STANDARDS (Building Services)

MECHANICAL SERVICES	
Description	Provisions
Air Conditioning	AS1668.2-2012
Amenities Exhaust	AS1668.2-2012
Design Basis	BCA 2014 & AS1668.2-2012

ELECTRICAL SERVICES	
Description	Provisions
Electricity Supply – Site Infrastructure	AS3000 & SAPN Utilities Service & Installation Manual
Electrical Supply – Building Distribution	AS3000
Electrical Reticulation	In accordance with Australian Standard 3000-SAA Wiring Rules and Australian Standard 3008 - Electrical Installation - Selection of cables.
Voltage Drop	Voltage drop at switchboards limited to 2.5% (maximum) of the MV supply voltage. Voltage drop at final distribution points limited to 5% of the MV supply voltage.
Emergency Lighting	In accordance with Building Code Australia and where required, Australian Standard 2293 – Emergency Evacuation Lighting for building.
Artificial Lighting	In accordance with Building Code Australian and AS1680
Telecommunications	ACMA & Telstra requirement
Security	

FIRE SERVICES	
Description	Provisions
Automatic Fire Sprinkler System	Not Applicable
Fire Hydrant System	To AS2419 requirements
Smoke Hazard Management	Skeletal non-required system connected to security system.
Fire Hose Reels	To NCC Part E & AS2114 Requirements
Fire Extinguishers	To NCC Part E & AS2444 Requirements
Access / Egress	To NCC Part D Requirements
Fire / Smoke Compartmentation	To NCC Part C Requirements

HYDRAULIC SERVICES	
Description	Provisions
Plumbing Works	To AS3500 & SA Water requirements

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## 12 APPENDIX B – Attachments

PRELIMINARY BUILDING SERVICES LAYOUTS  
PRELIMINARY STRUCTURAL/CIVIL LAYOUTS

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**WIEIGAL OVAL UPGRADE**

**PREPARED FOR: CITY OF TORRENS**



**ELECTRICAL SERVICES  
LIGHT FITTING SCHEDULE**

**ISSUE: AK  
4<sup>th</sup> of JUNE 2018**

**Prepared by  
TMK CONSULTING ENGINEERS  
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CITY OF WEST TORRENS




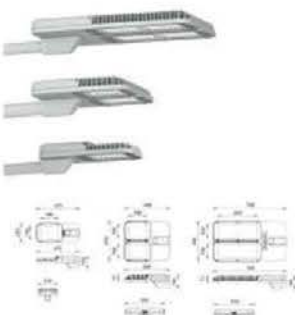
## LIGHT FITTINGS SCHEDULE

Location	Fixture	Description	Symbol
Kitchens	1200x300mm recessed LED Lighting Panel .		
LINK	ELS Lighting	 	
Store	Surface mounted LED light fitting	 <p>Surface Mount <b>BlockLED</b></p> <p>► Purpose built LED luminaire designed around LED</p>	
Internal Downlights around the areas	Led recessed LED downlight		

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<b>Location</b>	<b>Fixture</b>	<b>Description</b>	<b>Symbol</b>
Gimmable square downlights	LED recessed downlights		
External wall lights at service area	LED Surface Mounted Light Fitting.		
External pathway lighting (Post Top)		 Anesi Post top luminaires	
External car park lighting	LED pole mounted light fitting		



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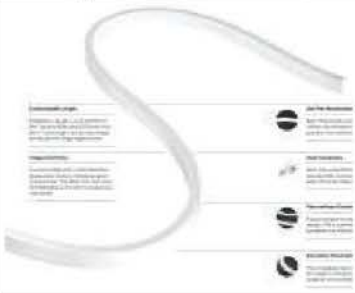


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<b>Location</b>	<b>Fixture</b>	<b>Description</b>	<b>Symbol</b>
Field light	LED IP65 flood light mounted on 22 metre pole and 25 metre pole. Complete with louvre		
Pendants Lights		 <p>Model: MD1105-9 Power: 100W Size: D1200*H520mm</p>  <p>Model: MD1005/18 Power: 200W Size: D1200*H1200mm</p> 	

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<b>Location</b>	<b>Fixture</b>	<b>Description</b>	<b>Symbol</b>
LED Strip	Feature lighting		
Exit light	LED maintained running man exit light(Thomas and Bett Quick fit Jumbo)  Note: Arrow denotes directional.		EX
Emergency	LED Spitfire		EM



**Job:** 1805152  
**DATE:** 4/6/18  
**SKETCH:** SKE-1  
**BY:** AK.

**CARPARK LIGHTING**  
 TO AS1158 P11C  
 AND P12 REQ.

**SUB-MAIN IN**  
**CEILING SPACE**

**PRELIM EMD  $\approx 220 - 240A$  3 $\phi$**   
**CLUBHOUSE  $\approx 140A - 160A$  3 $\phi$**   
**STG 1 OB  $\approx 40A$  2 $\phi$**   
**STG 2 PARK, CARPARK, PITCH LIGHTING  $\approx 40A$  3 $\phi$**

**NEW SUB-MAIN U/G,**  
**CONNECT BACK TO EX**  
**SWITCHBOARDS ON**  
**STAGE 1**

**EXISTING SWITCHBOARDS**  
**TO BECOME SUB-BOARD.**  
**REMOVE EX. METERS**  
**& M.E.N**

**EXISTING TO REMAIN NO WORK**

**CONDUIT FOR LIGHT & POWER (TVP)**

**DISCONNECT & MAKE REDUNDANT EX. SUPPLY**

**COMMS CONDUIT CAPED AT BOUNDARY. READY FOR CONNECTION TO EX STREET TELSTRA**

**PITCH LIGHTING REQ TO BE ADVISE / CONFIRM (TYP 3 OFF).**

**400A UNFUSED P.T.**

**NEW STABIE POLE & POLE MOUNT TP (315kVA)**

**ALTERNATIVE, PADMOUNT TRANSFORMER**

**EXTEND EX FOOTPATH LIGHTING FROM STAGE 1. ALLOW TO DESIGN TO PA REQ.**

**Key Plan**  
 N.T.S.

**JPE**  
 JPE Design Studio

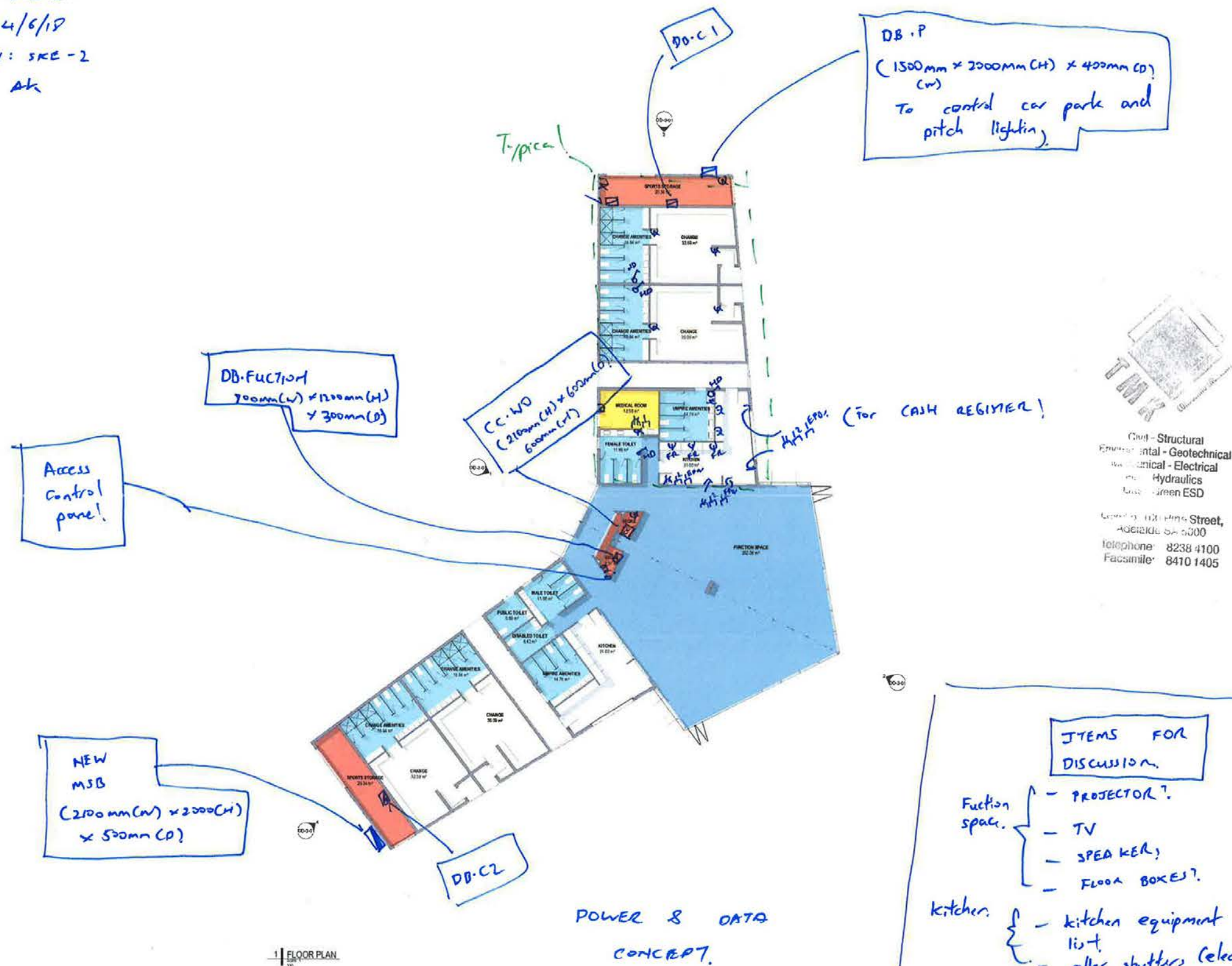
**JPE Design Studio**  
 Level 4,  
 19 Gilles Street,  
 Adelaide 5000  
 PO Box 4001  
 Halifax Street  
 SA 5000

**Level 4, 100 Pine Street, Adelaide SA 5000**  
**Telephone: 8238 4100**  
**Facsimile: 8410 1405**

**Scale:** 1:500@A1  
**Date:** DEC 17  
**Project No:** 08717  
**Drawing No:** SK00  
**Status:** PRELIMINARY



JOB: 180315P  
DATE: 4/6/18  
SKETCH: SKK-2  
BY: Ak

[illegible]

**JPE**

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[info@jpe.com.au](mailto:info@jpe.com.au)

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**Project:** Welgall Oval Upgrade  
City of West Torrens

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**Title:** Floor Plan

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**Scale:** @ A3: 1:100  
**Date:** 28/05/05 09:54:48  
**Client:** Developer  
**Address:** Adelaide  
**Project No:** 08717

**Drawing No:** DD-2-02

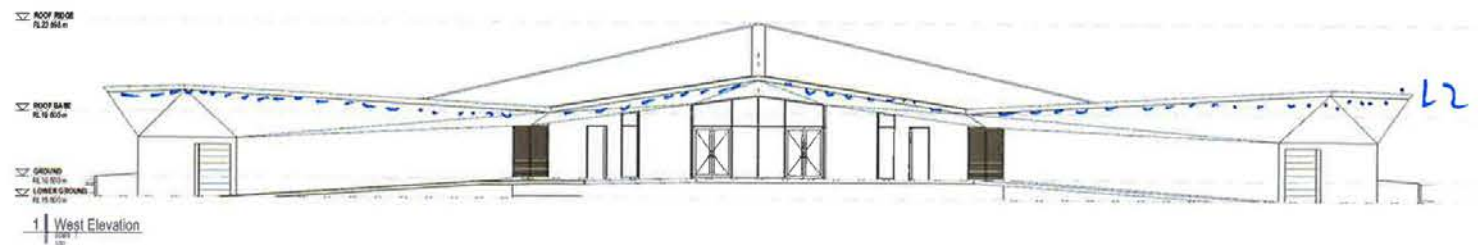
**Date:** FOR INFORMATION



Project:	Weigall Oval Upgrade City of Woei Torrens		
TITLE:	Floor Plan		
Scale @ A3:	1:100		
Date:	20/06/2018 13:40 PM		Rev:001
Checked:	Chenker		
Approved:	Appenizer		
Project No:	08717		
Drawing No:	DD-2-02		
STATUS:	FOR INFORMATION		



SKETCH: SKE-4,  
BY AK.



Singapore - Geotechnical  
 Singapore - Electrical  
 Singapore - Hydraulics  
 London - Green ESD

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Project: Weigall Oval Upgrade  
City of West Torrens

**Time:** Elevations

Scale @ A0: 1:100  
Date: 20.05.2015, 4:40 pm, 004

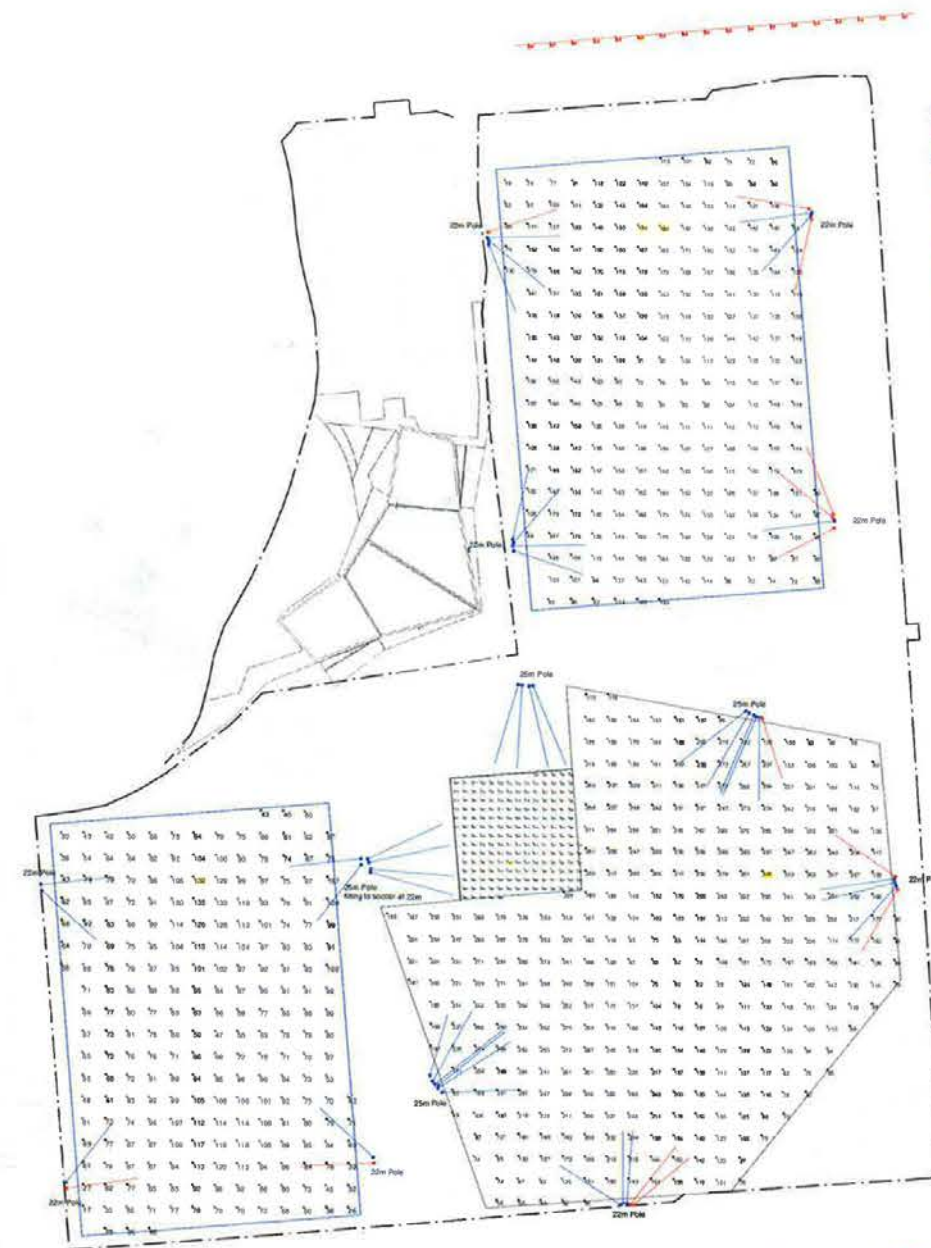
Contract:	Contract:
Approved:	Approved:
Project No:	08717

Drawing No: DD-3-01

FOR INFORMATION



1 | Site Plan

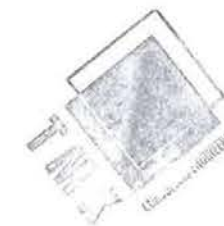


Lighting Calculation for  
Baseball, main pitch &  
field.

Calculation Summary							
Project: Project_1							
Label	CalcType	Units	Avg	Max	Min	Min/Avg	Max/Avg
Baseball Infield	RunTime	Line	274.90	318	203	0.74	0.64
Baseball Outfield	RunTime	Base	180.95	305	49	0.27	0.18
Min Pitch_Top_1	RunTime	Line	126.05	184	49	0.39	0.25
practice_Top_1	RunTime	Low	85.51	130	17	0.21	0.12

Calculation Summary			
Project: Sp6			
Label	CalcType	Units	Max
James Street_R_Seg1	Observed Light - B	Lux	2.9
Oval Terrace_Got_Seg1	Observed Light - Gd	N/A	28738
Oval Terrace_R_Seg1	Observed Light - B	Lux	0.7
Umbra Terrace_R_Seg1	Observed Light - B	Lux	7.3

Luminäre-Schulnote					
Symbol	Qty	Label	Total Lamp Lumen	U.F.	Description
+	41	AMB-1	16301	0.840	Philips Opticool LED BVP325 OUT 720 50K x 1800 x 2VP325L-400
+	19	AMB-1.0-2	16301	0.820	Philips Opticool LED BVP325 T30 50K x 1800 x 1.0 x 2VP325L-400



Civil - Structural  
Environmental - Geotechnical  
Mechanical - Electrical  
Fire - Hydraulics  
Life - Green ESD

Location: 100 Pine Street,  
Melbourne SA 5000

Perth office: 8328 1100  
Adelaide office: 8410 1405



JPE  
Design  
Studio  
ARTN 91

Level 4, 19  
Office Street  
Arlsford 5000  
PO Box 6401  
Hwy 10, Sydney

Tel 06 9486 4000  
Fax 06 9486 4007  
[www.jpe.com.au](http://www.jpe.com.au)  
[design@jpe.com.au](mailto:design@jpe.com.au)

**Project** Weipall Oval Upgrade  
City of West Torrens

140 **Site Plan**

Grade 50 1 500

Created	Checker
Approved	Approver

Project No. 08717

Drawing No. DD-1-02

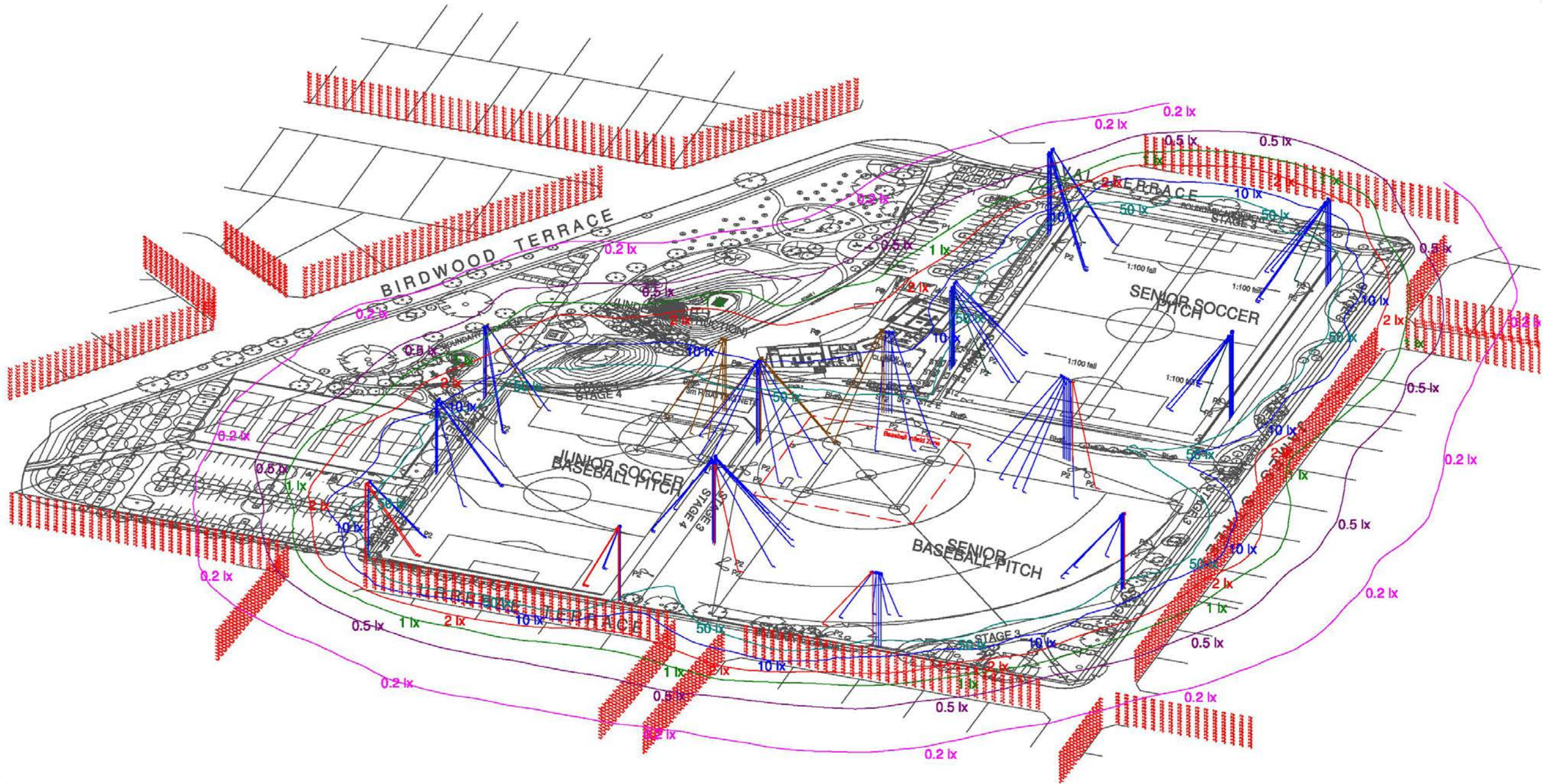
FOR INFORMATION





<b>Light Spill Diagrams</b>	<b>PROJECT NAME</b> <b>Weigall Oval Redevelopment</b> <b>Playing Field Lighting</b>		<b>DATE:</b> 18/10/2018 <b>SCALE:</b> NTS <b>REV:</b> B Page 1 of 3
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






Vertical calculations to 10m high to adjacent property lines (red).  
Isolines as informative only to ground.  
No obstructions factored into results

<b>Light Spill Diagrams</b>	<div><div>PROJECT NAME</div><div><b>Weigall Oval Redevelopment Playing Field Lighting</b></div></div>	<div><div>DATE: 18/10/2018</div><div>SCALE: NTS</div><div>REV: B</div></div> <div>Page 2 of 3</div>
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Luminaire Schedule				
Symbol	Qty	Label	Description	Lum. Watts
	4	AMB LO	Philips Optivision BVP525 OUT T30 50K A-MB/30 +LO medium - Max 25deg tilt	1301.52
	8	ANB-LO+z	Philips OptivisionLED BVP525 T30 50K A-NB/30 +LO + ZVP520L-A90	1301.52
	9	AMB+z	Philips OptivisionLED BVP525 OUT T30 50K A-MB/30 +ZVP520L-A90	1301.52
	61	ANB+z	Philips OptivisionLED BVP525 OUT T30 50K A-NB/30 +ZVP520L-A90	1301.52

Calculation Summary			
Project: Spill			
Label	CalcType	Units	Max
Birdwood Close_III_Seg1	Obtrusive Light - II	Lux	0.2
Birdwood Close_III_Seg2	Obtrusive Light - II	Lux	0.0
Birdwood Close_III_Seg3	Obtrusive Light - II	Lux	0.0
Birdwood Tce_III_Seg1	Obtrusive Light - II	Lux	0.8
Durant Street_III_Seg1	Obtrusive Light - II	Lux	0.1
Durant Street_III_Seg2	Obtrusive Light - II	Lux	0.0
Durant Street_III_Seg3	Obtrusive Light - II	Lux	1.3
Henry Street_III_Seg1	Obtrusive Light - II	Lux	1.5
Henry Street_III_Seg2	Obtrusive Light - II	Lux	0.0
Henry Street_III_Seg3	Obtrusive Light - II	Lux	1.9
James Street_III_Seg1	Obtrusive Light - II	Lux	7.8
Manfred Street_III_Seg1	Obtrusive Light - II	Lux	1.2
McKay Ave_III_Seg1	Obtrusive Light - II	Lux	0.3
Oval Terrace_III_Seg1	Obtrusive Light - II	Lux	9.6
Urrbrae Tce_III_Seg1	Obtrusive Light - II	Lux	9.6

### Obtrusive Light - Compliance Report

AS 4282-1997, Pre-Curfew, Residential - Dark Surrounds  
 Filename: Weigall  
 18/10/2018 2:21:58 PM

### Illuminance

Maximum Allowable Value: 10 Lux

Calculations Tested (15):

Calculation Label	Test Results	Max. Illum.
Oval Terrace_III_Seg1	PASS	9.6
James Street_III_Seg1	PASS	7.8
Birdwood Tce_III_Seg1	PASS	0.8
Durant Street_III_Seg1	PASS	0.1
Durant Street_III_Seg2	PASS	0.0
Durant Street_III_Seg3	PASS	1.3
McKay Ave_III_Seg1	PASS	0.3
Birdwood Close_III_Seg1	PASS	0.2
Birdwood Close_III_Seg2	PASS	0.0
Birdwood Close_III_Seg3	PASS	0.0
Manfred Street_III_Seg1	PASS	1.2
Henry Street_III_Seg1	PASS	1.5
Henry Street_III_Seg2	PASS	0.0
Henry Street_III_Seg3	PASS	1.9
Urrbrae Tce_III_Seg1	PASS	9.6

### Luminous Intensity (Cd) Per Luminaire

Maximum Allowable Value: 7500 Cd  
 Control Angle: 83 Degrees

Luminaire Locations Tested (82)

Test Results: **PASS**

Light Spill Diagrams	<u>PROJECT NAME</u>		DATE: 18/10/2018 SCALE: NTS REV: B
	Weigall Oval Redevelopment Playing Field Lighting		

**Obtrusive Light - Compliance Report**

AS 4282-1997, Pre-Curfew, Residential - Dark Surrounds

Filename: Weigall

1/06/2018 12:03:19 PM

**Illuminance**

Maximum Allowable Value: 10 Lux

Calculations Tested (3):

Calculation Label	Test Results	Max. Illum.
Urrbrae Terrace_Ill_Seg1	PASS	7.2
James Street_Ill_Seg1	PASS	2.9
Oval Terrace_Ill_Seg1	PASS	8.7

**Luminous Intensity (Cd) Per Luminaire**

Maximum Allowable Value: 7500 Cd

Control Angle: 83 Degrees

Luminaire Locations Tested (54)

Test Results: **PASS**

JOB: 1903158  
DATE: 4/6/18  
SKETCH - 6.  
BY: AL

# Photometric files

## Asymmetrical beams information

An **external louver (ZVP520 or ZVP500 L-A90 (2PCS))** is also available for asymmetrical beam in order to create a 0 candela version (above 90°) even with a tilt of the luminaire up to ~35° (lmax@65°).

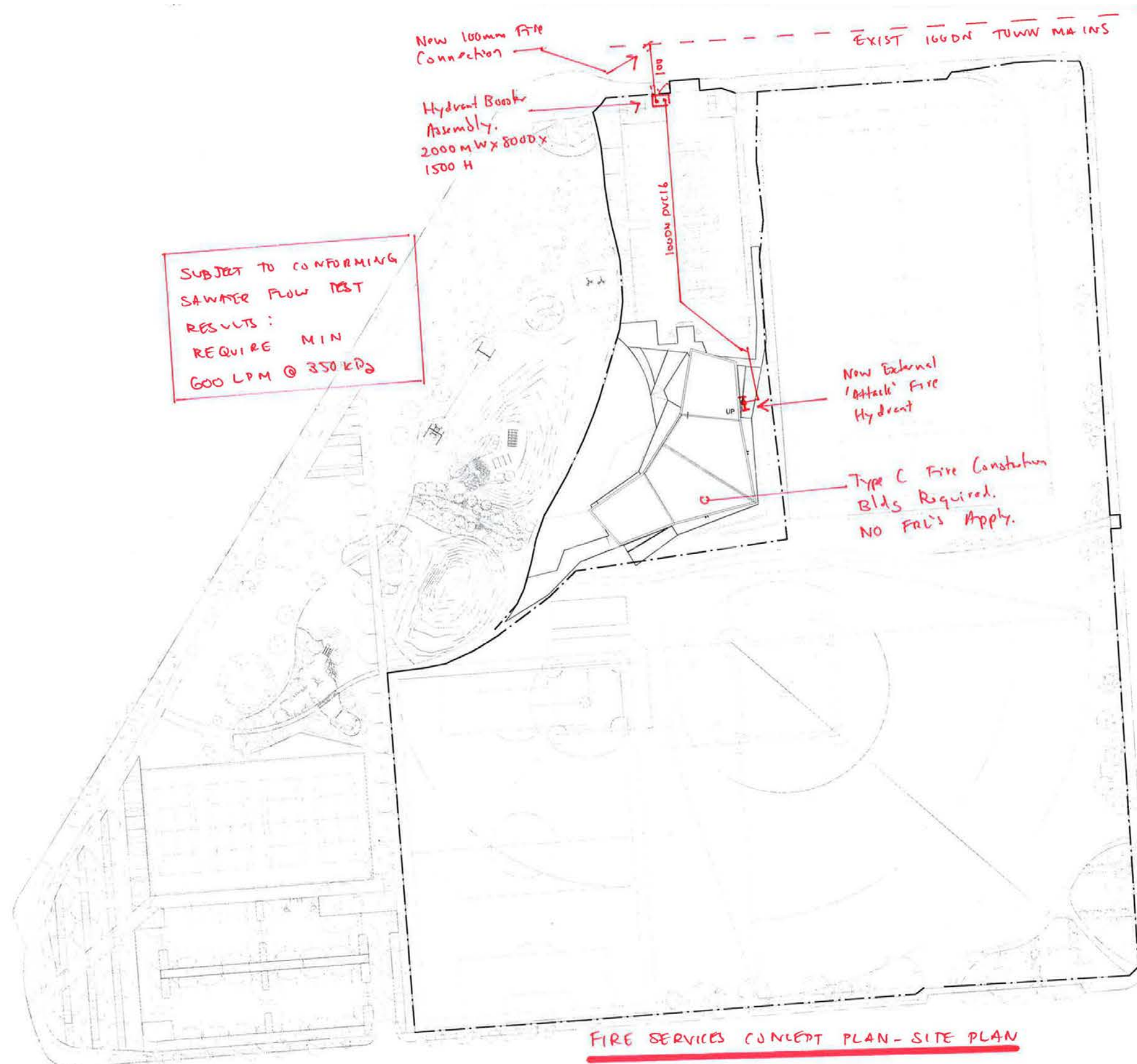
JOB: 1803158  
DATE: 4/6/19  
SKE - 7  
BY: AK



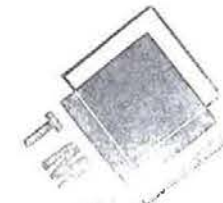
**PHILIPS**

Internal use ONLY





Sketch: SKC-1  
 Date: 01.06.2018  
 Ref: 1803158



Civil - Structural  
 Environmental - Geotechnical  
 Mechanical - Electrical  
 Hydraulics  
 Green ESD

100 Pine Street,  
 Adelaide SA 5000  
 Telephone: 8238 4100  
 Facsimile: 8410 1405

**PRELIMINARY**

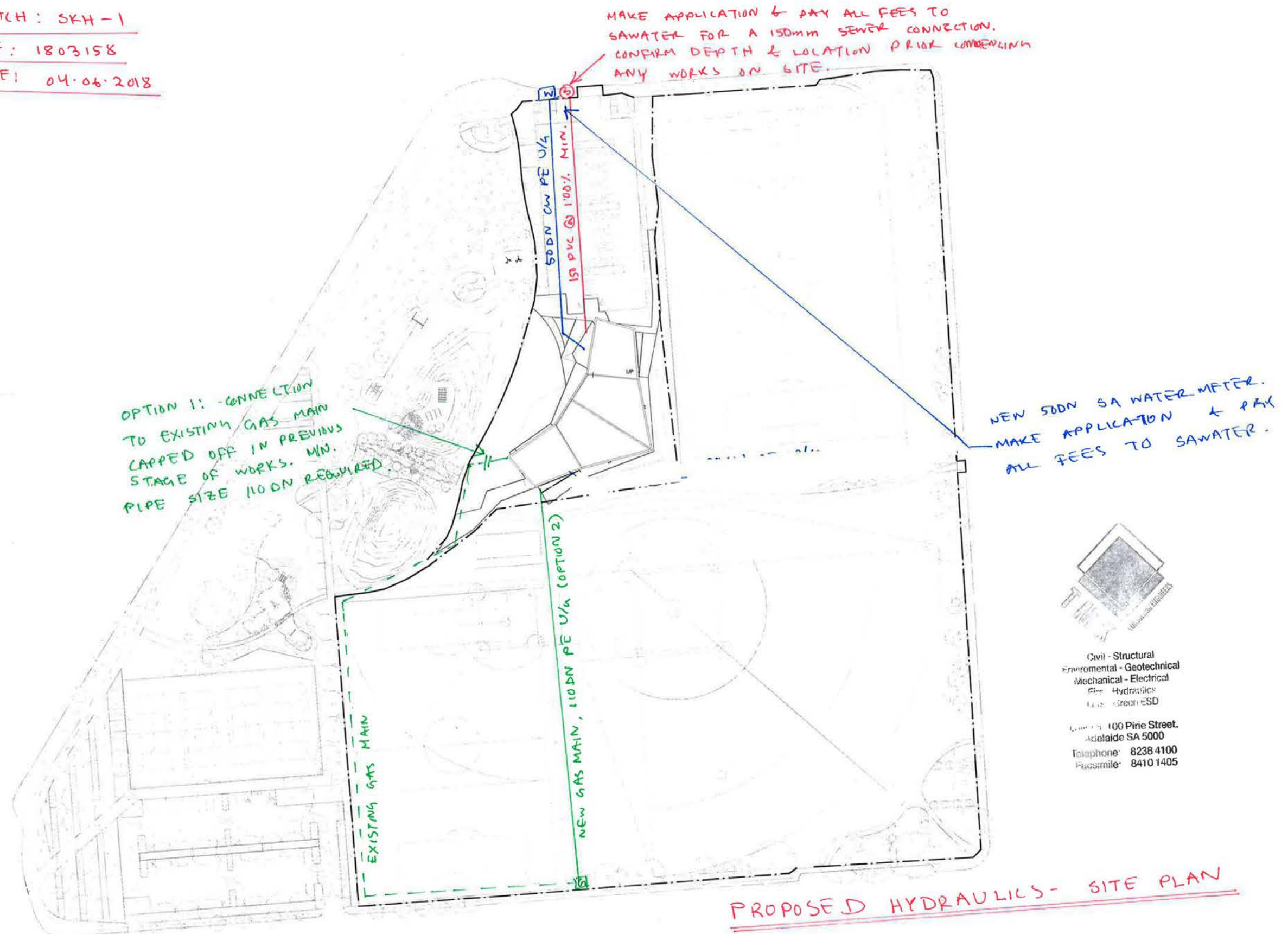




SKETCH: SKH-1

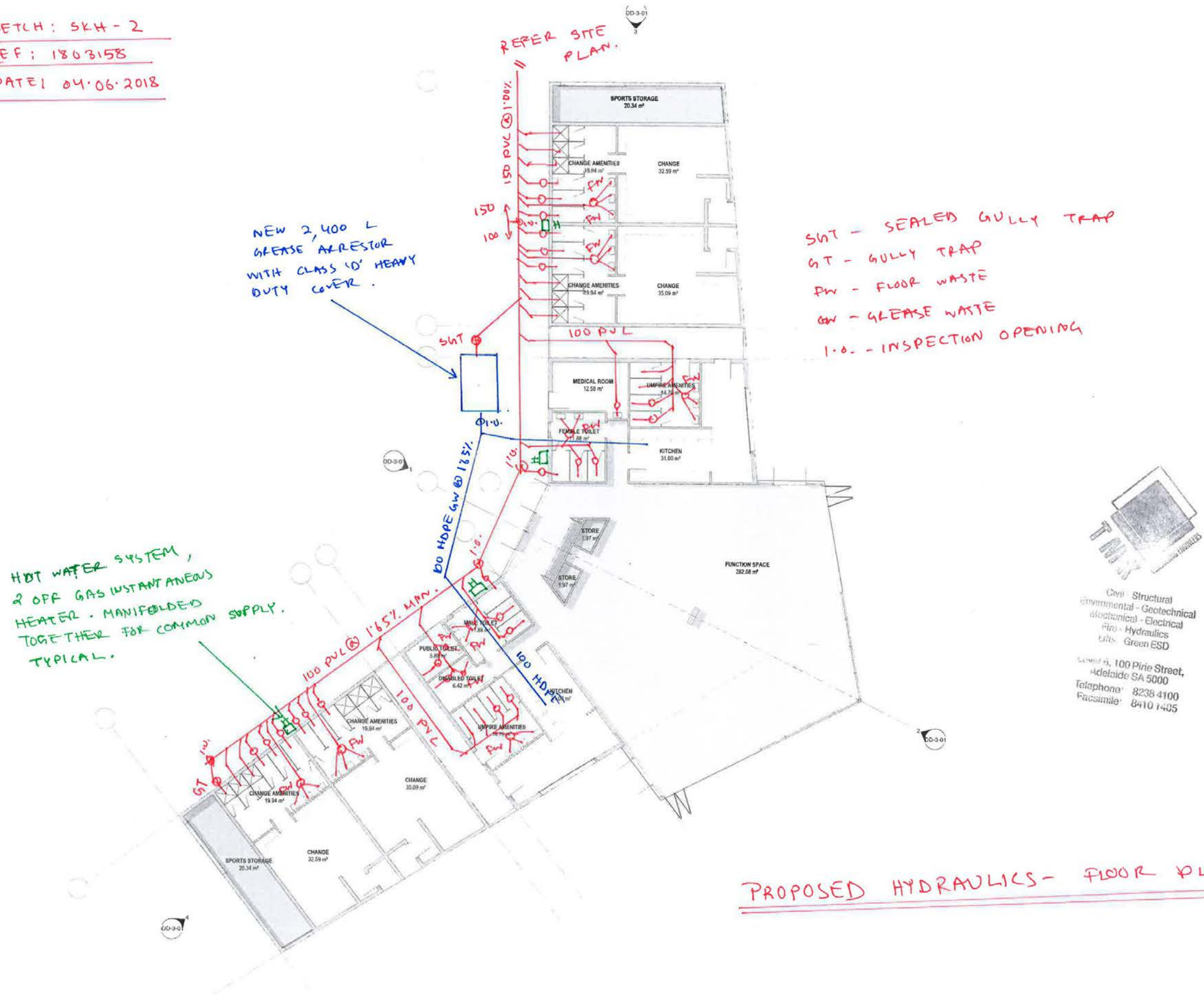
REF: 1803158

DATE: 04.06.2018





SKETCH: SKH-2  
REF: 1803158  
DATE: 04.06.2018



## PROPOSED HYDRAULICS - FLOOR PLAN

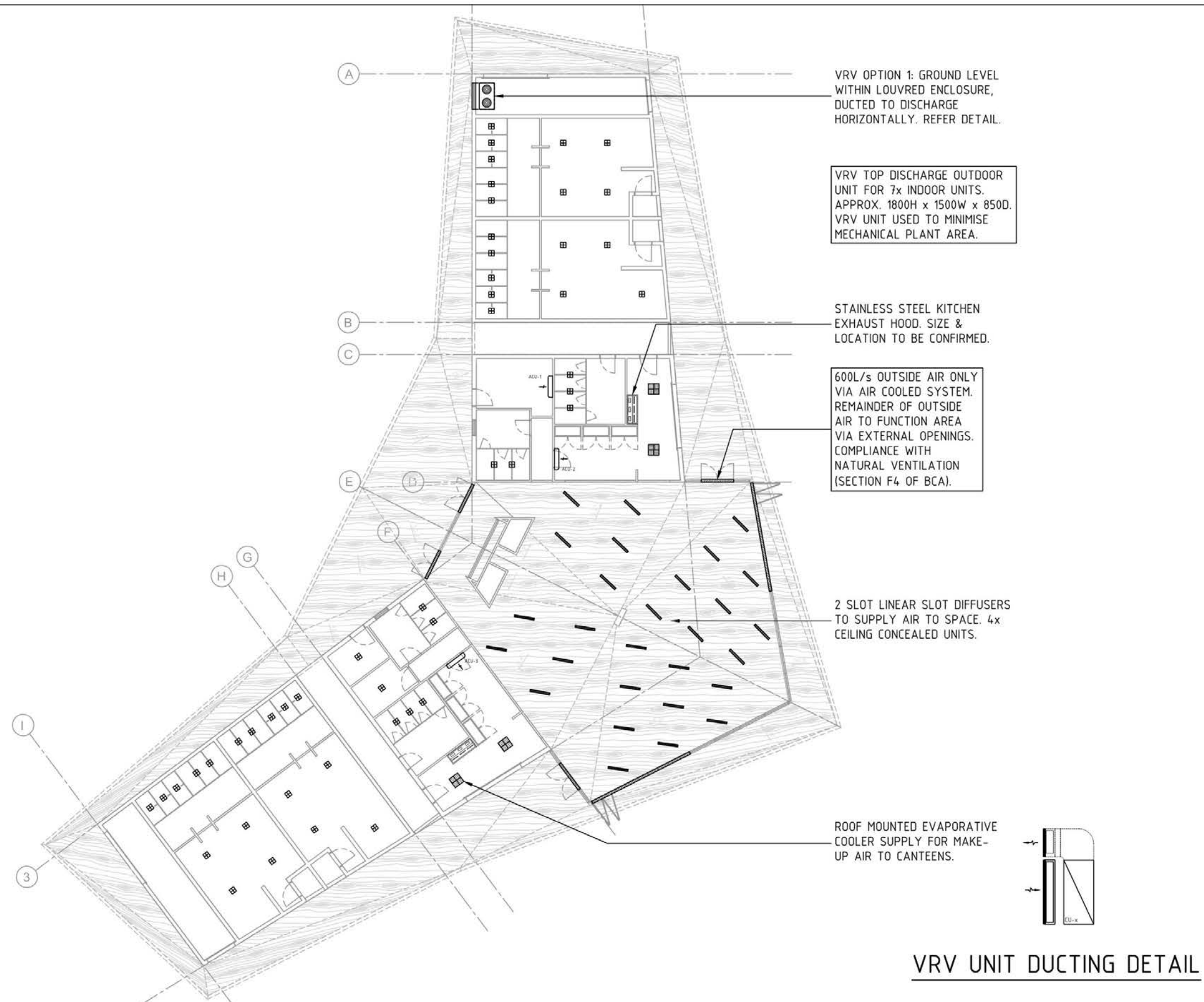
SKETCH: SKM-1  
DATE: 04.06.2018  
REF: 1803158



Civil  
Environmental  
Mechanical  
Fire  
Lifts

Structural  
Geotechnical  
Electrical  
Hydraulics  
Green ESD

Level 6, 100 Pirie Street,  
Adelaide SA 5000  
Telephone 08 8238 4100  
Facsimile 08 8410 1405





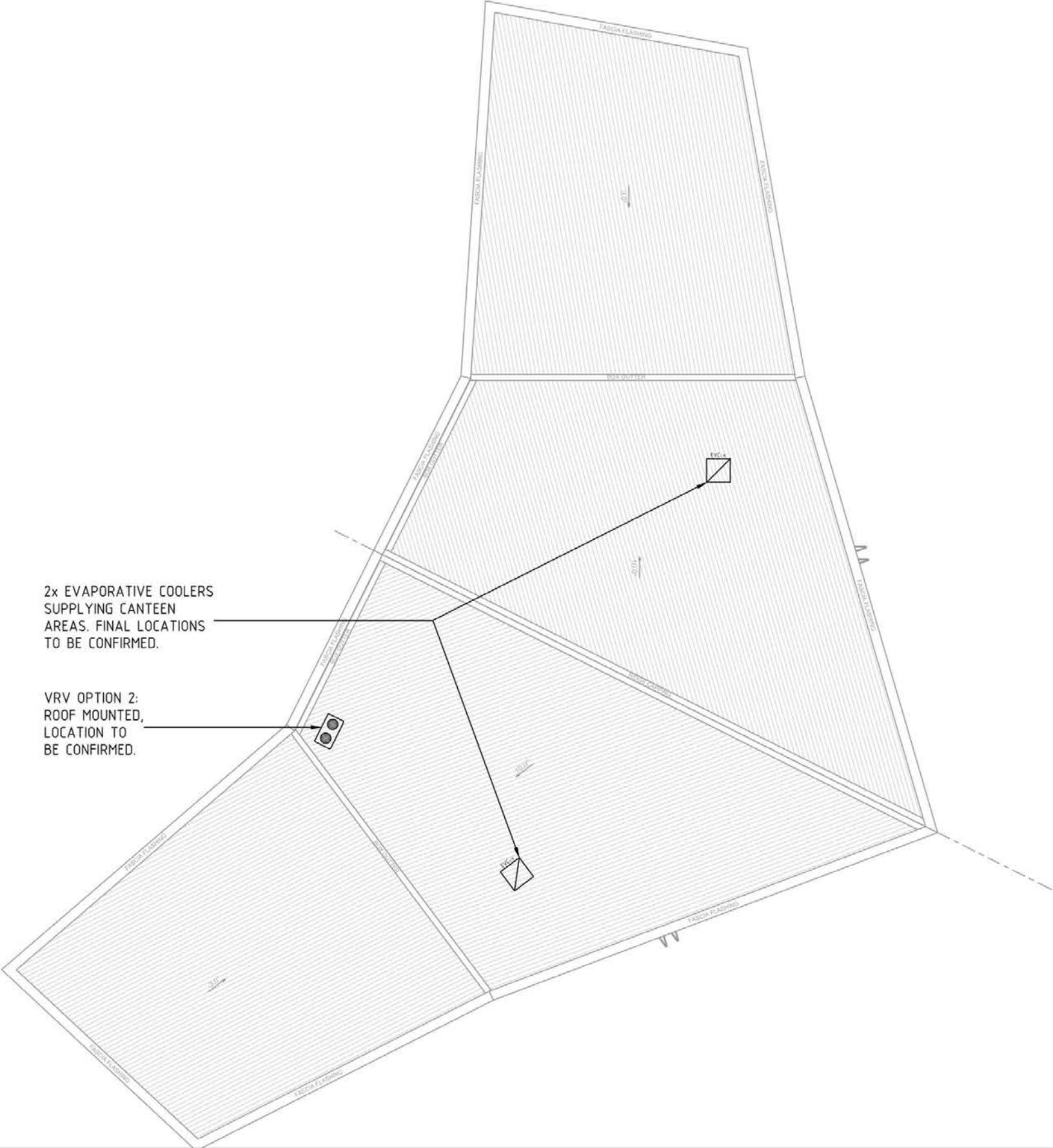
SKETCH: SKM-2  
DATE: 04.06.2018  
REF: 1803158



Civil  
Environmental  
Mechanical  
Fire  
Lifts

Structural  
Geotechnical  
Electrical  
Hydraulics  
Green ESD

Level 6, 100 Pirie Street,  
Adelaide SA 5000  
Telephone 08 8238 4100  
Facsimile 08 8470 1405





**MEMBER SCHEDULE**

- Purlins Z20015 @ 1240/c  
lapped 150w bridging
- R1 310UB40 Rafter
- R2-R4 } 200UB18 Rafter
- R19, R20 }
- R5, R15 250UB31 Rafter
- R6-R14 180UB18 or 150PFC Rafter
- R16 360UB51 Rafter
- R17, R18 410UB60 Rafter/carry beam.
- RB1 250UB26 outigger beam supporting edge beam.
- RB2 310UB40 outigger beam supporting edge beam.
- EB1 150PFC Edge Beam
- EB2 200PFC Edge Beam.
- C1 100 SHS column.
- C2 125 SHS column.
- C3 150 SHS column.

Checked : \_\_\_\_\_  
Date : \_\_\_\_/\_\_\_\_/\_\_\_\_



REF# 1803158

DATE: JUNE '18

DESIGN: AG

DEG NO: SSK1

ROOF MARKING PLAN 1:100 A1 SIZE.

Roof framing symmetrical each side of ridge.











**STATEMENT OF REPRESENTATION**  
**Pursuant to Section 38 of the Development Act 1993**

TO Chief Executive Officer  
 City of West Torrens  
 165 Sir Donald Bradman Drive  
 HILTON 5033

DEVELOPMENT No. 211/646/2018  
 PROPERTY ADDRESS: 21-39 James Street, PLYMPTON SA 5038

YOUR FULL NAME	David John Niejalke
YOUR ADDRESS	28 James St
YOUR PHONE No	[REDACTED]
YOUR EMAIL	[REDACTED]
NATURE OF INTEREST	Adjoining resident <small>(eg. Adjoining resident, owner of land in the vicinity etc.)</small>

**REASON/S FOR REPRESENTATION**

Since commencement of Weigall Oval redevelopment, there has been a significant increase in cars parked on both sides of James St. Have experienced difficulties safely exiting my driveway. There was a recent car accident in James St involving a resident reversing from their driveway. Emergency services attended. Refer to diagram below which illustrates difficulties.

**MY REPRESENTATIONS WOULD BE OVERCOME BY**  
(state action sought)

Consider speed limit amendments because parked cars (especially SUVs + 4WDs) reduce visibility. This is the case for motorists, especially those reversing from their drives and pedestrians.

Could consider parking situation, but appreciate options may be limited.

Please indicate in the appropriate box below whether or not you wish to be heard by Council in respect to this submission:

I DO NOT WISH TO BE HEARD ☒

I DESIRE TO BE HEARD PERSONALLY ☐

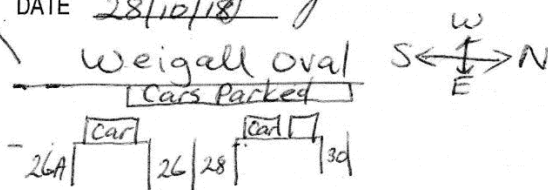
I DESIRE TO BE REPRESENTED BY \_\_\_\_\_ ☐

(PLEASE SPECIFY)

SIGNED

DATE

*D.J. Niejalke*  
 28/10/18



Responsible Officer: Brendan Fewster  
 Ends: Wednesday 7 November 2018

If space insufficient, please attach sheets

RECEIVED - CWT IM  
8 NOV 2018

STATEMENT OF REPRESENTATION  
Pursuant to Section 38 of the Development Act 1993

TO

Chief Executive Officer  
City of West Torrens  
165 Sir Donald Bradman Drive  
HILTON 5033

City of West Torrens

08 NOV 2018

City Development

RECEIVED CSU WTCC  
AM 8 9 10 11 12  
PM 1 2 3 4 5  
- 7 NOV 2018

DEVELOPMENT No.  
PROPERTY ADDRESS:

211/646/2018  
21-39 James Street, PLYMPTON SA 5038

YOUR FULL NAME	KARREN HAZLEDINE
YOUR ADDRESS	22 JAMES ST PLYMPTON
YOUR PHONE No	[REDACTED]
YOUR EMAIL	[REDACTED]
NATURE OF INTEREST	RESIDENT LIVING ACROSS FROM THE DEVELOPMENT. (eg. Adjoining resident, owner of land in the vicinity etc.)
REASON/S FOR REPRESENTATION	<p>① THE DEVELOPMENT DOES NOT REPRESENT THE INTERESTS OF THE COMMUNITY.</p> <p>② IT APPEARS THE CONSULTATION PROCESS DID NOT REPRESENT THE INTERESTS OF THE COMMUNITY</p> <p>③ IT APPEARS FAVORITISM WAS APPLIED TO THE BASEBALL CLUB WHO OBTAINS A BRAND NEW FACILITY AT THE COMMUNITY'S EXPENSE</p> <p>④ APPEARS NO INDIGENOUS CONSULTATION COMPLETED</p>
MY REPRESENTATIONS WOULD BE OVERCOME BY FIRSTLY [ ] WOULD (state action sought)	<p>① A COPY OF THE LEASE AGREEMENTS RELATING TO THE EXISTING BLDG / PREMISES.</p> <p>② BUDGET AND FINANCIAL BUDGET POST DEVELOPMENT DOES THE RENT INCREASE</p> <p>③ DETAILS OF THE FULL DISCLOSURE OF THE COMMUNITY ENGAGEMENT PROCESS.</p>

Please indicate in the appropriate box below whether or not you wish to be heard by Council in respect to this submission:

I DO NOT WISH TO BE HEARD ☐I DESIRE TO BE HEARD PERSONALLY ☒I DESIRE TO BE REPRESENTED BY \_\_\_\_\_ ☐

(PLEASE SPECIFY)

SIGNED

DATE 7/NOV 2018

④ DETAILS OF ALL RELATIONSHIPS AT THE COUNCIL WITH THOSE BENEFITING IE. BASEBALL CLUB / SOCCER CLUBS

⑤ RISK ASSESSMENTS

⑥ IMPACT ON COUNCIL REVENUES.

If space insufficient, please attach sheets

⑤ DETAILS OF CONFLICTS OF INTEREST AND HOW THESE WERE MANAGED. ⑥ PLEASE PROVIDE DETAILS OF INDIGENOUS CONSULTATION

Responsible Officer: Brendan Fewster  
Ends: Wednesday 7 November 2018

**Weigall Oval (Representation Questions) - 11 Jan 2019****THE DEVELOPMENT DOES NOT REPRESENT THE INTERESTS OF THE COMMUNITY**

The Weigall Oval Upgrade - Prudential Report (Oct 2017), (endorsed by Council on the 17 October 2017), addresses a number of strategic objectives set out in the Towards 2025 Community Plan, the Infrastructure and Asset Management Plan (Buildings) and the Strategic Directions Report Vision 2025.

The Community Plan is Council's lead strategic document and was developed in close consultation with people who live and work within the City of West Torrens and captures their needs and expectations for the future. The plan is continually reviewed to ensure it continues to meet community aspirations. The Infrastructure Plan and Strategic Directions Report support the Community Plan and guide decision making. These are all based on community consultation.

The Weigall Oval Upgrade project therefore closely represents the interests of the community through meeting a number of objectives identified in Council's suite of strategic management plans.

**IT APPEARS THE CONSULTATION PROCESS DID NOT REPRESENT THE INTERESTS OF THE COMMUNITY**

Extensive consultation was undertaken with a broad range of stakeholder (sporting) groups and the wider community as part of the Master Plan process (refer below). Consultation was undertaken in accordance with Council's consultation policy specifications and legislative requirements. Further, adoption of the final Master Plan concept was deferred until additional consideration could be given to clarifying certain issues raised through the consultation process. A number of amendments were made to the Master Plan as a result of Community feedback prior to its endorsement by Council. The Masterplan was endorsed by Council 7 July 2015.

**IT APPEARS THAT FAVOURITISM WAS APPLIED TO THE BASEBALL CLUB WHO OBTAINS A BRAND NEW FACILITY AT THE COMMUNITY'S EXPENSE**

Council committed, in 2006, to a property review process which assessed Council-owned building condition and usage. This resulted in properties being identified for alternative use, disposal, redevelopment or maintenance.

This process resulted in Weigall Oval being identified as a site for redevelopment. Further, the baseball club is not the only party which will benefit from the delivery of this project. The soccer club will also utilise a portion of the building and the wider community will have access to the hall/function space at times when the building is not required for the club(s) use.

**APPEARS NO INDIGENOUS CONSULTATION COMPLETED**

Council adopts an inclusive approach to its consultation and dealings with the public and consultation for this project was undertaken in accordance with Council's consultation policy and legislative requirements. No specific indigenous consultation was undertaken as part of the Master Plan consultation process.

**IT DOES NOT TAKE INTO ACCOUNT DISABILITY SECTOR**

The new building and surrounds has been designed to meet all applicable requirements and standards under the Building Code of Australia (BCA) / Australian Standards for persons with a disability.



**A COPY OF THE LEASE AGREEMENTS RELATING TO THE EXISTING BLDG/PREMISES**

The lease documents will only be made available following a Freedom of Information (FOI) Application. FOI requests are made by contacting an Accredited FOI Officer on 8416 6333 or by downloading an FOI Application from Council's website.

The current lease agreement for Weigall Oval:

- Adelaide Baseball Club
- Adelaide Cobras Soccer Club
- Weigall Oval Trainers Association

**BUDGET AND FORWARD BUDGET POST DEVELOPMENT**

This question was addressed in the prudential report undertaken by independent consultant JAC Comrie Pty Ltd. The prudential report was presented to Council at its meeting of 17 October 2017 and a copy was made available for inspection by any interested party(ies).

Please also note that Council received grant funding of \$1.2M from the State Local Government Infrastructure Partnership (SLGIP) to assist with delivery of this project.

Council's adopted 10-year Financial Management Plan (Long-term Financial Plan) includes staged funding to support the delivery of the Weigall Oval Upgrade works.

**FULL DISCLOSURE OF THE COMMUNITY ENGAGEMENT PROCESS**

Targeted public consultation relating to the redevelopment/upgrade of Weigall Oval occurred in accordance with the requirements of the Local Government Act and Council's Public Consultation policy.

The public consultation period commenced on 15 September 2014 and closed on 31 October 2014.

Approximately 1,650 surveys were distributed to properties within the catchment area which was bounded by properties located on:

- The eastern side of Gray Street to the east;
- The northern side of Anzac Highway to the south;
- The eastern side of, Marion Road to the west; and
- The northern side of Murdoch Avenue to the north

In addition to this distribution, the survey was able to be completed on line on Council's website during the consultation period. Also, a Community day, attended by relevant Council Administration and the consultants who had been engaged to assist with preparation of the Master Plan, was held at Weigall Oval on Saturday 11 October 2014 between the hours of 11:00 am and 2:00 pm.

Information was also placed on Council's Facebook page and tweets were sent using twitter in regard to the community day at Weigall Oval and a hardcopy of the Master Plan was available for viewing at the Customer Service counter in Council's Civic Centre and the Hamra Library.

Following the close of the public consultation process a consultation report was produced by the consultants which was provided to the Council, with an accompanying agenda item prepared by the Administration for its consideration at its meeting of 3 February 2015. Subsequent to its consideration of the report the Council resolved to defer a decision on endorsement of the Master Plan pending a further meeting between Plympton and Keswick Ward Councillors and Council's General Manager Urban Services to clarify a number of matters.

The meeting alluded to above occurred on 17 February 2015 and an updated report was provided to Council for its consideration at its meeting of 7 July 2015. The Weigall Oval Master Plan was endorsed by the Council at this meeting.

A further letter was provided to residents whose properties face Weigall Oval on 1 November 2017 advising of the impending commencement of Stage 1 works.

*(NB: Updated information relating to this project [and other projects Council is currently undertaking] continues to be made available on Council's website.)*

#### **DETAILS OF ALL RELATIONSHIPS AT THE COUNCIL WITH THOSE BENEFITTING I.E. BASEBALL/SOCCER CLUBS**

The new clubroom design will allow community use of the hall component of the building when not required for use by the Clubs i.e. the sporting clubs will not be the only beneficiaries of the new building. Please also note that the facility will be managed by the Council during (at least) the defect liability period. In addition to identifying any building issues this will also allow the Council to gauge demand for use of the premises

An Elected Member Register of Interest is publically available and can be found on Council's website.

#### **RISK ASSESSMENTS**

The prudential report undertaken by independent consultant JAC Comrie Pty Ltd included a financial risk assessment and concluded any associated financial risk can be managed by Council without impact on the existing other service levels provided to its community. The prudential report was presented to Council at its meeting of 17 October 2017 and a copy was made available for inspection by any interested party(ies).

#### **IMPACT ON COUNCIL REVENUES**

This matter was addressed in the prudential report undertaken by independent consultant JAC Comrie Pty Ltd. The report concluded that any associated financial risk by undertaking the Weigall Oval Upgrade project can be managed by Council without impact on the existing other service levels provided to its community. The prudential report was presented to Council at its meeting of 17 October 2017 and a copy was made available for inspection by any interested party(ies).

#### **DETAILS OF CONFLICTS OF INTEREST AND HOW THESE WERE MANAGED**

As indicated above, the Council received the consultation report dealing with issues which were raised during the public consultation process at its meeting of 3 February 2015.

As a result of the public consultation process two residents indicated that they wished to provide deputations to the Council in regard to the proposed redevelopment of Weigall Oval. The deputations were heard at the Council's meeting of 7 July 2015.

An Elected Member Register of Interest is publically available and can be found on Council's website.

#### **CAR PARKING**

Additional car parking within the Oval precinct will be provided as part the next stage of works.

#### **SPEED LIMITS**

Speed limits will remain at the designate 50km/hr for local streets.

Additional pedestrian (warning) signage has been installed along Birdwood Tce, North Plympton.

## Preliminary Traffic, Flooding & Stormwater Assessment

**Development Application No:** 211/646/2018

<b>Assessing Officer:</b>	Brendan Fewster
<b>Site Address:</b>	21-39 James Street, PLYMPTON SA 5038
<b>Certificate of Title:</b>	CT-5865/249
<b>Description of Development</b>	Demolition of existing clubroom building, sports field and associated structures and construction of a new multi-purpose clubroom building comprising change room and toilet facilities, medical rooms, kitchen facilities, function space and store rooms, and construction of new soccer and baseball pitches, light towers and fencing, car parking and landscaping - Staged Development

### TO THE TECHNICAL OFFICER - CITY ASSETS

Please provide your comments in relation to:

- ☐ Site drainage and stormwater disposal
- ☐ Required FFL
- ☐ On-site vehicle parking and manoeuvrability
- ☐ New Crossover
- ☐ Your advice is also sought on other aspects of the proposal as follows:

.....  
.....

**PLANNING OFFICER - Brendan Fewster**

**DATE 26 November, 2018**





## Memo

To                      Brendan Fewster  
From                  Andrew King  
Date                  26 November 2018  
Subject               211/646/2018, 21-39 James Street, PLYMPTON SA 5038

Brendan Fewster,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

### **1.0 Traffic and Parking**

The following information was provided by Council's Traffic Consultant;

I refer to the proposed redevelopment of Weigall Oval as shown in Drawings DA-1-02 Revision A and DA-2-01 Revision A by JPE Design Studio.

The first stage that is currently under construction involves new car parking, playground and tennis courts on the western side of the site.

The next stages, which is the subject of this assessment, involves removing the trotting track, construction of separate soccer and baseball fields and a new clubroom for the sporting groups that are located at the oval (including the Adelaide Cobras Soccer Club and Adelaide Angels Baseball Club). The proposed works are part of an overall master plan that was endorsed by Council in 2014.

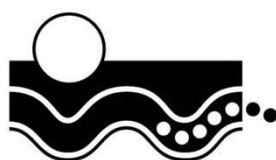
The new clubroom would have a function area of approximately 240m<sup>2</sup>, which would be available for public bookings.

The following information were provided in the documentation, which describe how the various facilities are to be used:

*Soccer and baseball are the two key sports played at Weigall Oval, with leases currently held with:*

- Adelaide Cobras (Omonia) Soccer Club, and
- Adelaide Angels Baseball Club

*Both Clubs currently share the lease of the Weigall Oval premises. Baseball hold the lease from the first day in October until the last day in March each year, and soccer hold the lease from the first day in April to the last day in September each year. With the Stage 2/3 Upgrade to Weigall Oval, it is anticipated that this arrangement will continue for the Clubrooms, change*



City of **West Torrens**

Between the City and the Sea

rooms and junior field/pitch however, each club will be the sole leaseholder (full 12 months per year) of their respective sports field and kitchen/bar area.

#### *Adelaide Angels Baseball Club:*

*During Summer Season, training occurs most evenings each week from 4.30pm to 8.00pm. In addition, Tuesday nights are set aside for Twilight games (Div 1) with the Diamond in use from 5pm to 8pm.*

*Competition games are typically played on Friday nights (Women's comp), Saturday's and Sunday's during the summer, and, depending on programming can run anywhere from 9am to 6pm (on Saturdays and Sundays). Junior Games also operate on Sundays resulting in 2 diamonds in use.*

*During winter, the Club currently operates training and games for approximately half the number of teams as in summer. Training is typically one to two nights per week from 6pm to 8.30pm. Winter games are only played on Saturdays and the diamond could be in use from 9am to 5pm.*

#### *Adelaide Cobras Football Club (soccer):*

*During Winter Season, training occurs most evenings each week until approximately 8.00pm.*

*Senior and Junior competition games are typically played on Saturday's and Sunday's during the winter, and, depending on programming can run anywhere from 9am to 5pm.*

*During summer, the Club currently operates some training for a small number of teams and participates in junior tournaments on occasion.*

*Training is typically one to two nights per week until approximately 8pm and tournaments run on weekends between 9am and 5pm.*

*It is not envisaged that the existing use of the facility will change dramatically with the construction of a new building. However, with the introduction of separate sporting fields, it is expected that both fields will be in operation (although reduced during the respective off-seasons) year round.*

*The predominant use of the Clubrooms will be weekends when games are played at home. The canteens will be operational and there may be food service or bbq's that take place. Social activities, meetings and other club related activities will also be undertaken in the facility on an as-needs basis.*

*Weekends are important fundraising and social nights for the Clubs and often include a BBQ or dinner service. Social activities operate year round (baseball activities in summer and soccer activities in winter currently). The number of social activities may increase with the new building, however the times of use would still be within the licenced days/times. Overall, numbers are not expected to increase significantly. It is expected numbers will range from 30 people to full capacity of the function space. Presentation evenings will also be held in the new facility 1-2 times per year per club where the facility will be used to its capacity.*

*Although numbers of members for each club may increase with the construction of a new facility, it is not seen as a significant increase due to the fact that both of these clubs are currently strong with large numbers of junior and senior participants.*

*There will therefore continue to be an opportunity for the public to hire the function space for birthday parties, meetings and other community activities. It is anticipated that community hire of the function space will occur on week days and weeknights year round, and weekend evenings when not in use by the lessees (Clubs).*



## 1.1 **Parking Assessment**

As the two main sports that would occupy the site run on separate seasons, notwithstanding that both fields may be in operation at the same time, it would be in a peak season one sport/off-peak season the other sport scenario. Baseball is a summer sports whereas soccer is a winter sport. There is little likelihood of peak parking being generated by both sports at the same time.

The current parking provision on-site is approximately 55 spaces. The proposed development would result in there being 135 spaces on-site, spread over two new car parks. The increase in parking provision is therefore 80 spaces.

The proposal plans show that the new building would have a total floor area of approximately 700m<sup>2</sup>.

### 1.1.1 **Assessment against the Development Plan**

The Council's Development Plan lists a parking rate of 10 spaces per 100m<sup>2</sup> total floor area for a 'community centre' land use. If the new building were to be considered as such a land use, the parking required would be 70 spaces. There is already a clubroom on-site (that would be demolished). The net increase in building floor area would be less than 700m<sup>2</sup> and therefore, having regard to existing use rights, the parking requirement would be less than 70 spaces. Notwithstanding this, the parking provision of 135 spaces would well exceed this requirement. Assessed on this basis, the parking requirement in the Development Plan would be easily satisfied.

I note that the function space could potentially be hired out for private functions but this would only occur during times when the function area is not in use by the lessees. In addition, there would be occasions when presentations would be held for the clubs and also fundraisers from time to time that would use the function space. While the capacity of the function area is not indicated, it would seem to me that there could be up to say 240 people accommodated within that space, if assuming a 1m<sup>2</sup> area per person rate. In my experience, the typical parking rate adopted for functions is 1 space per 3 persons. A function of 240 people would therefore require 80 parking spaces. The parking provision of 135 spaces would well exceed this requirement. Assessed on this basis, the parking provision would adequately cater for functions that may be held from time to time within the building.





### 1.1.2 Assessment against the anticipated increase in usage of the oval

In considering this issue, I have had regard to two factors:

While there is no parking data provided in the documentation, I note the statement that *'although numbers of members for each club may increase with the construction of a new facility, it is not seen as a significant increase due to the fact that both of these clubs are currently strong with large numbers of junior and senior participants'*. In other words, the statement suggest that the attendance levels of each of the clubs' facilities is not likely to significantly increase in the future.

The parking provision on-site would increase from 55 spaces to 135 spaces. This is a very significant increase in parking provision on-site (more than double the current number of spaces).

It would seem to me that the increase in the number of parking spaces on-site (80 spaces) should be more than adequate to accommodate the likely increase in additional users anticipated. An 80-space increase would be equivalent to an additional 240 people (typical parking rate of 1 space per 3 spectators) coming to the oval during the peak game time, which would seem to be an improbable scenario.

I note that there is also significant on-street parking available on all four boundary roads of the subject site.

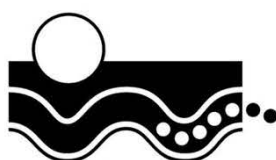
In summary, based on the above assessment, I am satisfied that adequate parking would be provided for the proposed development.

## 1.2 Parking Layout and Servicing

The proposed parking layout should be designed to the requirements of AS/NZS 2890.1-2004 and AS/NZS 2890.6-2009 (disabled parking).

A sports facility is defined as a User Class 2 facility in AS/NZS 2890.1-2004. This user class would require 2.5m wide spaces minimum and 5.8m wide aisleways minimum.

The proposed northern car park access point in Oval Terrace would be located in close proximity to McArthur Avenue opposite. To comply with AS/NZS 2890.1-2004, I recommend that the access point be located at least 6m west of the prolongation of the western kerb line of McArthur Avenue, which would appear to be achievable.



City of **West Torrens**

Between the City and the Sea

I note that proposed southern car park access point in Urrbrae Terrace would utilise an existing driveway (entry pillars and gate) that is located opposite Manfred Street. Given that it is an existing and long-standing driveway and there is no apparent crash history at this location (DPTI database shows no reported crashes over the 5-year period 2012 to 2016 inclusive), I do not have concern with the retention of this driveway for access to the southern car park.

I note that the northern car park is closest in proximity to the new building. I assume that servicing of the function area, bar and kitchen facilities would occur during times when parking demands are very low at the oval, prior to games and functions. The car park would be able to suitably accommodate the range of service vehicles, from vans to say MRV size trucks, which should be able to utilise the vacant spaces for temporary parking. There may be a requirement to include a condition for servicing times, however, I note that from a management perspective, the clubs would likely arrange for the servicing to occur in off-peak periods anyway so as not to impact on their members. I am therefore satisfied that servicing can be satisfactorily accommodated using the northern car park.

### **1.3 Traffic Impact**

Given that the peak parking demands would be generated on weekends, the traffic flows around the adjacent streets would generally be lower than during weekday periods. Having regard to the information provided, in particular, that there is not likely to be a significant increase in attendance at the oval, there should not be capacity issues arising for the adjacent road network.

In summary, based on the above assessment, I am of the opinion that the proposed development would be supportable from a traffic and parking perspective.

## **2.0 Stormwater Management**

It is my understanding that other than that which has been notated on the provided civil and landscape drawings, not further commentary information or design report has been provided in relation to the stormwater management within the development.

Council would typically request for development of this scale and nature for there to be consideration of stormwater detention, stormwater quality improvement and the collection and re-use of stormwater.



## **2.1 Stormwater Detention**

There are no indications on the civil plans of any measures specifically designed into the development which would specifically address the detention of stormwater from the site.

Some inconsequential detention may be achieved within the nominated 'Bio-Filtration' system in the new northern carpark, with this only having potential benefit to the car park runoff only.

The majority of the proposed site runoff would be collected and directed to an existing Council system located in Oval Tce to the north of the site. It is noted that at present no runoff from the site is directed to this receiving system and the new connection is actually nominated to be larger in diameter than that of the existing.

An elaborate amount of subsurface drainage has also been nominated under several of the upgraded planning fields and I would be uncertain (based on no information how these are proposed to function) of the extent of runoff which would be collected by these in comparisons to the existing fields.

***It would be recommended that this development should demonstrate that measures were in place to ensure the runoff from the developed site would not unreasonably extent that of the existing.***

## **2.2 Stormwater Quality Improvement**

No supporting information or commentary has been provided in relation to addressing stormwater quality improvement from the development site.

A nominated 'Bio-filtration' system is located within the new northern car parking area, to collect and treat runoff from this element of the project.

Council typically requests consideration of stormwater quality improvement as outlined in the tabulated targets within the State Government WSUD Policy. This would include addressing runoff from all hard surfaces within a development, not just car parking areas.

It is noted that there are detailing elements in association with the nominated 'Bio-filtration' system which are deficient of accepted industry standard design. I am aware that elements of this are being addressed between Council and the design in consideration of Council being the applicant.





***It would be recommended that this development should demonstrate that measures were in place to address appropriate stormwater quality improvement from the development.***

### **2.3 Stormwater Harvest and Re-use**

There are no notations on the provided information which would imply any collection and re-use of stormwater within the development.

City Assets would typically strongly encourage the adoption of such within developments of this nature due to the high efficiency or reuse which would likely be achieved. This is specifically considering the collection of roof water from the building roof and re-using it within the hot water for shower and toilet flushing within the building.

It is noted that a well-designed and efficiently utilised stormwater storage tank would likely provide direct benefits towards achieving both the stormwater detention and water quality improvement requirements for the development.

***It would be recommended that this development should strongly be encouraged to consider the inclusion of stormwater harvest and re-use within the development.***

### **2.4 Summary**

Given the currently available limited extent of stormwater management information available in association with the development, reasonable time and development of additional information would be necessary prior to being able to undertake any further assessment.

It would be considered that the addressing of the standard stormwater management elements of the development are unlikely to result in the necessity for wholesale or notable layout, appearance or functionality changes to the development and as such, the addressing of further design and detailing of these subjects could be reasonable to be resolved through a Reserve Matter, if considered appropriate by the Planning Officer.

Should you require further information, please contact Andrew King on the following direct extension number 8416 6393

Regards

**Andrew King**  
**Coordinator Engineering Services**

**6.2 7 Murdoch Avenue, NORTH PLYMPTON**

Application No 211/1037/2018, 211/1038/2018 &amp; 211/483/2018

**DEVELOPMENT APPLICATION DETAILS**

DEVELOPMENT PROPOSAL	Land division - Torrens Title; SCAP No. 211/D125/18; Create one (1) additional allotment	Land division - Community Title; SCAP No. 211/C126/18; Create one (1) additional allotment and common property	Demolition of all existing structures and construction of a two storey detached dwelling and a two storey residential flat building containing two (2) dwellings and a combined retaining wall and fence to a maximum height of 2.2m
APPLICANT	J S R Walker	J S R Walker	Zybek Consulting and Management
LODGEMENT DATE	3 October 2018	3 October 2018	16 May 2018
ZONE	Residential Zone		
POLICY AREA	Medium Density Policy Area 19		
APPLICATION TYPE	Merit		
PUBLIC NOTIFICATION	Category 1	Category 1	Category 2
REFERRALS	Internal <ul style="list-style-type: none"> <li>Nil</li> </ul> External <ul style="list-style-type: none"> <li>SCAP</li> <li>SA Water</li> </ul>	Internal <ul style="list-style-type: none"> <li>Nil</li> </ul> External <ul style="list-style-type: none"> <li>SCAP</li> <li>SA Water</li> </ul>	Internal <ul style="list-style-type: none"> <li>City Assets</li> <li>Arboriculture Officer</li> </ul> External <ul style="list-style-type: none"> <li>Nil</li> </ul>
DEVELOPMENT PLAN VERSION	12 July 2018	12 July 2018	6 February 2018
RECOMMENDATION	Support with conditions		
AUTHOR	Amelia De Ruvo		

**RECOMMENDATION 1**

The Council Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent, Land Division Consent and Development Approval for Application No. 211/1037/2018 by J S R Walker to undertake a land division - Torrens Title; SCAP No. 211/D125/18; Create one (1) additional allotment at 7 Murdoch Avenue (CT 5699/680) subject to the following conditions of consent:

**Development Plan Consent Conditions:**

1. Development is to take place in accordance with the plans prepared by Cavallo Forest: Licensed Surveyors relating to Development Application No. 211/1037/2018 (SCAP 211/D125/18).

*Reason: To ensure the proposal is established in accordance with plans and documents lodged with Council.*

**Land Division Consent Conditions:****Council Requirements:**

Nil

**State Commission Assessment Panel Conditions:**

2. The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.

On receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non-standard fees.

On approval of the application, it is the developer's/owner's responsibility to ensure all internal pipework (water and wastewater) that crosses the allotment boundaries has been severed or redirected at the developer's/owner's cost to ensure that the pipework relating to each allotment is contained within its boundaries.

*Reason: To satisfy the requirements of SA Water Corporation.*

3. Payment of \$7253 into the Planning and Development Fund (1 allotment @ \$7253/allotment). Payment may be made by credit card via the internet at [www.edala.sa.gov.au](http://www.edala.sa.gov.au) or by phone (7109 7018), by cheque payable to the Department of Planning, Transport and Infrastructure and marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Level 5, 50 Flinders Street, Adelaide.

*Reason: To satisfy the requirements of State Commission Assessment Panel.*

4. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the State Commission Assessment Panel for Land Division Certificate purposes.

*Reason: To satisfy the requirements of State Commission Assessment Panel.*

**RECOMMENDATION 2**

The Council Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent, Land Division Consent and Development Approval for Application No. 211/1038/2018 by J S R Walker to undertake a land division - Community Title; SCAP No. 211/C126/18; Create one (1) additional allotment and common property at 7 Murdoch Avenue (CT 5699/680) subject to the following conditions of consent:

**Development Plan Consent Conditions:**

1. Development is to take place in accordance with the plans prepared by Cavallo Forest: Licensed Surveyors relating to Development Application No. 211/1038/2018 (SCAP 211/D126/18).

*Reason: To ensure the proposal is established in accordance with plans and documents lodged with Council.*

**Land Division Consent Conditions:****Council Requirements:**

Nil

**State Commission Assessment Panel Conditions:**

2. The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.

On receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non-standard fees.

The developer must inform potential purchasers of the community lots of the servicing arrangements and seek written agreement prior to settlement, as future alterations would be at full cost to the owner/applicant.

*Reason: To satisfy the requirements of SA Water Corporation.*



3. Payment of \$7253 into the Planning and Development Fund (1 allotment @ \$7253/allotment). Payment may be made by credit card via the internet at [www.edala.sa.gov.au](http://www.edala.sa.gov.au) or by phone (7109 7018), by cheque payable to the Department of Planning, Transport and Infrastructure and marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Level 5, 50 Flinders Street, Adelaide.

*Reason: To satisfy the requirements of State Commission Assessment Panel.*

4. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the State Commission Assessment Panel (SCAP) for Land Division Certificate purposes.

*Reason: To satisfy the requirements of State Commission Assessment Panel.*

### RECOMMENDATION 3

The Council Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/483/2018 by Zybek Consulting and Management to undertake a demolition of all existing structures and construction of a two storey detached dwelling and a two storey residential flat building containing two (2) dwellings at 7 Murdoch Avenue (CT 5699/680) subject to the following conditions of consent:

#### Development Plan Consent Conditions:

1. The development must be undertaken, completed and maintained in accordance with the plan(s) and information detailed in this application except where varied by any condition(s) listed below.

*Reason: To ensure the proposal is established in accordance with plans and documents lodged with Council.*

2. All stormwater design and construction shall be in accordance with Australian Standards and recognised engineering best practices to ensure that stormwater does not adversely affect any adjoining property or public road and, for this purpose, stormwater drainage will not at any time:
  - a) Result in the entry of water into a building; or
  - b) Affect the stability of a building; or
  - c) Create unhealthy or dangerous conditions on the site or within the building; or
  - d) Flow or discharge onto the land of an adjoining owner; or
  - e) Flow across footpaths or public ways.

*Reason: To ensure that adequate provision is made for the collection and dispersal of stormwater.*

3. All driveways, parking and manoeuvring areas will be formed, surfaced with concrete, bitumen or paving, and be properly drained prior to occupation, and shall be maintained in a reasonable condition at all times.

*Reason: To ensure the ongoing use and safety of vehicle parking and manoeuvring areas.*

4. All landscaping will be planted in accordance with the approved plans prior to the occupancy of the development. Any person(s) who have the benefit of this approval will cultivate, tend and nurture the landscaping, and shall replace any landscaping which may become diseased or die.

*Reason: To enhance the amenity of the site and locality and reduce heat loading.*

5. Prior to the occupation or use of the development, the upper level windows on the north, east and west elevations to dwelling 1 will be provided with fixed obscure glass to a minimum height of 1.7 metres above the upper floor level to minimise the potential for overlooking of adjoining properties, prior to occupation of the building. The glazing in these windows will be maintained in a good condition at all times to the satisfaction of Council.

*Reason: To maintain the level of privacy to residents of adjoining dwellings.*

6. Prior to the occupation or use of the development, all upper level windows to dwellings 2 and 3 will be provided with fixed obscure glass to minimum height of 1.7 metres above the upper floor level to minimise the potential for overlooking of adjoining properties, prior to occupation of the building. The glazing in these windows will be maintained in a good condition at all times to the satisfaction of Council.

*Reason: To maintain the level of privacy to residents of adjoining dwellings.*

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## BACKGROUND

The development proposal is presented to the Council Assessment Panel (CAP) for the following reason:

- The relevant application proposes a merit form of development which does not meet the minimum site area requirement in the relevant Zone or Policy Area by 7.5% or more.

## SITE AND LOCALITY

The subject site is formally described in Certificate of Title Volume 5699 Folio 680, comprising allotment 59 in Deposited Plan 3143, in the area named North Plympton Hundred of Adelaide, more commonly known as 7 Murdoch Avenue, North Plympton. There are no easements, encumbrances or Land Management Agreements affecting the subject site.

The subject site is an existing residential property located on the northern side of Murdoch Avenue, approximately 100 metres (m) east of Marion Road. The subject site is rectangular in shape with a 17.4m wide frontage to Murdoch Avenue, a depth of 43.9m and an overall site area of 763.9 square metres (m<sup>2</sup>). The land currently contains a single storey detached dwelling, an attached carport and detached outbuilding. The subject site is generally flat although it slopes down towards the north-eastern corner of the allotment.

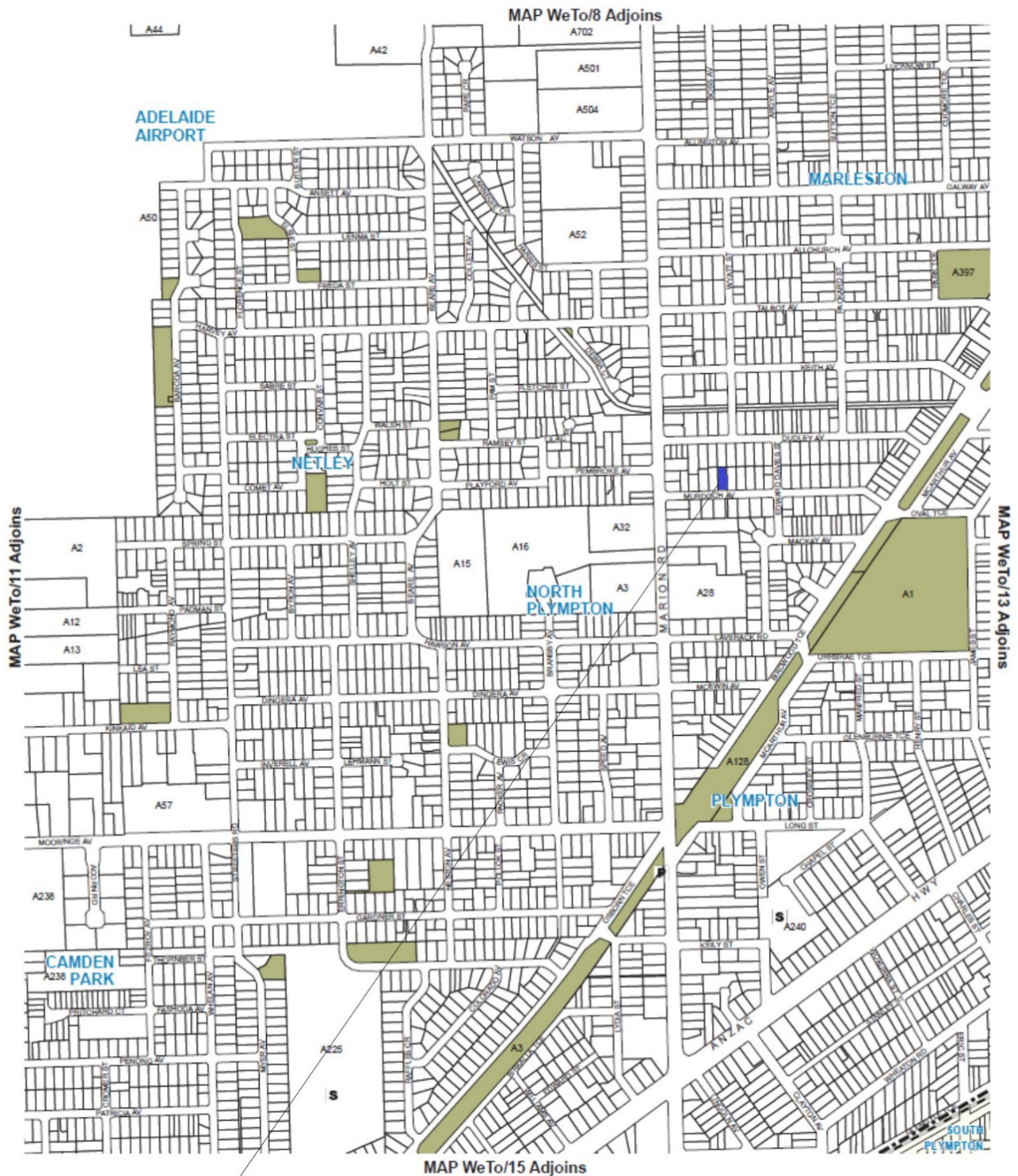
The locality is residential in nature containing a variety of dwellings which include single and double storey detached dwellings, residential flat buildings and group dwellings. The locality is currently under transition with a number of allotments previously subdivided to take advantage of the reduced minimum allotment size allowable in the policy area. Approximately 60m west of the subject site, fronting Marion Road, is one the first intrusions of higher density living within the locality.

The allotment pattern varies between dwelling types. Detached dwellings are located on predominantly rectangular allotments with site areas that vary between 360m<sup>2</sup> to 830m<sup>2</sup>. Residential flat buildings and group dwellings are also located on rectangular sites which vary in area between 100m<sup>2</sup> and 270m<sup>2</sup>.

The subject site and locality are shown on the following map and aerial imagery.







## PROPOSAL

The proposal involves three separate development applications for the subject site.

Application 211/1037/2018 is for a Torrens Title land division to create one additional allotment. Allotment 1 is slightly irregular in shape with a 9.57m wide frontage to Murdoch Avenue and an overall site area of 250m<sup>2</sup>. Allotment 100 (super lot) is in the form of a battle-axe with a 7.8m wide frontage to Murdoch Avenue and an overall site area of 512m<sup>2</sup>. This allotment is to be further divided.

Application 211/1038/2018 is for a Community Title division which seeks to divide the proposed super lot into two (2) residential allotments and associated common property. The community title division will create two rectangular shaped allotments, proposed allotments 2 and 3, both with a site area of 162m<sup>2</sup>. The common property is 188m<sup>2</sup> in area and is comprised of the allotment handle to allow for vehicle access to allotments 2 and 3. As these resultant allotments will accommodate a residential flat building, the common area is included in the average site area calculation which is 256m<sup>2</sup>.

Application 211/483/2018 seeks to demolish all structures currently on the site, including the dwelling and outbuilding, and construct a two storey detached dwelling on allotment 1 and a residential flat building containing two dwellings on allotments 2 and 3. The proposed dwellings will be constructed utilising a variety of external materials including a rendered finish, Matrix Panels and timber cladding. The dwellings will each contain three bedrooms, three bathrooms and a double garage under the main roof.

Vehicular access to dwelling 1 will be gained via a 3m wide crossover directly to Murdoch Avenue, whereas access to dwellings 2 and 3 will be obtained via the common property, a 5.5m wide crossover to Murdoch Avenue. The driveway and walkways to the common property and dwelling surrounds will be paved.

A mix of landscaping has been proposed across the development, specifically forward of dwelling 1 and within the common property. The variety of plantings include ground covers, shrubs and Nigra, Manchurian Pear or Weeping Mulberry trees.

A copy of the relevant plans is contained in **Attachment 1**.

## PUBLIC NOTIFICATION

Applications 211/1037/2018 and 211/1038/2018 are Category 1 forms of development while Application 211/483/2018 is a Category 2 form of development pursuant to Section 38 of the Development Act, Schedule 9 of the *Development Regulations 2008* and Residential Zone - Procedural Matters section of the Development Plan.

The proposed development involves a fence and retaining wall with a combined height exceeding 2.1m, which is a Category 3 form of development pursuant to Schedule 9 of the Development Regulations, unless it is considered to be 'minor'. In this instance, the proposed retaining wall and fence is considered to be minor in nature and a Category 1 form of development pursuant to Schedule 9, Part 1 (2)(g) of the *Development Regulations 2008* as the combined fence and retaining wall is unlikely to unreasonably impact the owners or occupiers of land in the locality for the following reason:

- The natural ground level of the subject land is at its lowest in the south-eastern corner where a 400mm high retaining wall will be required. When combined with a 1.8m fence, the maximum height of 2.2m is only marginally higher than the 2.1m trigger for a fence to be considered development. Given that the additional 100mm will not be readily perceptible to the naked eye, it was determined during the assessment process that it is unlikely to negatively impact the owners/occupiers of adjacent properties.

<b>Properties notified:</b>	34 properties were notified during the public notification process.
<b>Representations:</b>	4 representations were received.
<b>Persons wishing to be heard:</b>	No representors identified that they wish to address the Panel.
<b>Summary of Representations:</b>	<p>Concerns were raised regarding the following matters;</p> <ul style="list-style-type: none"> <li>• Side setbacks and visual privacy provisions should be adhered to;</li> <li>• Volume of traffic &amp; traffic congestion along Murdoch Avenue; and</li> <li>• Minimal on street parking available currently</li> </ul>
<b>Applicants response to representation</b>	<ul style="list-style-type: none"> <li>• The applicant did not provide a response to representations</li> </ul>

A copy of the representations is contained in **Attachment 2**.

## REFERRALS

### Internal

#### City Assets

City Assets raised a number of concerns in regards to finished floor levels, verge interaction, stormwater management and space available for adequate waste collection. The applicant subsequently addressed these matters to the satisfaction of City Assets.

#### Arboriculture Officer

Council's Arboriculture Officer has reviewed the proposal and will support a reduced offset of 1.8m to the existing street tree.

### External

#### State Commission Assessment Panel (SCAP)

SCAP has raised no concerns with the proposals. Standard conditions of consent have been recommended should the application be supported.

#### SA Water

SA Water has raised no concerns with the proposal. The developer will be required to meet the requirements of SA Water for the provision of water and sewerage services. Standard conditions of consent have been recommended should the CAP support the application.

A full copy of the relevant reports is contained in **Attachment 3**.



## RELEVANT DEVELOPMENT PLAN PROVISIONS

The subject land is located within the Residential Zone, and more specifically the Medium Density Policy Area 19, as described in the West Torrens Council Development Plan. The main provisions of the Development Plan which relate to the proposed development are as follows:

<u>General Section</u>		
Crime Prevention	Objective	1
	Principles of Development Control	1, 2, 3, 6, 7 & 8
Design and Appearance	Objectives	1 & 2
	Principles of Development Control	1, 2, 3, 9, 10, 11, 12, 13, 14, 15 & 16
Energy Efficiency	Objective	1
	Principles of Development Control	1 & 2
Land Division	Objectives	1, 2, 3 & 4
	Principles of Development Control	1, 2, 3, 4, 5, 6, 7, 8, 12, 13, 14 & 16
Landscaping, Fences and Walls	Objectives	1 & 2
	Principles of Development Control	1, 2, 3, 4 & 6
Orderly and Sustainable Development	Objectives	1, 2, 3, 4 & 6
	Principle of Development Control	1
Residential Development	Objectives	1, 2, 3, 4 & 5
	Principles of Development Control	1, 2, 3, 4, 5, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 18, 19, 20, 21, 27, 28, 29, 30 & 31
Transportation and Access	Objectives	1, 2, 3 & 4
	Principles of Development Control	1, 8, 10, 11, 12, 16, 17, 23, 24, 26, 30, 34, 35, 36, 37, 40, 41, 43, 44 & 45

Zone: Residential Zone	
<p><b>Desired Character Statement:</b></p> <p><i>This zone will contain predominantly residential development. There may also be some small-scale non-residential activities such as offices, shops, consulting rooms and educational establishments in certain locations. Non-residential activities will be complementary to surrounding dwellings.</i></p> <p><i>Allotments will be at very low, low and medium densities to provide a diversity of housing options in different parts of the zone. The range of allotment sizes will support the desired dwelling types anticipated in each policy area, and the minimum allotment sizes shall be treated as such in order to achieve the Desired Character for each policy area and, in turn, reinforce distinction between policy areas. Row dwellings and residential flat buildings will be common near centres and in policy areas where the desired density is higher, in contrast to the predominance of detached dwellings in policy areas where the distinct established character is identified for protection and enhancement. There will also be potential for semi-detached dwellings and group dwellings in other policy areas.</i></p> <p><i>Residential development in the form of a multiple dwelling, residential flat building or group dwelling will not be undertaken in a Historic Conservation Area.</i></p> <p><i>Landscaping will be provided throughout the zone to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.</i></p>	
Objectives	1, 2, 3 & 4
Principles of Development Control	1, 5, 7, 10, 11, 12, 13 & 14

<b>Policy Area: Medium Density Policy Area 19</b>	
<b>Desired Character Statement:</b>	
<p><i>Allotments in this policy area will be at medium density, accommodating a range of dwelling types including semi-detached, row and group dwellings, as well as some residential flat buildings and some detached dwellings on small allotments. There will be a denser allotment pattern close to centre zones where it is desirable for more residents to live and take advantage of the variety of facilities focused on centre zones.</i></p> <p><i>New buildings will contribute to a highly varied streetscape. Buildings will be up to 2 storeys, except for allotments fronting Brooker Terrace, Marion Road and Henley Beach Road, and overlooking the Westside Bikeway, where buildings will be up to 3 storeys in height and provide a strong presence to streets. Garages and carports will be located behind the front facade of buildings.</i></p> <p><i>Development will be interspersed with landscaping, particularly behind the main road frontage, to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.</i></p>	
<b>Objectives</b>	1
<b>Principles of Development Control</b>	1, 2, 3 & 7

### QUANTITATIVE STANDARDS

The proposal is assessed for consistency with the prescriptive requirements of the Development Plan as outlined in the table below:

DEVELOPMENT PLAN PROVISIONS	STANDARD	ASSESSMENT		
		Lot 1	Lot 2	Lot 3
SITE AREA <i>Medium Density Policy Area 19</i> <i>PDC 4</i>	Detached Dwelling 270m <sup>2</sup> (minimum) Residential Flat Building 270m <sup>2</sup> (average.)	250m <sup>2</sup>  <b>Does Not Satisfy</b>	256m <sup>2</sup> (avg.)  <b>Does Not Satisfy</b>	256m <sup>2</sup> (avg.)  <b>Does Not Satisfy</b>
SITE FRONTAGE <i>Medium Density Policy Area 19</i> <i>PDC 4</i>	Detached Dwelling 9m (minimum) Residential Flat Building 15m (complete building)	9.57m  <b>Satisfies</b>	N/A	N/A
SITE COVERAGE <i>Medium Density Policy Area 19</i> <i>PDC 3</i>	60% (maximum)	52.5%  <b>Satisfies</b>	45.5%  <b>Satisfies</b>	45.5%  <b>Satisfies</b>
PRIMARY STREET SETBACK <i>Medium Density Policy Area 19</i> <i>PDC 3</i>	3m (minimum)	3m  <b>Satisfies</b>	N/A	N/A

SIDE SETBACKS <i>Residential Zone</i> <i>PDC 11</i>	<u>Lower Level</u> 1m (minimum)  <u>Upper Level</u> 2m (minimum)	0 / 0.61m  1m / 2m  <b>Does Not Satisfy</b>	0 / 1m  2m  <b>Satisfies</b>	0 / 1m  2m  <b>Satisfies</b>
REAR SETBACK <i>Medium Density Policy</i> <i>Area 19</i> <i>PDC 3</i>	6m (minimum)	2.6m  <b>Does Not Satisfy</b>	4m  <b>Does Not Satisfy</b>	4m  <b>Does Not Satisfy</b>
BUILDING HEIGHT <i>Medium Density Policy</i> <i>Area 19</i> <i>PDC 3</i>	2 storeys or 8.5m (maximum)	2 storeys / 7.6m  <b>Satisfies</b>	2 storeys / 7.6m  <b>Satisfies</b>	2 storeys / 7.6m  <b>Satisfies</b>
INTERNAL FLOOR AREA <i>Residential Development</i> <i>PDC 9</i>	3+ Bedroom 100m <sup>2</sup> (minimum)	150m <sup>2</sup>  <b>Satisfies</b>	135m <sup>2</sup>  <b>Satisfies</b>	135m <sup>2</sup>  <b>Satisfies</b>
PRIVATE OPEN SPACE <i>Residential Development</i> <i>PDC 19</i>	Sites <300m <sup>2</sup> 24m <sup>2</sup> (minimum), 3m (minimum dimension) 16m <sup>2</sup> (minimum directly accessible from a habitable room).	24m <sup>2</sup> 3m  24m <sup>2</sup>  <b>Satisfies</b>	32m <sup>2</sup> 4m  32m <sup>2</sup>  <b>Satisfies</b>	32m <sup>2</sup> 4m  32m <sup>2</sup>  <b>Satisfies</b>
LANDSCAPING <i>Landscaping, Fences &amp; Walls</i> <i>PDC 4</i>	10% (minimum)	15%  <b>Satisfies</b>	11.5%  <b>Satisfies</b>	11.5%  <b>Satisfies</b>
STORAGE <i>Residential Development</i> <i>PDC 31</i>	8m <sup>3</sup> (minimum)	3m <sup>3</sup>  <b>Does Not Satisfy</b>	3m <sup>3</sup>  <b>Does Not Satisfy</b>	3m <sup>3</sup>  <b>Does Not Satisfy</b>
CAR PARKING SPACES <i>Transportation and Access</i> <i>PDC 34</i>	2 spaces (1 covered)	2 covered  <b>Satisfies</b>	2 covered  <b>Satisfies</b>	2 covered  <b>Satisfies</b>

## ASSESSMENT

In assessing the merits or otherwise of the application, the proposed development is discussed under the following sub headings:

### Land Division

The proposed Torrens Title land division will create one additional allotment in a form of a battle-axe. Proposed allotment 1, the front allotment, falls 7.5% short of the 270m<sup>2</sup> minimum site area prescribed in Principle of Development Control (PDC) 4 of Medium Density Policy Area 19 for a detached dwelling.



The Community Title land division seeks to divide the proposed battle-axe allotment to create one (1) additional allotment with associated common property. As per PDC 4 of Medium Density Policy Area 19, a residential flat building should have an average site area of 270m<sup>2</sup>. By including the common property the proposed residential flat building will provide dwellings with an average site area of 256m<sup>2</sup>, a shortfall of 5.2%.

PDC 5 of the policy area allows for reduced site areas and frontage widths for different dwelling types when located within 400m of a Centre Zone. However this can only be applied when a combined land use and land division application is lodged. Had the built form been incorporated into the proposal, a minimum site area of 250m<sup>2</sup> for the detached dwelling and 150m<sup>2</sup> (average) for the dwellings within the residential flat building could have been applied. Had this been the case, the proposal would have met the policy area site area requirements.

It should be acknowledged that the Torrens Title land division (application 211/1037/2018) is the only application required to be provided to the CAP for a decision. However, in this instance it was considered appropriate to present all three applications to the CAP given the inter relationship between each application.

It is considered that the proposed allotments are of a suitable size and configuration to comfortably accommodate dwellings in a manner that, on balance, meets the requirements of the Development Plan.

## **Land Use**

The proposal is for the division of the subject site to create two additional allotments along with the construction of a detached dwelling and residential flat building containing two dwellings. PDC 1 of Medium Density Policy Area 19 envisages detached dwellings and residential flat buildings within the policy area. The proposed land use is therefore considered appropriate and is an orderly form of development.

## **Setbacks**

### *Side setbacks*

Proposed allotment 1 is irregular in shape, due to the access requirements for the rear allotments and the need to accommodate services. As a result of this irregularity, proposed dwelling 1 has a lower level setback of 0.61m and an upper level setback of 1m from the western boundary. While these setbacks do not satisfy PDC 11 of the Residential Zone, the deficiencies are not considered to negatively impact adjoining residents as the reduced offsets abut the common property of the rear allotments.

Proposed dwellings 2 and 3 are mirror image dwellings, both with garages located on side boundaries for a length of 6m. PDC 16 of the Residential Development module allows for an outbuilding, garage or carport to be located on the boundary for a maximum length of 8m which is satisfied by the proposal. However, PDC 13(b)(iii) of the Residential Zone states that side boundary walls should be constructed along one side of the allotment only and no further than 14m from the front boundary. The proposed development fails to satisfy this requirement given that dwellings 2 and 3 have garages abutting both side boundaries.

The garage of dwelling 2 will be the only boundary development along the western boundary. This garage will reduce the overall length of boundary development by approximately half as there is an existing outbuilding extending 11m along the boundary with a wall height of 3m. As the proposed garage has a similar wall height, the impact of the western boundary development will be lessened. The garage of dwelling 3 will abut an existing carport located on the boundary between 7 and 9 Murdoch Avenue. PDC 13(a) of the Residential Zone allows for boundary walls to be located immediately abutting the wall of an existing building on an adjoining site. This component is therefore considered acceptable.

### *Rear setbacks*

Dwelling 1 has a 2.6m offset from the rear boundary which is a 3.4m shortfall from the minimum 6m rear setback prescribed in PDC 3 of Medium Density Policy Area 19. It should be noted that the majority of the rear façade is located 3m from the rear boundary, with a relatively small portion of the rear façade setback 2.6m, a minor intrusion. Given that the proposed dwelling is single storey, the deficiency in rear setback is unlikely to negatively affect occupants of the residential flat building to be located at the rear. In addition, the proposed residential flat building is offset 6m from the rear boundary of dwelling 1, providing a 9m separation of the proposed detached dwelling from the proposed residential flat building. This separation effectively minimises the potential amenity impacts for occupants of these dwellings. Furthermore the upper level of the residential flat building is setback 6.7m from the rear boundary of dwelling 1, exceeding the 6m minimum setback sought by PDC 3 of Medium Density Policy Area 19.

The rear setbacks for dwellings 2 and 3 do not satisfy the requirements of PDC 3 of Medium Density Policy Area 19 as they are 2m less than the 6m requirement at the lower level. It should be acknowledged that the upper level is setback in excess of 6m from the rear boundary satisfying PDC 3. The shortfall in rear setback for dwellings 2 and 3 is considered acceptable as the adjoining properties to the north have a rear yard with a southern aspect, therefore no shadows will be cast over the properties. Furthermore, the main bulk of the building maintains the minimum 6m setback, so visually adequate separation is achieved.

In consideration of the above, the proposed side and rear setbacks are considered appropriate notwithstanding some degree of departure from the relevant Development Plan provisions.

### **Built Form**

The subject site is located within an area that exhibits a variety of dwelling types, sizes and styles. The form and design of the proposed development is considered to be contemporary. The front facades provide articulation from the protruding upper level decorative element and well-balanced fenestration and pitched hip roof. The dwelling is designed to a high standard and enhanced by the variety of materials and textures used, satisfying Objective 1 and PDC 1 of the Design and Appearance module and PDC 4 of the Residential Development module.

The internal layout of the dwellings are of a size and shape to be functional for occupants. The private open space is directly accessible from a habitable room, specifically the living and dining area of each dwelling.

Overall, the design and appearance of the proposed development is considered to reflect the positive aspects of built form within the locality and the internal layout provides residents with functional living spaces that meet the requirements of the Development Plan, in particular Objectives 1, 2 and 3 and PDCs 3, 4 and 9 of the Residential Development module.

### **Storage**

The Development Plan seeks a minimum of 8 cubic metres (m<sup>3</sup>) of storage area, not including a bedroom wardrobe or kitchen pantry, for each dwelling. The proposal provides an area of 3m<sup>3</sup> for each dwelling. While this is a sizeable shortfall, the subject site has ample space within the rear yard to provide a further 5m<sup>3</sup> of storage space in a small outbuilding or shed (as recognised in PDC 31 of the Residential Development module). There is also ample space within each dwelling for additional storage to be provided via cabinets, wardrobes etc.

PDC 19 of the Residential Development module details a minimum dimension of 3m for private open space (POS) when a subject site has a site area less than 300m<sup>2</sup>. In this instance, part of the rear yard of dwelling 1 does not satisfy the minimum dimension for POS and was therefore not included in the POS calculation. A garden shed of 3m x 2m could be located within this area in order to provide the additional 5m<sup>3</sup> of storage required. Furthermore, dwellings 2 and 3 are provided with an additional 6m<sup>2</sup> of POS in which a garden shed could be located which would satisfy PDC 19 of the Residential Development module. It should be acknowledged that garden sheds of this size are not classified as development as per Schedule 3 of the *Development Regulations 2008*.

Notwithstanding the shortfall in storage space within each dwelling, it is considered that the proposal has provided sufficient space to accommodate the required amount of storage, thereby meeting the intent of PDC 31 of the Residential Development module.

### **Landscaping**

The proposal exceeds the minimum landscaping requirement of 10% of the site area with a variety of plantings that vary in scale and height. The applicant has provided fairly substantial landscaping to the front of dwelling 1 as well as a 400 - 500mm landscaping strip to the boundaries of the common property. Plantings within the landscaped gardens and strips will include shrubs, ground covers and trees. The plantings forward of dwelling 1 will complement the built form by reducing the overall bulk of the development as well as enhancing its appearance from the public realm. The landscaping within the common property will help to mitigate the extent of hard paved surfaces as well as reduce heat loads on the site. It is therefore considered that PDC 1 of the Landscaping, Fences and Walls module has been satisfied.

### **Retaining walls**

The combined retaining wall and fence along the northern, eastern and western side boundaries will be constructed to a maximum height of 2.2m. The natural ground level is at its lowest at the centre of the northern boundary where the retaining wall will have a maximum height of 400mm. Given that a fence can be constructed to a maximum height of 2.1m without requiring approval (as per Schedule 3 of *The Development Regulations 2008*) the additional 100mm is considered to be relatively minor and will not have an unreasonable impact on adjoining owners / occupiers, satisfying PDC 6 of the Landscaping, Fences and Walls module.

### **SUMMARY**

It is acknowledged that there are aspects of the proposed development that do not meet the Development Plan requirements in relation to site areas, side and rear setbacks and storage. However, on an 'on-balance' basis, it is considered that the proposal generally accords with the relevant provisions of the Development Plan. The proposal provides sufficient internal living space, POS and an external design which enhances its appearance from the public realm.

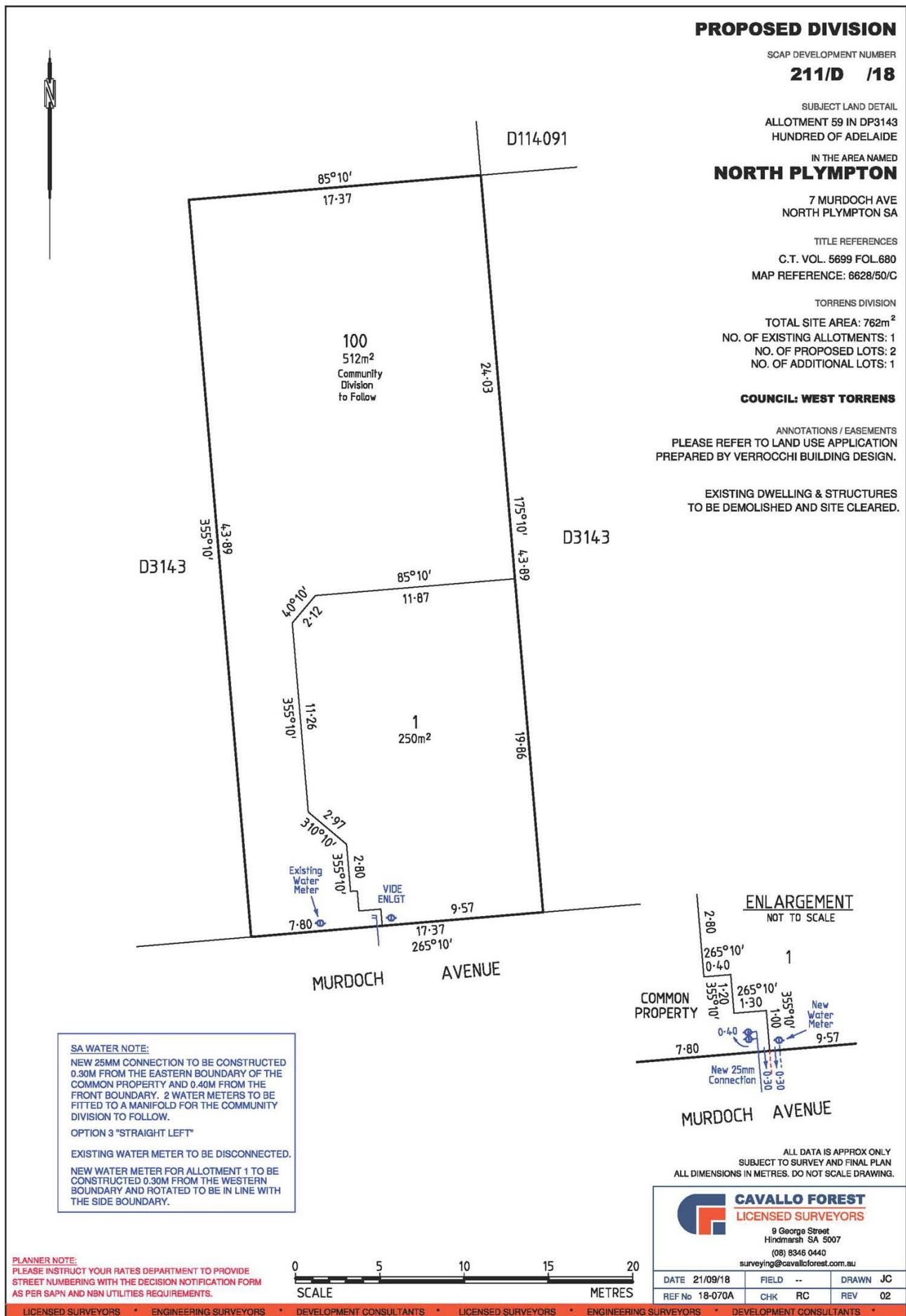
Having considered all the relevant Objectives and Principles of the Development Plan, the proposal is not considered to be seriously at variance with the Development Plan.

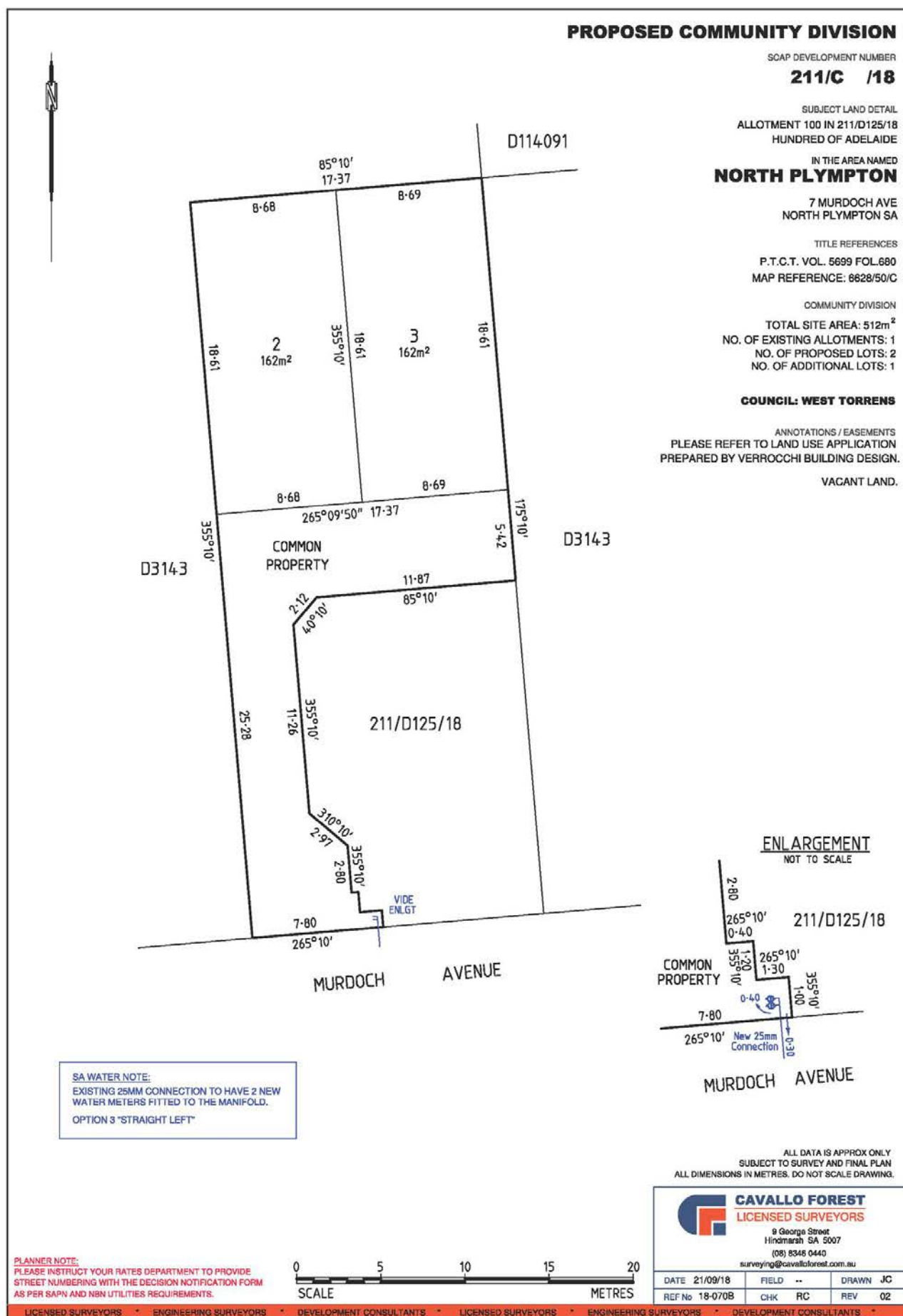
On balance the proposed development sufficiently accords with the relevant provisions contained within the West Torrens Council Development Plans, consolidated 6 February 2018 and 12 July 2018, and warrants Development Plan Consent, Land Division Consent and Development Approval for applications 211/1037/2018 and 211/1038/2018 and Development Plan Consent for application 211/483/2018.

### **Attachments**

1. **Land Division and Built Form plan set**
2. **Public Notification Responses**
3. **Referral Reports**







Ref: 2017-0484

10 October 2018

Ms Amelia DeRuvo  
Development Officer – Planning  
City of West Torrens  
165 Sir Donald Bradman Drive  
HILTON SA 5074



Suite 12  
154 Fullarton Road  
ROSE PARK SA 5067

08 8333 7999  
www.urps.com.au  
ABN 55 640 546 010

Dear Amelia

**Response to Further Information Request – 7 Murdoch Avenue, North Plympton –  
Development Number 211/483/2018**

Thank you for your emails dated 05 June 2018 (Planning Comments) and 26 June 2018 (City Assets Comments). I have addressed each matter in corresponding order below.

In addition, the following is attached to support the comments further below:

- Amended plans prepared by Verrocchi Building Design - Revision E (**Attachment 1**).
- A detailed Landscaping Layout Plan prepared by LCS Landscapes (**Attachment 2**).
- A Torrens Title plan of division prepared by Cavallo Forest Surveyors (land division application recently lodged via EDALA) (**Attachment 3**).
- A Community Title plan of division prepared by Cavallo Forest Surveyors (land division application recently lodged via EDALA) (**Attachment 4**).
- Civil and drainage plan prepared by KP Squared Engineering - Issue A (**Attachment 5**).

**1. Location of bins and letter boxes**

You have stated:

*“Show the location for bins and post boxes for the proposed dwellings”.*

The amended site plan (**Attachment 1**) now shows:

- The location of bins when stored within respective allotments.
  - > Bins will be situated behind respective dwellings and away from public view.
  - > Occupants will be able to manoeuvre their bins through their garages for on-street collection.
- The potential location of bins when placed on street for collection.
  - > Upright kerb of sufficient length will be available directly in front of the subject land for placement and collection of bins (2 bins per dwelling, per collection).
- The location of the future letter box.

shaping great communities



- > The location of the future communal letter box does not obstruct vehicle movements or motorist and pedestrian sight lines.
- > Dwelling 1 will have its own letter box placed in a location determined by its future occupants.

## 2. Driveway Handle

You have stated:

*"The 'handle' requires a 5.5m x 5m driveway passing bay".*

The proposal now includes a driveway passing bay that is 5.5 metres x 5 metres. This is despite the earlier advice provided by CIRQA dated 5 July and council's acknowledgment that the wider driveway adds little benefit in this circumstance, but would rather:

- Reduce front garden landscaping.
- Require reconfiguration of dwelling 1.
- Possibly mean the loss of the visitor space.

## 3. 1m x 1m Stormwater Outlet

You have stated:

*"Depending on the type of division (whether community or torrens) a 1m x 1m stormwater outlet, as City assets will request for the stormwater outlet to be located 1m from the driveway access".*

The proposal now includes a 1 metre x 1 metre area designated for a stormwater outlet. This is shown on the amended plans (**Attachment 1**) as well as both land division plans (**Attachments 3 and 4**).

## 4. Landscaping

You have stated:

*"Extent of hard paved surfaces, request for additional landscaping to the common area on the northern side of D1 rear boundary and in front of the porch for D2 and D3".*

A detailed Landscaping Layout Plan has been prepared by LCS Landscapes (**Attachment 2**). This plan provides additional landscaping in the common area, on the northern side of the 'Dwelling 1' rear boundary. The extent of landscaping provided does not impact upon vehicle movements.

Landscaping cannot be provided in front of the porches for 'Dwellings 2' and '3'. Landscaping in this location will mean that vehicle movements do not satisfy Australian Standards.

## 5. Driveway Details

You have stated:

*"Details of the driveway, will it be concreted, paved? From previous experience, CAP are looking for greener options to reduce heat load. This might be something you wish to look into".*

The driveway and walkways surrounding each dwelling will be paved. Any joints will be filled with sand to enable stormwater permeability. All driveways will have a 1 percent fall or greater to the street ensuring water can sufficiently run-off to Murdoch Avenue.

### 6. Landscaping Species within Driveway Handle

You have stated:

*"Landscaping within the handle, can it please be amended so that the plant species vary in height, as the plan is currently proposed the landscaping along the handle are ground covers, we wish to see plants / trees within the landscaping barrier that vary in height to reduce the bulk of the fencing".*

The Landscaping Layout Plan (**Attachment 2**) specifies the location of each plant species proposed. Understorey plants are situated either side of the driveway given the width of the garden beds. LCS Landscape Architects advise that the selected plants are the best option given the size of the garden beds.

More substantial plants will be planted throughout the development in larger garden beds, in addition to retaining the established street-tree in front of the subject land.

Boundary fencing will be typical Colorbond fencing. The colour will be negotiated with respective neighbours. In any case, the proposed fencing will not be "bulky" to the point that it needs to be screened with landscaping.

### 7. Fixed Obscure Windows

You have stated:

*"Fixed obscured windows to all upper level windows of D2 and D3, including those on the southern elevation".*

General Section, Residential Development Principle 27 states:

**Except for buildings of 3 or more storeys, upper level windows, balconies, terraces and decks that overlook habitable room windows or private open space of dwellings should maximise visual privacy through the use of measures such as sill heights of not less than 1.7 metres or permanent screens having a height of 1.7 metres above finished floor level.**

Other than the street facing elevation of 'Dwelling 1' all upper level windows will comprise obscured glass that is fixed shut to, or have a sill height that is a minimum, 1.7 metres above the internal floor level.

The proposal satisfies Principle 27. The applicant is also happy for this to be a condition of consent.

### 8. Vehicle Manoeuvrability

You have stated:

*"I have concerns with vehicle manoeuvrability specifically for D1 and D3, however I require City Assets comments to be provided to determine whether the access from all dwellings meets Australian Standards".*

CIRQA Traffic Engineers have reviewed vehicle movements throughout the development and have confirmed that the proposal satisfies the relevant Australian Standards.

Areas not needed for vehicle manoeuvring have been converted to landscaping.

### 9. Finished Floor Level

City Assets have stated:

*"Based on the survey information provided on 'Proposed Site Plan', (Verrocchi building design – Project no. ZYB.078, Dec 2017 Rev C), a minimum FFL of 100.00 would be required. It is recommended that revised plans indicating the required minimum FFL be provided to Council".*

As per the civil and drainage plan prepared by KP Squared Engineering (**Attachment 5**), each dwelling will have a finished floor level of 100.00 in accordance with this requirement.

### 10. Stormwater Detention

City Assets have provided options regarding stormwater detention.

The civil and drainage plan prepared by KP Squared Engineering (**Attachment 5**) has been designed to satisfy the stormwater options presented by Council.

### Conclusion

I trust I have addressed your queries in sufficient detail and look forward to your support acknowledging that this application has sufficient planning merit to warrant Development Plan Consent.

Please feel free to call me on 8333 7999 if you have any queries.

Yours sincerely



Philip Harnett

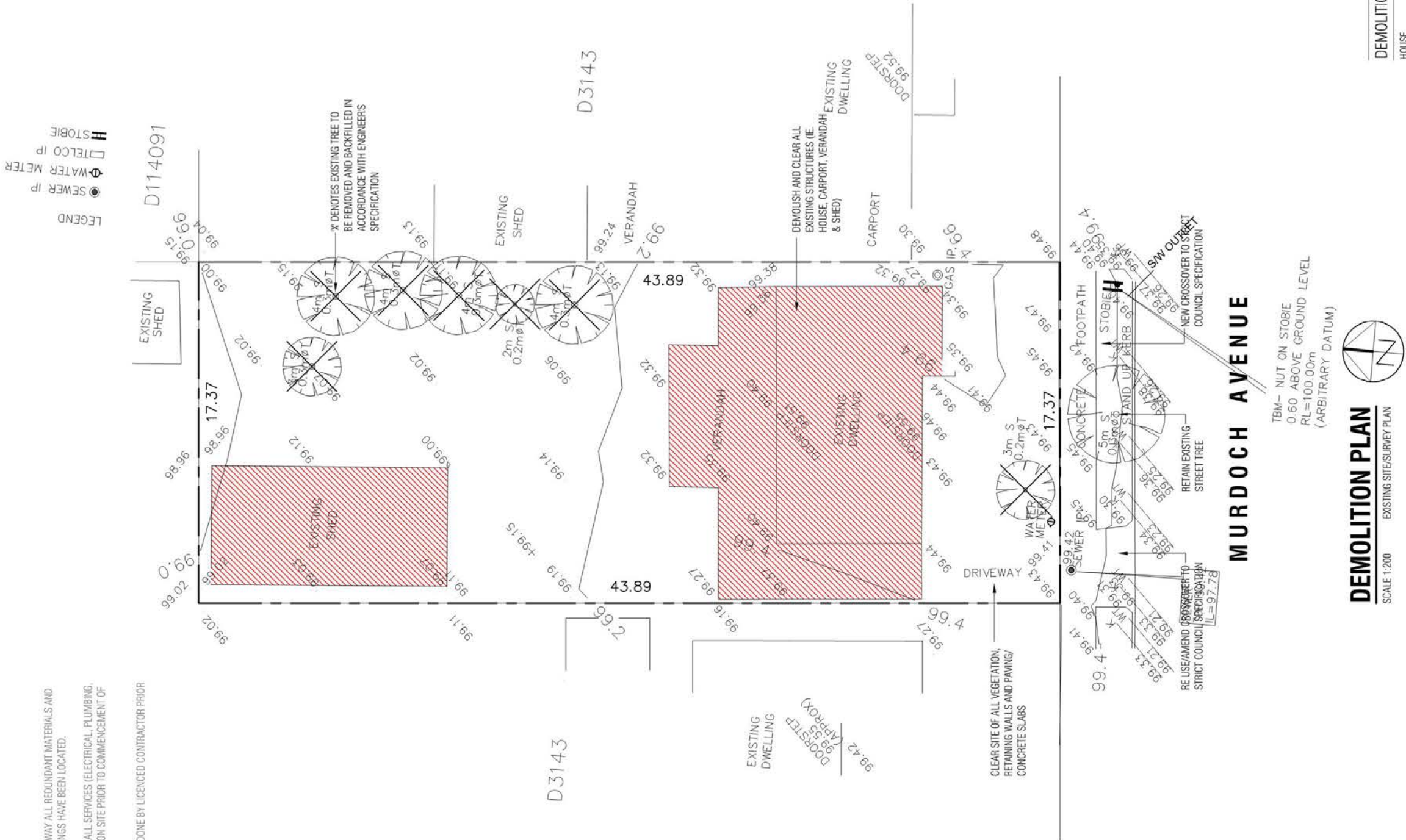
**Associate**



DEMOLITION NOTE:

DEMOLITION CONTRACTOR TO CLEAR AWAY ALL REDUNDANT MATERIALS AND LEVEL GROUND WHERE SLABS & FOOTINGS HAVE BEEN LOCATED.  
CONTRACTOR TO CHECK LOCATION OF ALL SERVICES (ELECTRICAL, PLUMBING, STORMWATER, TELEPHONE & SEWER) ON SITE PRIOR TO COMMENCEMENT OF WORK.

ALL TERMINATION OF SERVICES TO BE DONE BY LICENCED CONTRACTOR PRIOR TO DEMOLITION WORKS.



DEMOLITION AREAS		sq.m
HOUSE		101.70
CARPORT/VERANDAH		86.00
SHED		72.61
TOTAL		260.31



DEMOLITION PLAN  
SCALE 1:200  
EXISTING SITE/SURVEY PLAN

project	MURDOCH AVE DEVELOPMENT	date	DEC 2017	drawn by	LD
at:	7 MURDOCH AVENUE NORTH PLYMPTON SA 5037	scale:	1:200	drawing no:	01
client:	ZYBEK DEVELOPMENTS	project no:	ZYB.078	sheet no:	A3

**verrocchi**buildingdesign

PO Box 129 Enfield Plaza 5085  
m: 0407 820 946 e: dino.verocchi@gmail.com

rev	date	description
A	23/3	CONCEPT DRAWINGS
B	18/4	AMENDED AS PER CLIENTS AND CIRCA'S REQUEST
C	8/5	PLANNING DRAWINGS
D	13/9	WIDEN COMMON DRIVEWAY, D1-D3 LAYOUTS AMENDED TO SUIT
E	21/9	AMENDED TO SUIT LAND DIVISION PROPOSAL
F	9/1	SHADOW DIAGRAMS, COLOUR/MATERIAL SCHEDULE AND FENCE/RETAINING WALL ELEVATIONS

Contractors to verify all dimensions prior to commencement of any building work. Figured dimensions shall take preference over scaled dimensions and any discrepancy shall be reported to the designer immediately. These drawings are the property of Veroocchi Building Design and shall not be reproduced without written authority is prohibited. Copyright ©

**PLANNING DRAWINGS**

RWT NOTE:

1000 LITS (MIN) RWT COLLECTING 50M<sup>2</sup> ROOF CATCHMENT AREA. PLUMBED TO EITHER TOILET, HOT WATER SYSTEM OR ALL LAUNDRY COLD WATER OUTLETS. RWT MUST BE FITTED WITH OVERFLOW DEVICE. INLET & OVERFLOW MUST BE FITTED WITH MOSQUITO-PROOF SCREENS. MUST COMPLY WITH BCA REQUIREMENTS.

BOUNDARY/SURVEY NOTE:

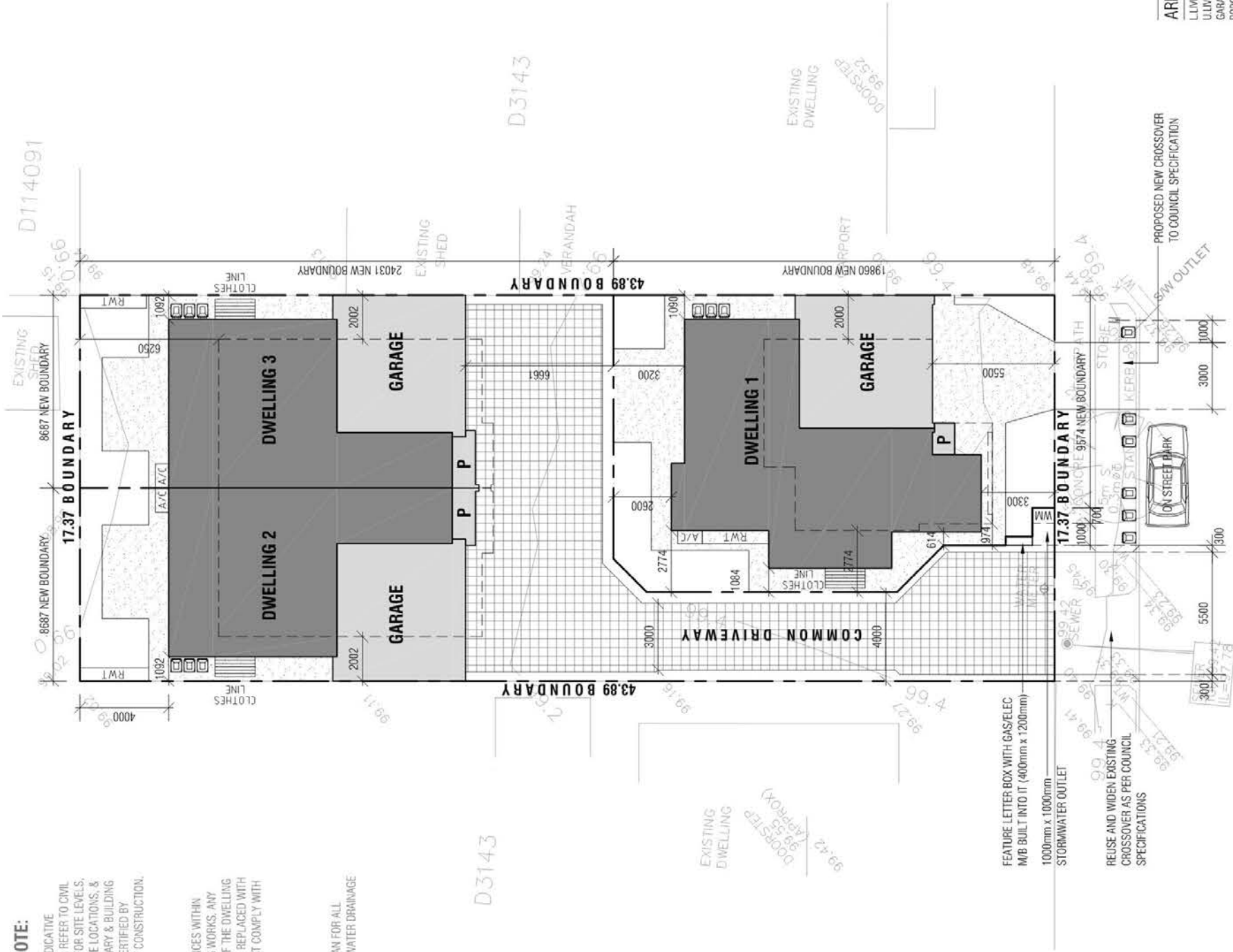
THIS DRAWING IS INTENDED FOR INDICATIVE BUILDING SETOUT PURPOSES ONLY. REFER TO CIVIL ENGINEER / SURVEYOR DRAWINGS FOR SITE LEVELS, CONTOURS, BENCH MARKS, SERVICE LOCATIONS, & EARTHWORK DESIGN. FINAL BOUNDARY & BUILDING SETOUT SHALL BE CONFIRMED & CERTIFIED BY LICENSED SURVEYOR PRIOR TO ANY CONSTRUCTION.

BRUSH FENCE NOTE:

THERE WILL NOT BE ANY BRUSH FENCES WITHIN 3MTRS OF THE PROPOSED BUILDING WORKS. ANY BRUSH FENCES WITHIN 3 METRES OF THE DWELLING ARE TO BE REMOVED (BY OWNER) & REPLACED WITH NON-COMBUSTIBLE MATERIAL. MUST COMPLY WITH BCA REQUIREMENTS.

STORMWATER NOTE:

REFER TO ENGINEER'S DRAINAGE PLAN FOR ALL LEVEL, RETAINING WALLS & STORMWATER DRAINAGE DESIGN.



MURDOCH AVENUE

**SITE PLAN**  
SCALE 1:200

AREAS (D1)	
LIVING	95.74
ULIVING	72.58
GARAGE	36.15
PORCH	1.38
TOTAL	205.85
SITE	250.00
P.O.S.	24.22
SITE COVERAGE	53.14%

AREAS (D2&D3)	
LIVING	70.52
ULIVING	80.73
GARAGE	36.22
PORCH	2.52
TOTAL	189.99
SITE	256.00
P.O.S.	34.75
SITE COVERAGE	42.70%

<b>verrocchi</b> buildingdesign	Project	MURDOCH AVE DEVELOPMENT	date	DEC 2017	drawn by	LD
	at:	7 MURDOCH AVENUE NORTH PLYMPTON SA 5037	scale:	1:200	drawing no:	02
			project no:		sheet no:	
			client:	ZYBEK DEVELOPMENTS		A3
<b>PLANNING DRAWINGS</b>						
rev	date	description				
A	23/3	CONCEPT DRAWINGS				
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E	21/9	AMENDED TO SUIT LAND DIVISION PROPOSAL				
F	9/1	SHADOW DIAGRAMS, COLOUR/MATERIAL SCHEDULE AND FENCE/RETAINING WALL ELEVATIONS				



## GROUND COVERS



Abundant intense blue or purple flowers, tidy growth habit and graceful cascading stems.

Lime Jet is a lime green variegated selection of Lomandra longifolia. It provides an exceptional lime contrast when planted in front of dark green backgrounds. It is especially useful to brighten dark or shaded vistas.



**THYME**  
This is a low mat-forming species, with dark green needle-like leaves and clusters of bright-pink flowers during summer. A good choice for hot and sunny sites. Drought tolerant once established. Evergreen.

These plants are shrubs or trees. The leaves are pinnate, divided into several leaflets, and alternately arranged on the branches. The leaves are glabrous, aromatic, and leathery to membranous in texture.

Medium sized dwarf Nandina that produces red new growth in spring and autumn. In winter months, Blush™ Nandina turns vivid red all over. It is 20% smaller than Nandina domestica 'Nana', a perfect height for fences, borders or hedges.

A weeping mulberry with long pendulous branches sweeping to the ground that are cloaked with large, glossy leaves. This is a tough small 'special effect' tree suited to park and garden planting and used with good result in shopping malls and avenue plantings.

## LANDSCAPING LEGEND:

LANDSCAPING: A

ALL SPECIES ARE TO BE CONFIRMED BY OWNER PRIOR TO COMMENCEMENT OF LANDSCAPING. ALL NEW LANDSCAPED AREAS TO BE SERVICED BY POLYTYPE SPRAYERS & DRIPPERS.



SCALE 1:200



m: 0407 820 946 e: dino.verrocchi@gmail.com



LEGEND:

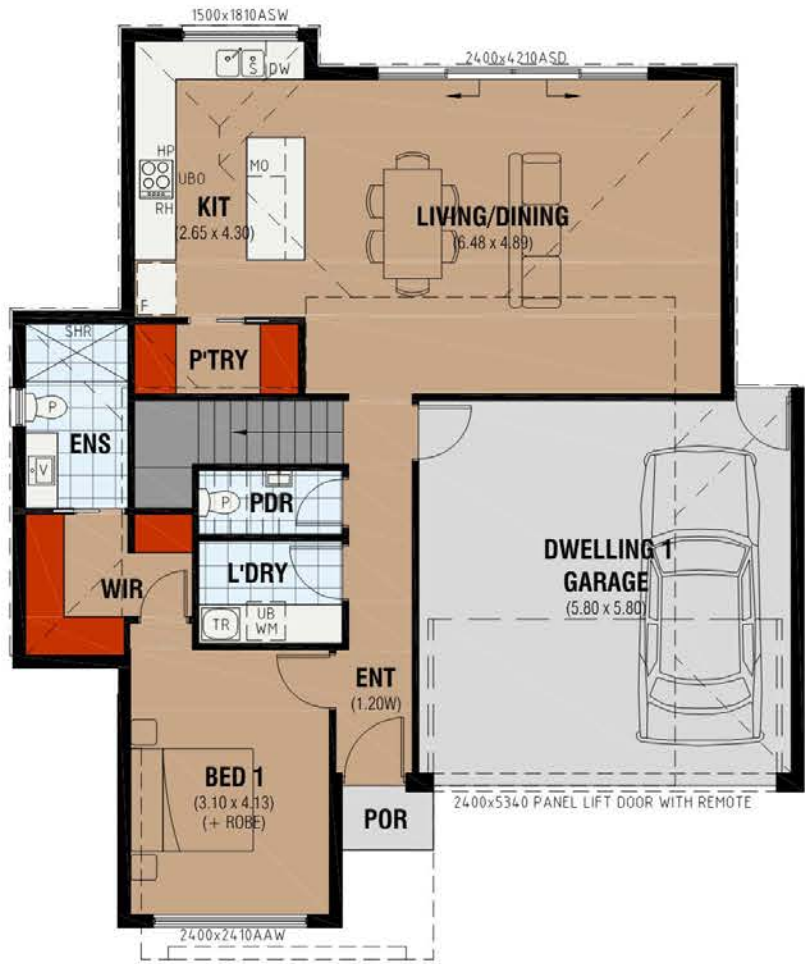
- S STAINLESS STEEL SINK
- HP HOT PLATE
- UBO UNDER BENCH OVEN
- WO WALL OVEN
- RH RANGE HOOD
- DW DISHWASHER
- F REFRIGERATOR
- FR FREEZER
- PTRY PANTRY
- SHR SHOWER
- B BATH
- FSB FREESTANDING BATH
- L LINEN
- WM WASHING MACHINE
- UBWM UNDER BENCH
- WASHING MACHINE
- UBD UNDER BENCH DRYER
- TR TROUGH
- LC LAUNDRY CHUTE
- P TOILET PAN
- V VANITY
- BCH BENCH
- BR BROOM CUPBOARD
- ST STORAGE
- RA ROOF ACCESS 600x600
- SL SKY-LIGHT
- SB SWITCH BOARD
- DP DOWNPIPE
- DPS DOWNPIPE WITH SPREADER
- RH RAIN HEAD
- RWT RAIN WATER TANK
- S

 SMOKE ALARM HARD WIRED IN ACCORDANCE WITH AS3786 AND TO BE INTERCONNECTED WHEN TWO OR MORE SMOKE ALARMS ARE REQUIRED.
- F

 EXHAUST FAN - CEILING MOUNTED DUCTED TO OUTSIDE AIR, CONNECTED TO LIGHT SWITCH OPERATION.
- C

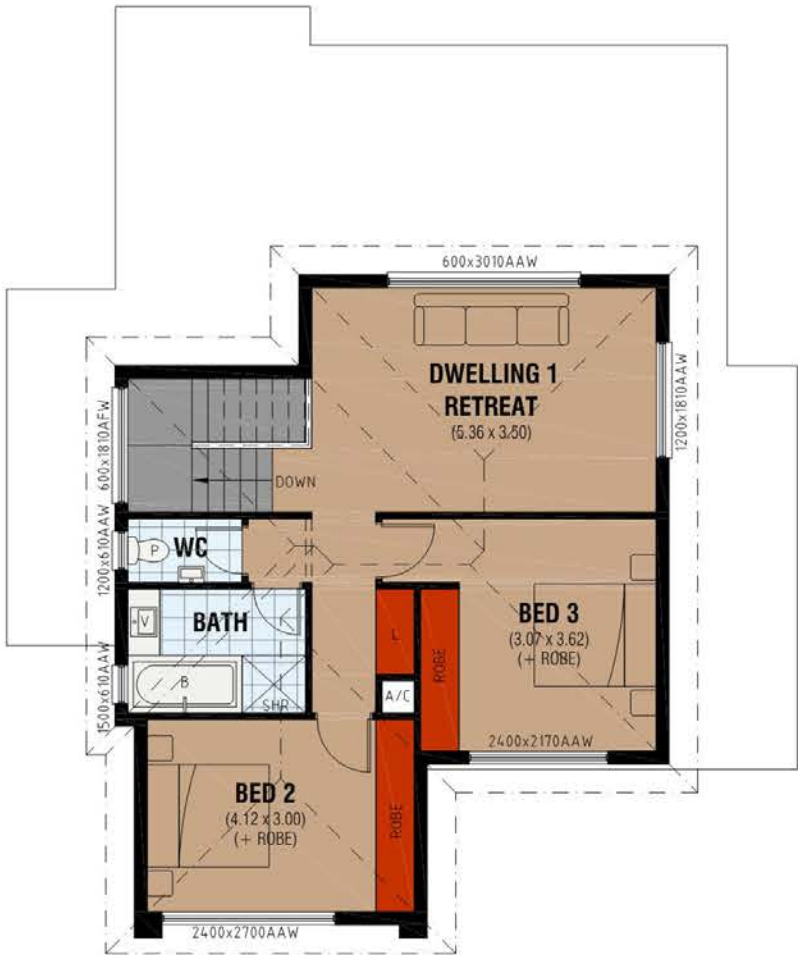
 CONTROL JOINTS AS PER ENGINEERS REPORT

DWELLING 1



GROUND FLOOR PLAN

SCALE 1:100



FIRST FLOOR PLAN

SCALE 1:100



AREAS (D1)		sq.m
LIVING		95.74
U.LIVING		72.58
GARAGE		36.15
PORCH		1.38
TOTAL		205.85
SITE		250.00
P.O.S.		24.22
SITE COVERAGE		53.14%

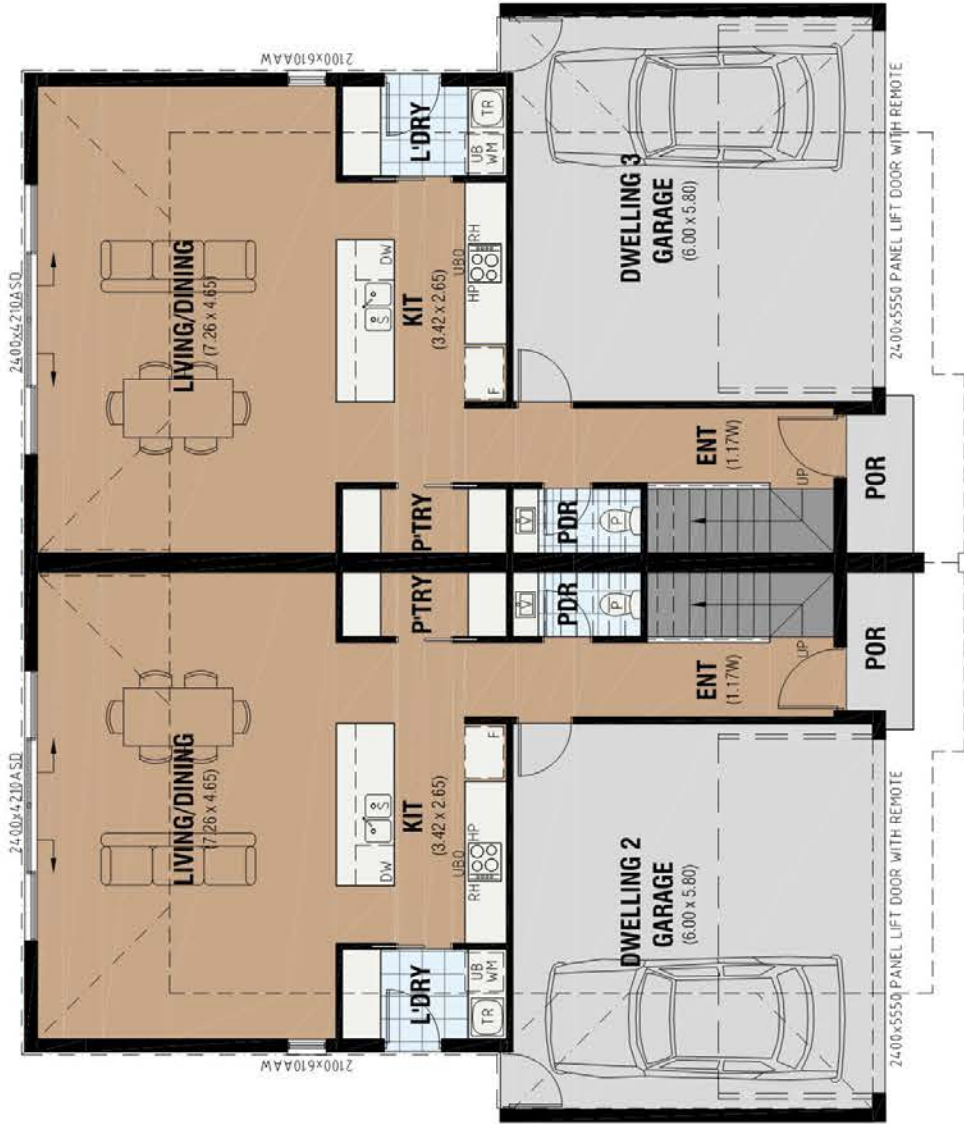
Contractors to verify all dimensions prior to commencement of any building work. Figured dimensions shall take preference over scaled dimensions and any discrepancy shall be reported to the designer immediately. These drawings are the exclusive property of Verrocchi Building Design. Any reproduction without written authority is prohibited. Copyright ©	rev	date	description	notes	<div>verrocchi<b>buildingdesign</b></div> <div>PO Box 129 Enfield Plaza 5085 m: 0407 820 946 e: dino.verocchi@gmail.com</div>	project: MURDOCH AVE DEVELOPMENT  at: 7 MURDOCH AVENUE NORTH PLYMPTON SA 5037  client: ZYBEK DEVELOPMENTS	date: DEC 2017 drawn by: LD  scale: 1:100 drawing no: 04 project no: ZYB.078 sheet size: A3
	A	23/3	CONCEPT DRAWINGS				
	B	18/4	AMENDED AS PER CLIENT'S AND CIRQA'S REQUEST				
	C	8/5	PLANNING DRAWINGS				
	D	13/9	WIDEN COMMON DRIVEWAY, D1-D3 LAYOUTS AMENDED TO SUIT				
	E	21/9	AMENDED TO SUIT LAND DIVISION PROPOSAL				
	F	9/1	SHADOW DIAGRAMS, COLOUR/MATERIAL SCHEDULE AND FENCE/RETAINING WALL ELEVATIONS				
PLANNING DRAWINGS							

DWELLINGS 2 & 3

- LEGEND:
- S STAINLESS STEEL SINK
  - HP HOT PLATE
  - UBO UNDER BENCH OVEN
  - WO WALL OVEN
  - RH RANGE HOOD
  - DW DISHWASHER
  - F REFRIGERATOR
  - FR FREEZER
  - PTRY PANTRY
  - SHR SHOWER
  - B BATH
  - FS8 FREESTANDING BATH
  - L LINEN
  - WM WASHING MACHINE
  - UBWM UNDER BENCH WASHING MACHINE
  - UBD UNDER BENCH DRYER
  - TR TROUGH
  - LC LAUNDRY CHUTE
  - P TOILET PAN
  - V VANITY
  - BCH BENCH
  - BR BROOM CUPBOARD
  - ST STORAGE
  - RA ROOF ACCESS 600x600
  - SL SKY-LIGHT
  - SB SWITCH BOARD
  - DP DOWNPIPE
  - DPS DOWNPIPE WITH SPREADER
  - RH RAIN HEAD
  - RWT RAIN WATER TANK
  - SMOKE ALARM HARD WIRED IN ACCORDANCE WITH AS3786 AND TO BE INTERCONNECTED WHEN TWO OR MORE SMOKE ALARMS ARE REQUIRED.
  - EXHAUST FAN - CEILING MOUNTED DUCTED TO OUTSIDE AIR, CONNECTED TO LIGHT SWITCH OPERATION.
  - CONTROL JOINTS AS PER ENGINEERS REPORT



FIRST FLOOR PLAN  
SCALE 1:100



GROUND FLOOR PLAN  
SCALE 1:100

AREAS (D2&D3)

	sq.m
LIVING	70.52
ULIVING	80.73
GARAGE	36.22
PORCH	2.52
TOTAL	189.99
SITE	256.00
P.O.S.	34.75
SITE COVERAGE	42.70%

rev	date	description
A	23/3	CONCEPT DRAWINGS
B	18/4	AMENDED AS PER CLIENTS AND CIRQA'S REQUEST
C	8/5	PLANNING DRAWINGS
D	13/9	WIDEN COMMON DRIVEWAY, D1-D3 LAYOUTS AMENDED TO SUIT
E	21/9	AMENDED TO SUIT LAND DIVISION PROPOSAL
F	9/1	SHADOW DIAGRAMS, COLOUR/MATERIAL SCHEDULE AND FENCE/RETAINING WALL ELEVATIONS

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PLANNING DRAWINGS

project	MURDOCH AVE DEVELOPMENT	date	DEC 2017	drawn by	LD
at:	7 MURDOCH AVENUE NORTH PLYMPTON SA 5037	scale:	1:100	drawing no:	05
client:	ZYBEK DEVELOPMENTS	project no:	ZYB.078	sheet no:	
				sheet size:	A3

PO Box 129 Enfield Plaza 5085  
m: 0407 820 946 e: dino.verocchi@gmail.com



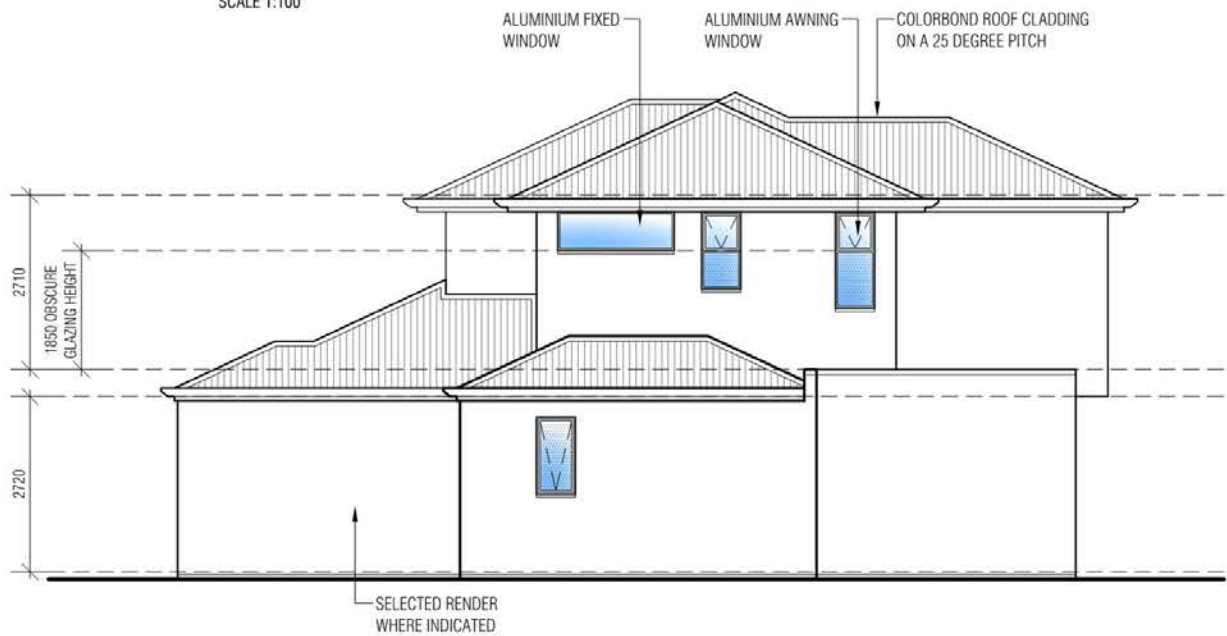
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	MATERIAL:	COLOUR:
ROOF	COLORBOND	WOODLAND GREY
GUTTERS	COLORBOND	MONUMENT
FACIAS	COLORBOND	MONUMENT
EXTERNAL WALLS	RENDERED HEBEL PANEL	DULUX 'VIVID WHITE' (WHITE)
	LINEAR CLADDING (SCYON STRIA)	DULUX 'FLOODED GUM' (DARK)
FRONT DOOR	TIMBER	DULUX 'CUDDLEPOT' ANODISED
WINDOWS	ALUMINIUM	DULUX 'VIVID WHITE'
PANEL LIFT DOOR	COLORBOND	



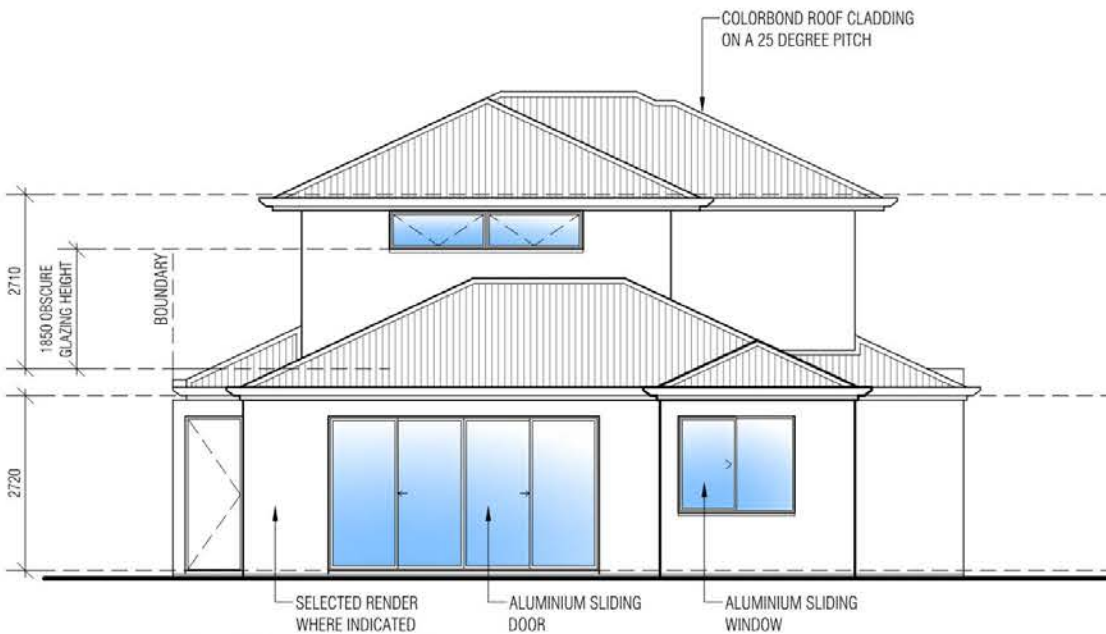
**SOUTH ELEVATION**

SCALE 1:100



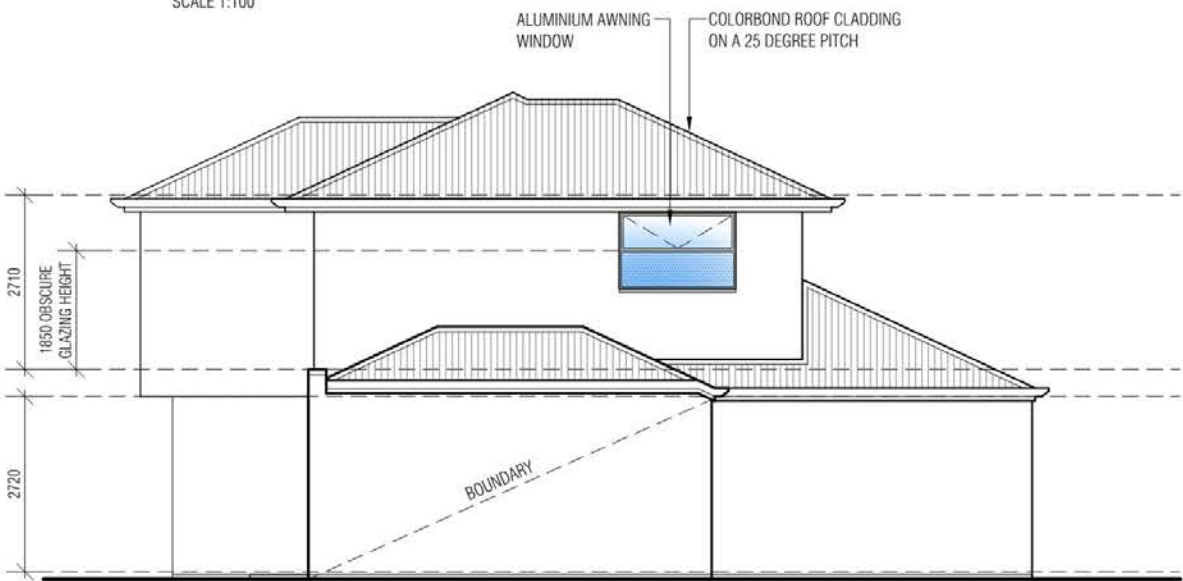
**WEST ELEVATION**

SCALE 1:100



**NORTH ELEVATION**

SCALE 1:100



**EAST ELEVATION**

SCALE 1:100

<div>Contractors to verify all dimensions prior to commencement of any building work. Figured dimensions shall take preference over scaled dimensions and any discrepancy shall be reported to the designer immediately. These drawings are the exclusive property of Verrocchi Building Design. Any reproduction without written authority is prohibited. Copyright ©</div> <div>PLANNING DRAWINGS</div>	rev	date	description	notes
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	D	13/9	WIDEN COMMON DRIVEWAY, D1-D3 LAYOUTS AMENDED TO SUIT	
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	F	9/1	SHADOW DIAGRAMS, COLOUR/MATERIAL SCHEDULE AND FENCE/RETAINING WALL ELEVATIONS	

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buildingdesign

PO Box 129 Enfield Plaza 5085  
m: 0407 820 946 e: dino.verrocchi@gmail.com

project: MURDOCH AVE DEVELOPMENT

at: 7 MURDOCH AVENUE  
NORTH PLYMPTON SA 5037

client: ZYBEK DEVELOPMENTS

date: DEC 2017

drawn by: LD

scale: 1:100

project no: ZYB.078

drawing no: 06

sheet size: A3



INDICATIVE EXTERNAL MATERIAL SCHEDULE:

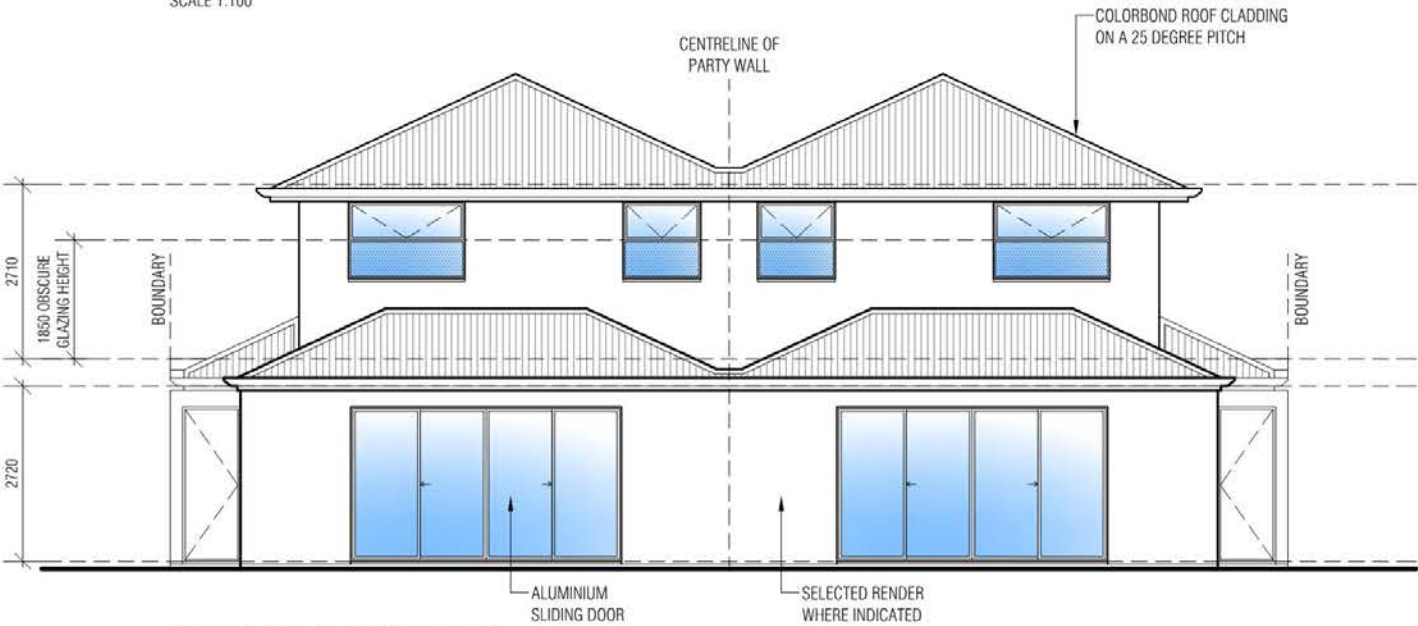
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ROOF	COLORBOND	WOODLAND GREY
GUTTERS	COLORBOND	MONUMENT
FACIAS	COLORBOND	MONUMENT
EXTERNAL WALLS	RENDERED HEBEL PANEL	DULUX 'VIVID WHITE' (WHITE)
	LINEAR CLADDING (SCYON STRIA)	DULUX 'FLOODED GUM' (DARK)
	MATRIX PANEL	DULUX 'CUDDLEPOT'
FRONT DOOR	TIMBER	DULUX 'CUDDLEPOT'
WINDOWS	ALUMINIUM	ANODISED
PANEL LIFT DOOR	COLORBOND	DULUX 'VIVID WHITE'

DWELLINGS 2 & 3



**SOUTH ELEVATION**

SCALE 1:100

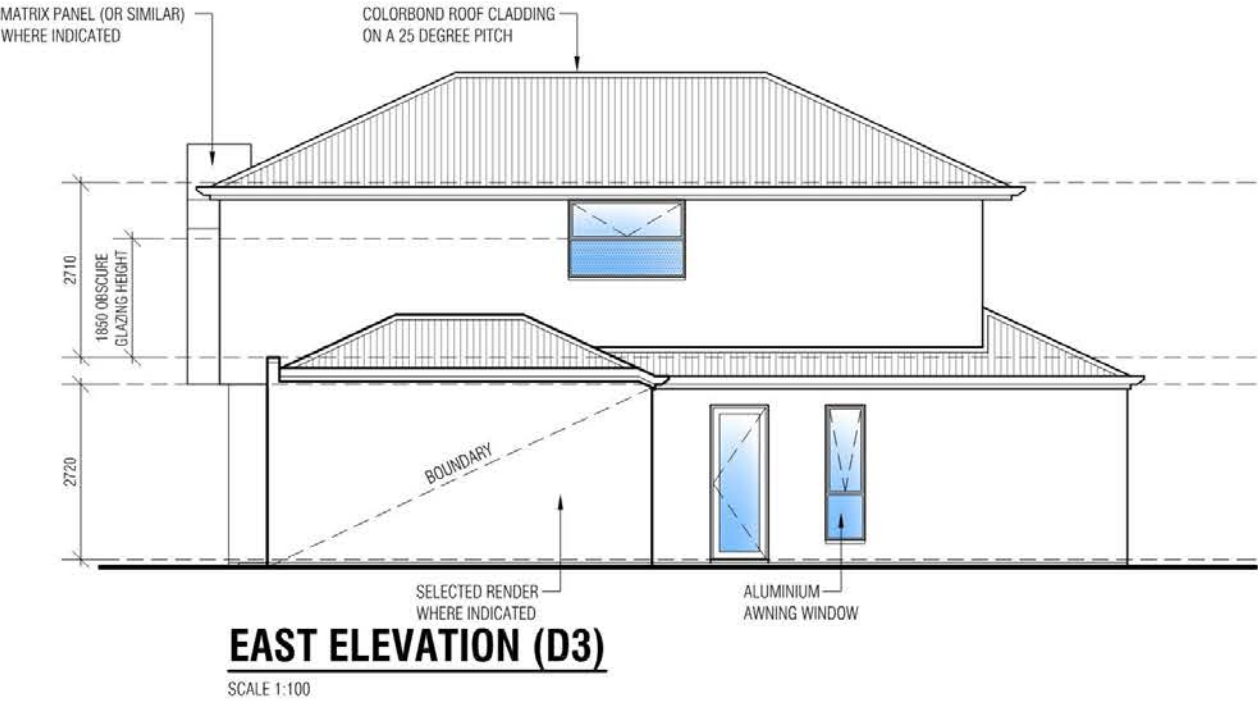
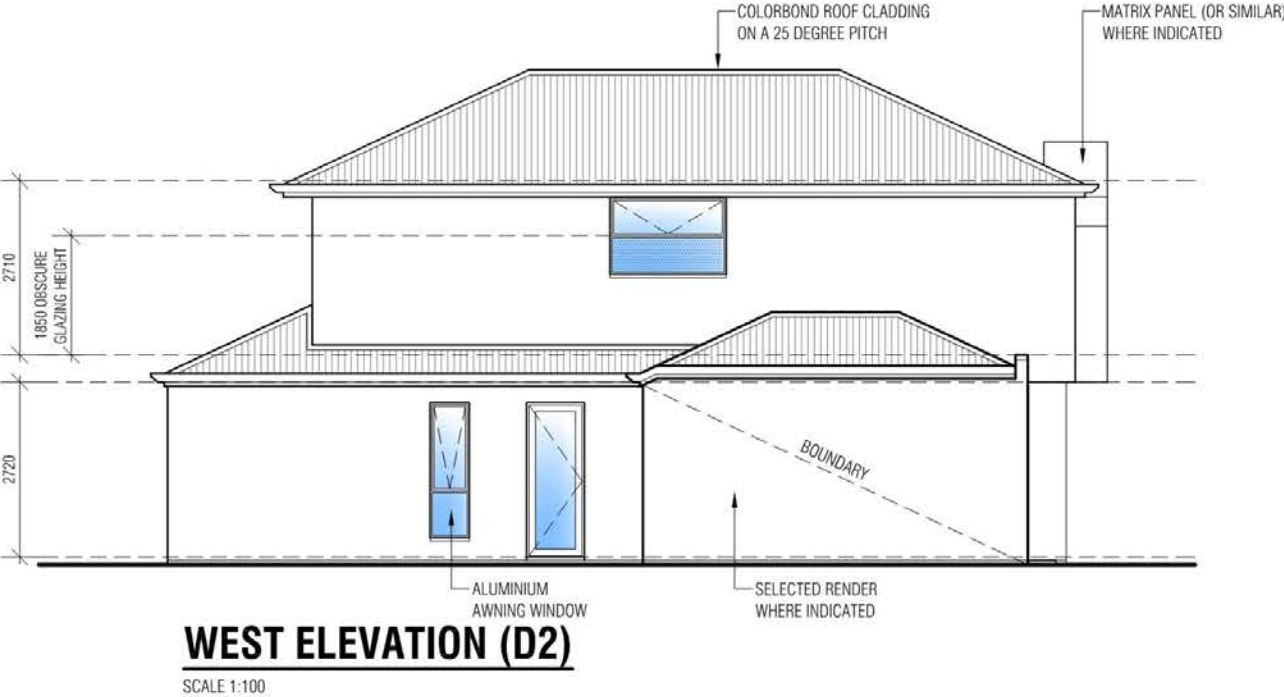


**NORTH ELEVATION**

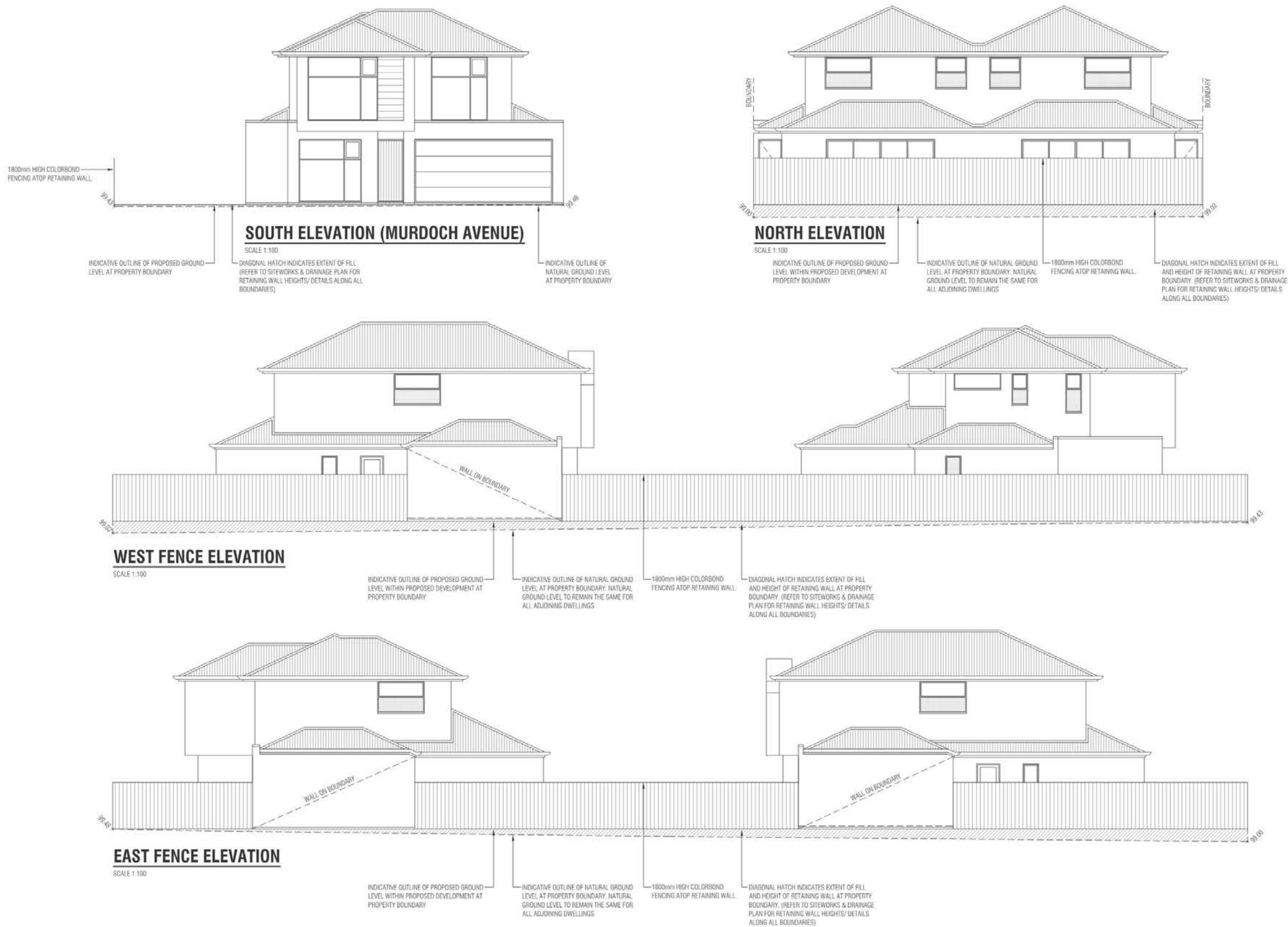
SCALE 1:100

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	B	18/4	AMENDED AS PER CLIENT'S AND CIRQA'S REQUEST					
	C	8/5	PLANNING DRAWINGS					
	D	13/9	WIDEN COMMON DRIVEWAY, D1-D3 LAYOUTS AMENDED TO SUIT					
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	F	9/1	SHADOW DIAGRAMS, COLOUR/MATERIAL SCHEDULE AND FENCE/RETAINING WALL ELEVATIONS					

DWELLINGS 2 & 3

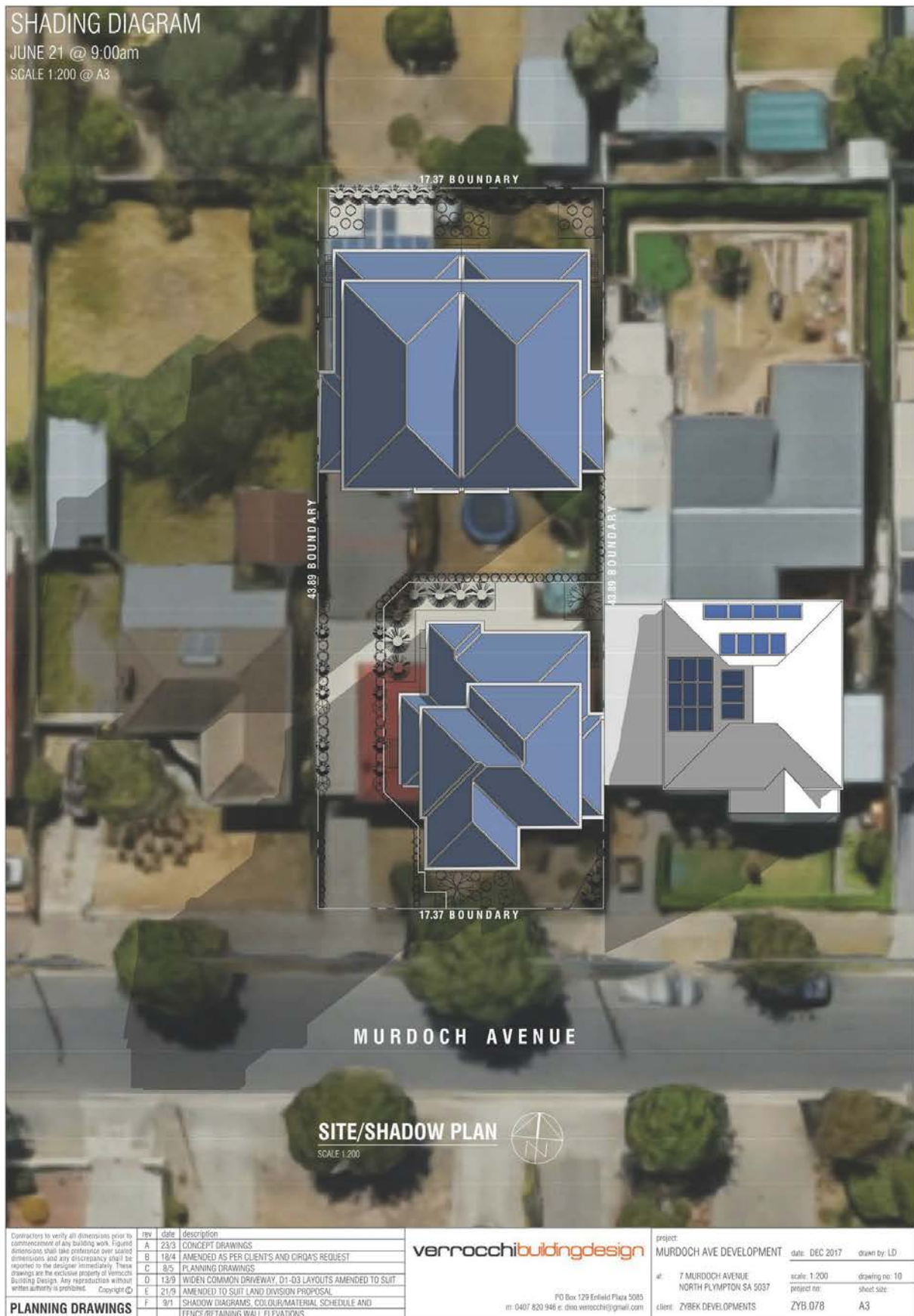


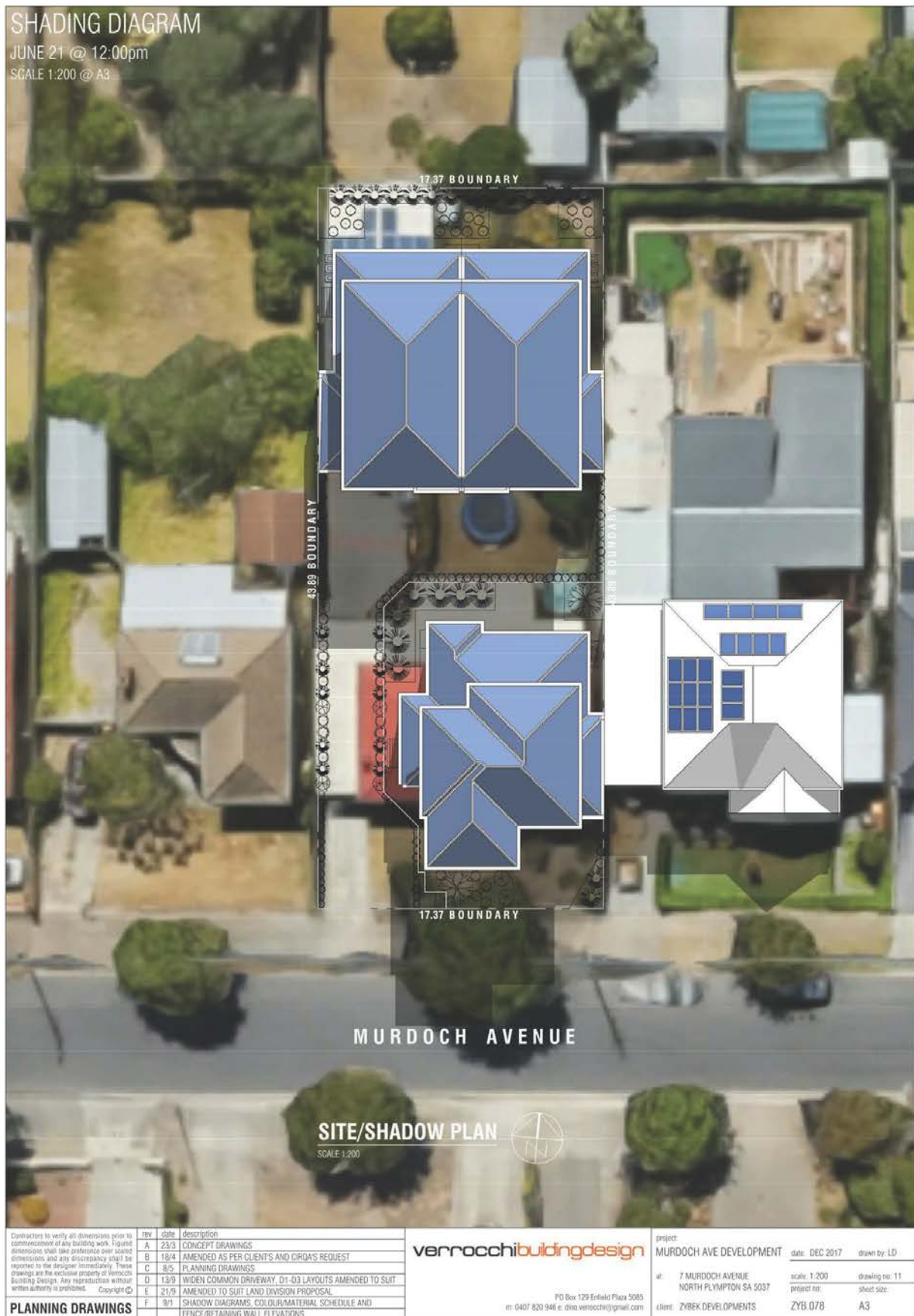
<div>Contractors to verify all dimensions prior to commencement of any building work. Figured dimensions shall take preference over scaled dimensions and any discrepancy shall be reported to the designer immediately. These drawings are the exclusive property of Verrocchi Building Design. Any reproduction without written authority is prohibited. Copyright ©</div> <div>PLANNING DRAWINGS</div>	rev	date	description	notes	<div>verrocchi<b>buildingdesign</b></div> <div>PO Box 129 Enfield Plaza 5085 m: 0407 820 946 e: dino.verocchi@gmail.com</div>	project: MURDOCH AVE DEVELOPMENT		
	A	23/3	CONCEPT DRAWINGS			date: DEC 2017 drawn by: LD		
	B	18/4	AMENDED AS PER CLIENT'S AND CIRQA'S REQUEST			at: 7 MURDOCH AVENUE		
	C	8/5	PLANNING DRAWINGS			NORTH PLYMPTON SA 5037		
	D	13/9	WIDEN COMMON DRIVEWAY, D1-D3 LAYOUTS AMENDED TO SUIT			scale: 1:100 drawing no: 08		
	E	21/9	AMENDED TO SUIT LAND DIVISION PROPOSAL			project no: sheet size:		
	F	9/1	SHADOW DIAGRAMS, COLOUR/MATERIAL SCHEDULE AND FENCE/RETAINING WALL ELEVATIONS			client: ZYBEK DEVELOPMENTS ZYB.078 A3		



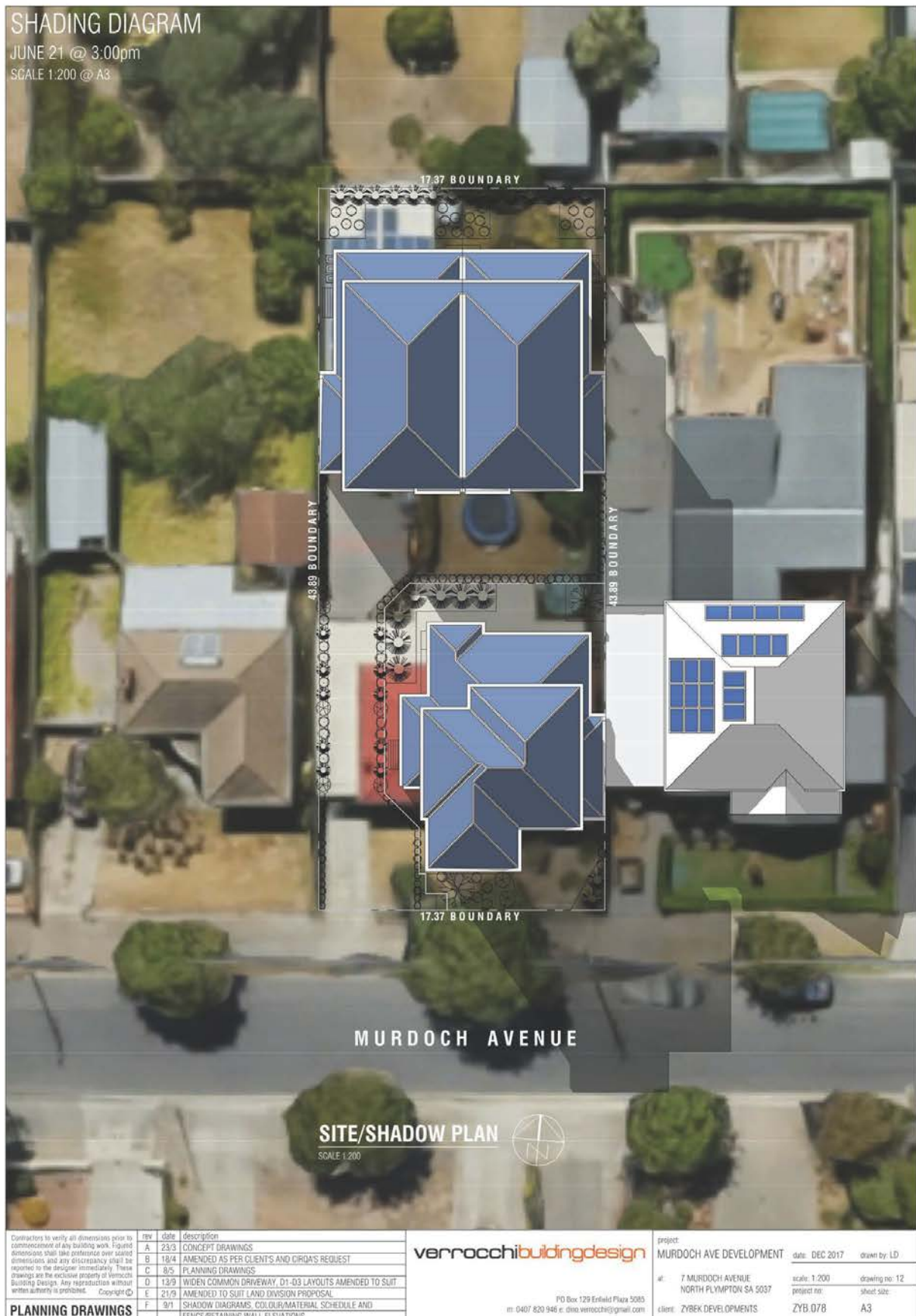
Contractors to verify all dimensions prior to commencement of any building work. Figured dimensions shall take preference over scaled dimensions and any discrepancy shall be reported to the designer immediately. These drawings are the exclusive property of Verrocchi Building Design. Any reproduction without written authority is prohibited. Copyright ©			notes		<div>verrocchi<b>buildingdesign</b></div> <div>PO BOX 129 Enfield Place 5085 m: 0407 820 916 e: dno.verocchi@gmail.com</div>			project		
PLANNING DRAWINGS	REV	DATE	DESCRIPTION					MURDOCH AVE DEVELOPMENT		
	A	23/3	CONCEPT DRAWINGS					date:	DEC 2017	drawn by: LD
	B	18/4	AMENDED AS PER CLIENT'S AND CIRDA'S REQUEST					at:	7 MURDOCH AVENUE NORTH PLYMPTON SA 5037	scale: 1:100 drawing no: 09
	C	8/5	PLANNING DRAWINGS					project no:	ZYB.078	sheet size: A2
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	E	21/9	AMENDED TO SUIT LAND DIVISION PROPOSAL							
	F	9/1	SHADOW DIAGRAMS, COLOUR/MATERIAL SCHEDULE AND FENCE/RETAINING WALL ELEVATIONS							





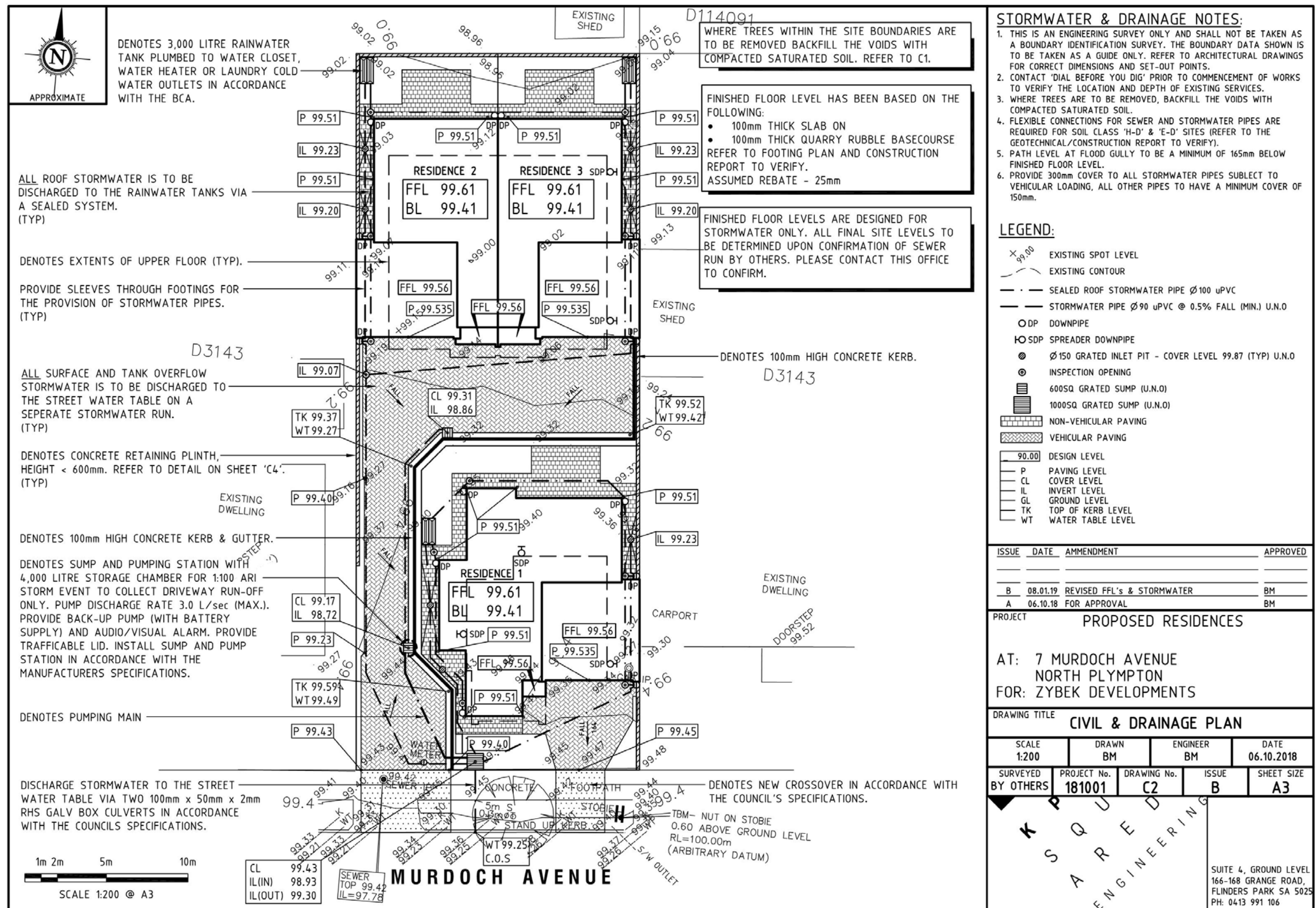














**From:** [Rushforth, John \(Housing\)](#)  
**To:** [Development](#)  
**Subject:** DA 211/483/2018 attn. Amelia DeRuvo  
**Date:** Friday, 26 October 2018 1:53:29 PM  
**Attachments:** [image001.png](#)

---

To whom it may concern:

**re DA 211/483/2018 Demolition and construction of a 2 storey dwelling and a 2 storey residential flat dwelling ( 2 dwellings) : 7 Murdoch Ave., North Plympton.**

Thank you for the opportunity to comment on the above Category 2 application. The South Australian Housing Authority has the following comments related to amenity on behalf of the South Australian Housing Trust which owns the abutting property, 5 Murdoch Ave.

1. Visual Amenity: Please ensure that PDC 27 ( General ) is adhered to.
2. PDC 11 ( Residential Zone) Side Setbacks: Ensure that the development plan's side setbacks are adhered to.



**John Rushforth**  
**Senior Urban Planner**  
**Transaction and Property Services**  
**SA Housing Authority**

Phone: 08 8207 0212  
Email: [john.rushforth@sa.gov.au](mailto:john.rushforth@sa.gov.au)

Visit Housing SA at: [www.sa.gov.au/housing](http://www.sa.gov.au/housing)  
Level 5 West  
Riverside Centre, North Terrace, Adelaide SA 5000

Act for a sustainable future: only print if needed.

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**STATEMENT OF REPRESENTATION**  
**Pursuant to Section 38 of the Development Act 1993**

TO Chief Executive Officer  
 City of West Torrens  
 165 Sir Donald Bradman Drive  
 HILTON 5033

City of West Torrens

08 NOV 2018

City Development

RECEIVED - CWT IM

8 NOV 2018

DEVELOPMENT No. 211/483/2018

PROPERTY ADDRESS:

7 Murdoch Avenue, NORTH PLYMPTON SA 5037

YOUR FULL NAME	ELIZABETH ANNE REUBENICHT
YOUR ADDRESS	[REDACTED]
YOUR PHONE No	[REDACTED]
YOUR EMAIL	[REDACTED]
NATURE OF INTEREST	2 - TWO STORY RESIDENCE OPPOSITE 8 MURDOCH AVE - MY ENTRANCE TO MY (eg. Adjoining resident, owner of land in the vicinity etc.) UNIT
REASON/S FOR REPRESENTATION	Murdoch Ave is a very busy through-way that from Marion Rd, with traffic heading to Kerssatta Shopping centre. With 3 residences opposite, with even more cars is of concern to me & my immediate neighbours
MY REPRESENTATIONS WOULD BE OVERCOME BY (state action sought)	

Please indicate in the appropriate box below whether or not you wish to be heard by Council in respect to this submission:

I DO NOT WISH TO BE HEARD

☒

I DESIRE TO BE HEARD PERSONALLY

☐

I DESIRE TO BE REPRESENTED BY \_\_\_\_\_

☐

(PLEASE SPECIFY)

SIGNED

DATE

E.A. Reubenicht.  
4/11/18

Responsible Officer: Amelia DeRuvo  
 Ends: Friday 9 November 2018

If space insufficient, please attach sheets

**STATEMENT OF REPRESENTATION**  
**Pursuant to Section 38 of the Development Act 1993**

TO Chief Executive Officer  
 City of West Torrens  
 165 Sir Donald Bradman Drive  
 HILTON 5033

City of West Torrens

08 NOV 2018

City Development

RECEIVED - CMTM

8 NOV 2018

DEVELOPMENT No. 211/483/2018  
 PROPERTY ADDRESS: 7 Murdoch Avenue, NORTH PLYMPTON SA 5037

YOUR FULL NAME	SHIRLEY GRIFFITHS
YOUR ADDRESS	[REDACTED]
YOUR PHONE No	[REDACTED]
YOUR EMAIL	[REDACTED]
NATURE OF INTEREST	THE TWO STORY BLDINGS OP OUR ENTRANCE TO E.C.H UNITS (eg. Adjoining resident, owner of land in the vicinity etc.)
REASON/S FOR REPRESENTATION	We are a elderly retirement Village concerned about traffic congestion in Murdoch Ave. which is already very busy on both sides of the road
MY REPRESENTATIONS WOULD BE OVERCOME BY (state action sought)	

Please indicate in the appropriate box below whether or not you wish to be heard by Council in respect to this submission:

I DO **NOT** WISH TO BE HEARD

☒

I DESIRE TO BE HEARD PERSONALLY

☐

I DESIRE TO BE REPRESENTED BY \_\_\_\_\_

☐

(PLEASE SPECIFY)

SIGNED

DATE

S.D. Griffiths  
4.10.18

Responsible Officer: Amelia DeRuvo

Ends: Friday 9 November 2018

If space insufficient, please attach sheets

City of West Torrens

08 NOV 2018

City Development

# STATEMENT OF REPRESENTATION

## Pursuant to Section 38 of the Development Act 1993

TO Chief Executive Officer  
City of West Torrens  
165 Sir Donald Bradman Drive  
HILTON 5033

RECEIVED - CWT

8 NOV 2018

DEVELOPMENT No. 211/483/2018  
PROPERTY ADDRESS: 7 Murdoch Avenue, NORTH PLYMPTON SA 5037

YOUR FULL NAME	MARGARET DIANE BOND
YOUR ADDRESS	[REDACTED]
YOUR PHONE No	[REDACTED]
YOUR EMAIL	[REDACTED]
NATURE OF INTEREST	TWO STOREY BUILDINGS OPPOSITE OUR ENTRANCE TO OUR UNITS. (eg. Adjoining resident, owner of land in the vicinity etc.)
REASON/S FOR REPRESENTATION	We are an elderly retirement village Concerned about congestion in an already congested road - both ends are not good - maybe more no parking yellow lines are needed.
MY REPRESENTATIONS WOULD BE OVERCOME BY (state action sought)	

Please indicate in the appropriate box below whether or not you wish to be heard by Council in respect to this submission:

I DO NOT WISH TO BE HEARD



I DESIRE TO BE HEARD PERSONALLY



I DESIRE TO BE REPRESENTED BY \_\_\_\_\_



(PLEASE SPECIFY)

SIGNED

DATE 1/11/18

M Bond.

Responsible Officer: Amelia DeRuvo  
Ends: Friday 9 November 2018

If space insufficient, please attach sheets



## Preliminary Traffic, Flooding & Stormwater Assessment

**Development Application No: 211/1037/2018**

**Assessing Officer:** Amelia DeRuvo  
**Site Address:** 7 Murdoch Avenue, NORTH PLYMPTON SA 5037  
**Certificate of Title:** CT-5699/680  
**Description of Development:** Land division - Torrens Title; SCAP No. 211/D125/18;  
Create one (1) additional allotment

### TO THE TECHNICAL OFFICER - CITY ASSETS

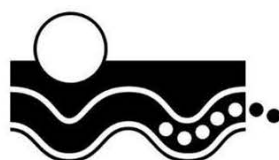
Please provide your comments in relation to:

- ☐ Site drainage and stormwater disposal
- ☐ Required FFL
- ☐ On-site vehicle parking and manoeuvrability
- ☐ New Crossover
- ☐ Your advice is also sought on other aspects of the proposal as follows:

.....  
.....

**PLANNING OFFICER - Amelia DeRuvo**

**DATE 31 December, 2018**

City of **West Torrens**Between the City and the Sea

---

## Memo

To Amelia DeRuvo  
From Richard Tan  
Date 31/12/2018  
Subject 211/1037/2018, 7 Murdoch Avenue, NORTH PLYMPTON SA 5037

Amelia DeRuvo,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

### 1.0 General Finished Floor Level (FFL) Consideration

#### 1.1 Land division application. FFLs requirements for information

Council seeks to ensure that the FFL of all new development is protected from inundation when considering a 350mm stormwater flow depth in the adjacent street water table.

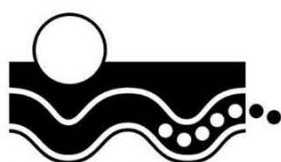
This is typically achieved through establishing the FFL of new development a minimum of 350mm above the highest adjacent street water table.

In association with the above proposed development, no site or road verge level information has been provided and as such it is impossible to determine if the proposal will satisfy the above consideration.

Simply conditioning that a development satisfy this consideration can have its complications with regards to the ultimately required level of the development in relation to neighbouring properties and the related planning considerations this brings about. It may also bring about the necessity for alterations to the design of the development which are outside of the expectations of the applicant (for example; requiring step(s) up from existing buildings to additions).

### 2.0 Verge Interaction

In association with new development, driveways and stormwater connections through the road verge need to be located and shaped such that they appropriately interact with and accommodate existing verge features in front of the subject and adjacent properties. Any new driveway access shall be constructed as near as practicable to 90 degrees to the kerb alignment



City of **West Torrens**

Between the City and the Sea

(unless specifically approved otherwise) and must be situated wholly within the property frontage.

New driveways and stormwater connections are typically required to be located a minimum 1.0 metre offset from other existing or proposed driveways, stormwater connections, stobie poles, street lights, side entry pits and pram ramps, etc. (as measured at the front property boundary).

These new features are also desired to be located a minimum of 2.0 metres from existing street trees, although a lesser offset may be acceptable in some circumstances. If an offset less than the desired 2.0 metres is proposed or if it is requested for the street tree to be removed, then assessment for the suitability of such will be necessary from Council's Technical Officer (Arboriculture).

- 2.1** From the provided plan, it seems like Lot 1 has separate Torrens title from Lot 2, which is a community title. Based on such context, it is assumed that Lot 1 will have driveway crossover access from the front. There is an existing tree and stobie pole in front of Lot 1 with approximately 6.5m separation distance, and is able to fit in a single 3m width driveway.

### **3.0 Traffic Requirements**

- 3.1** The common driveway corridor servicing the proposed development achieves the minimum standard of 6.1m (5.0m pavement width+300mm offset from fence/boundary) as specified in the relevant Australian Standards (AS 2890.1:2004). It has been assessed that the proposed development meets Council's minimum driveway corridor dimension requirements.

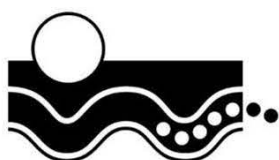
### **4.0 Waste Management**

- 4.1** Based on current limited information, it is very likely that there is sufficient public kerb space for 6 bin presentation every fortnightly. Alternatively, Lot 1 home owner can still place their bin on private driveway at their own responsibility.

### **5.0 Stormwater Requirements**

- 5.1** For this scale and nature of proposed development, Council's City Assets Department would consider acceptable an alternate approach to the provision of conventional stormwater detention calculations and implementation. This alternate solution would provide improved sustainable supply to water to the ultimate homeowner and at the





City of West Torrens

Between the City and the Sea

same time, collect and use the majority of the roof stormwater generated by the properties.

In this alternate stormwater management proposal, the following arrangements should be notated for each dwelling within the development.

- Installation of a 3,000 litre rainwater tank (no detention element);
- Rainwater tank plumbed to deliver recycled water all toilets and laundry cold water outlet. (Can also be connected to Hot Water Service if desired);
- A minimum of 90% of the dwelling roof area is to have its stormwater runoff directed to the rainwater tank;
- Mains water backup, pump and plumbing arrangements as typically required to support such an installation are to be compliant with the standard Building Code requirements associated with a compulsory rainwater tank installation;
- The stormwater collection and re-use system is to be installed and operational prior to occupancy of the dwelling.

In association with a development where the applicant has nominated this approach, it is recommended that a condition similar to the following be included with any approval;

- Prior to occupancy of a dwelling, the 3000 litre stormwater collection & reuse tank and associated plumbing to service all toilets and laundry is to be installed and operational.

Should the applicant not desire to utilise the above alternate arrangement for stormwater management, then the applicant would be requested to demonstrate through satisfactory calculations and design for conventional stormwater detention. These works to limit the peak discharge rate for the site critical 20 year ARI storm event to equivalent to a predevelopment arrangement with a 0.25 runoff coefficient.

**It is recommended that revised plans and calculations (if required) to be updated to satisfaction of the above criteria be provided to Council.**

Regards,

Richard Tan

## Preliminary Traffic, Flooding & Stormwater Assessment

**Development Application No: 211/1038/2018**

**Assessing Officer:** Amelia DeRuvo  
**Site Address:** 7 Murdoch Avenue, NORTH PLYMPTON SA 5037  
**Certificate of Title:** CT-5699/680  
**Description of Development:** Land division - Community Title; SCAP No. 211/C126/18; Create one (1) additional allotment and common property

### TO THE TECHNICAL OFFICER - CITY ASSETS

Please provide your comments in relation to:

- ☐ Site drainage and stormwater disposal
- ☐ Required FFL
- ☐ On-site vehicle parking and manoeuvrability
- ☐ New Crossover
- ☐ Your advice is also sought on other aspects of the proposal as follows:

.....  
.....

**PLANNING OFFICER - Amelia DeRuvo**

**DATE 31 December, 2018**

City of **West Torrens**Between the City and the Sea

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## Memo

To Amelia DeRuvo  
From Richard Tan  
Date 31/12/2018  
Subject 211/1038/2018, 7 Murdoch Avenue, NORTH PLYMPTON SA 5037

Amelia DeRuvo,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

### 1.0 General Finished Floor Level (FFL) Consideration

#### 1.1 Land division application. FFLs requirements for information

Council seeks to ensure that the FFL of all new development is protected from inundation when considering a 350mm stormwater flow depth in the adjacent street water table.

This is typically achieved through establishing the FFL of new development a minimum of 350mm above the highest adjacent street water table.

In association with the above proposed development, no site or road verge level information has been provided and as such it is impossible to determine if the proposal will satisfy the above consideration.

Simply conditioning that a development satisfy this consideration can have its complications with regards to the ultimately required level of the development in relation to neighbouring properties and the related planning considerations this brings about. It may also bring about the necessity for alterations to the design of the development which are outside of the expectations of the applicant (for example; requiring step(s) up from existing buildings to additions).

### 2.0 Verge Interaction

In association with new development, driveways and stormwater connections through the road verge need to be located and shaped such that they appropriately interact with and accommodate existing verge features in front of the subject and adjacent properties. Any new driveway access shall be constructed as near as practicable to 90 degrees to the kerb alignment





City of **West Torrens**

Between the City and the Sea

(unless specifically approved otherwise) and must be situated wholly within the property frontage.

New driveways and stormwater connections are typically required to be located a minimum 1.0 metre offset from other existing or proposed driveways, stormwater connections, stobie poles, street lights, side entry pits and pram ramps, etc. (as measured at the front property boundary).

These new features are also desired to be located a minimum of 2.0 metres from existing street trees, although a lesser offset may be acceptable in some circumstances. If an offset less than the desired 2.0 metres is proposed or if it is requested for the street tree to be removed, then assessment for the suitability of such will be necessary from Council's Technical Officer (Arboriculture).

- 2.1** From the provided plan, it seems like Lot 1 has separate Torrens title from Lot 2, which is a community title. Based on such context, it is assumed that Lot 1 will have driveway crossover access from the front. There is an existing tree and stobie pole in front of Lot 1 with approximately 6.5m separation distance, and is able to fit in a single 3m width driveway.

### **3.0 Traffic Requirements**

- 3.1** The common driveway corridor servicing the proposed development achieves the minimum standard of 6.1m (5.0m pavement width+300mm offset from fence/boundary) as specified in the relevant Australian Standards (AS 2890.1:2004). It has been assessed that the proposed development meets Council's minimum driveway corridor dimension requirements.

### **4.0 Waste Management**

- 4.1** Based on current limited information, it is very likely that there is sufficient public kerb space for 6 bin presentation every fortnightly. Alternatively, Lot 1 home owner can still place their bin on private driveway at their own responsibility.

### **5.0 Stormwater Requirements**

- 5.1** For this scale and nature of proposed development, Council's City Assets Department would consider acceptable an alternate approach to the provision of conventional stormwater detention calculations and implementation. This alternate solution would provide improved sustainable supply to water to the ultimate homeowner and at the



City of **West Torrens**

Between the City and the Sea

same time, collect and use the majority of the roof stormwater generated by the properties.

In this alternate stormwater management proposal, the following arrangements should be notated for each dwelling within the development.

- Installation of a 3,000 litre rainwater tank (no detention element);
- Rainwater tank plumbed to deliver recycled water all toilets and laundry cold water outlet. (Can also be connected to Hot Water Service if desired);
- A minimum of 90% of the dwelling roof area is to have its stormwater runoff directed to the rainwater tank;
- Mains water backup, pump and plumbing arrangements as typically required to support such an installation are to be compliant with the standard Building Code requirements associated with a compulsory rainwater tank installation;
- The stormwater collection and re-use system is to be installed and operational prior to occupancy of the dwelling.

In association with a development where the applicant has nominated this approach, it is recommended that a condition similar to the following be included with any approval;

- Prior to occupancy of a dwelling, the 3000 litre stormwater collection & reuse tank and associated plumbing to service all toilets and laundry is to be installed and operational.

Should the applicant not desire to utilise the above alternate arrangement for stormwater management, then the applicant would be requested to demonstrate through satisfactory calculations and design for conventional stormwater detention. These works to limit the peak discharge rate for the site critical 20 year ARI storm event to equivalent to a predevelopment arrangement with a 0.25 runoff coefficient.

**It is recommended that revised plans and calculations (if required) to be updated to satisfaction of the above criteria be provided to Council.**

Regards,  
Richard Tan

## Preliminary Traffic, Flooding & Stormwater Assessment

**Development Application No: 211/483/2018**

**Assessing Officer:** Amelia DeRuvo  
**Site Address:** 7 Murdoch Avenue, NORTH PLYMPTON SA 5037  
**Certificate of Title:** CT-5699/680  
**Description of Development:** Demolition of all existing structures and construction of a two-storey dwelling and a two-storey residential flat building containing two (2) dwellings

### TO THE TECHNICAL OFFICER - CITY ASSETS

Please provide your comments in relation to:

- ☐ Site drainage and stormwater disposal
- ☐ Required FFL
- ☐ On-site vehicle parking and manoeuvrability
- ☐ New Crossover
- ☐ Your advice is also sought on other aspects of the proposal as follows:

.....  
.....

**PLANNING OFFICER - Amelia DeRuvo**

**DATE 6 June, 2018**





## Memo

To Amelia DeRuvo  
From Jane Teng  
Date 6/06/2018  
Subject 211/483/2018, 7 Murdoch Avenue, NORTH PLYMPTON SA 5037

Amelia DeRuvo,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

### **1.0 FFL Consideration – Finished Floor Level (FFL) Requirement**

Based on the survey information provided on 'Proposed Site Plan', (Verrocchi building design – Project no. ZYB.078, Dec 2017 Rev C), a minimum FFL of 100.00 would be required.

**It is recommended that revised plans indicating the required minimum FFL be provided to Council.**

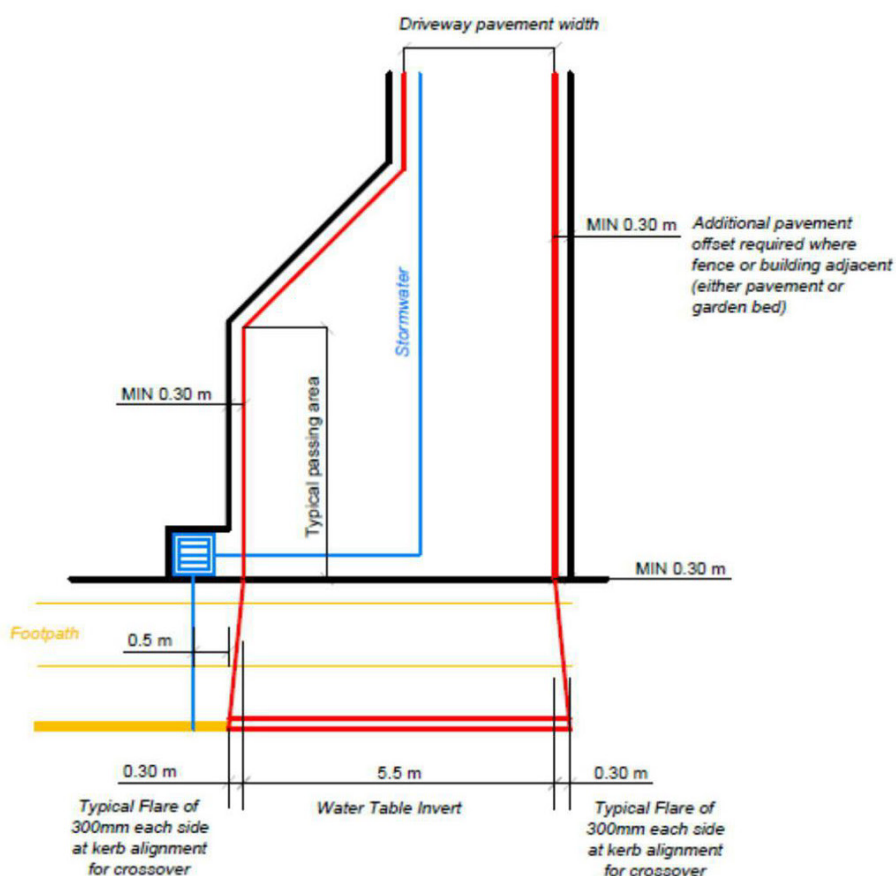
### **2.0 Driveway Access**

2.1 As the access driveway will service more than one property at the rear, the driveway corridor to the site will require widening to a minimum of 5.5m wide pavement width (+ 300mm offset from fences/walls/boundary) for the first 5.0m into the site to permit the passing of entering and exiting traffic. The proposed driveway falls short of this requirement. Please refer to the attached sketch for a typical layout.

**It is recommended that the driveway servicing the rear of the subject site be revised to the required dimensions indicated above. Revised plans showing a driveway that satisfies the above provisions should be provided to Council.**



## ACCESS ARRANGEMENT SERVICING MORE THAN ONE REAR PROPERTY



### NOTES:

- Do not scale sketch.
- Distance as measured along alignment of front property boundary.
- Must be deemed to comply by Council's Technical Officer (Amenity).
- No aboveground structure(s) such as letterboxes, service meters or similar are to be installed within the common driveway entrance and passing area.
- Stormwater connection through the road verge area to be constructed of shape and material to satisfy Council's standard requirements.
  - 100 x 50 x 2mm RHS Galvanised Steel or
  - 125 x 75 x 2mm RHS Galvanised Steel or
  - Multiples of the above.



### **3.0 Stormwater detention**

In relation to the detention of stormwater runoff from the development, Council typically would be seeking for the rate of discharge of stormwater from the development site would be restricted to a maximum rate equivalent to that of a site with a 0.25 runoff coefficient for the site critical 20 year ARI storm event (i.e effectively mimicking a site with a 25% impervious cover and 75% pervious cover). Sufficient engineering information to demonstrate the practicality of achieving this is recommended to be provided and assessed prior to the issuing of any development approval for the application

Council's City Assets Department would consider acceptable an alternate approach to the provision of conventional stormwater detention calculations and implementation.

This alternate solution would provide improved sustainable supply to water to the ultimate homeowner and at the same time, collect and use the majority of the roof stormwater generated by the property.

In this alternate stormwater management proposal, the following arrangements should be notated for the dwelling.

- Installation of a 3,000 litre rainwater tank (no detention element).
- Rainwater tank plumbed to deliver recycled water all toilets and laundry cold water outlet. (Can also be connected to Hot Water Service if desired).
- A minimum of 90% of the dwelling roof area is to have its stormwater runoff directed to the rainwater tank.
- Mains water backup, pump and plumbing arrangements as typically required to support such an installation are to be compliant with the standard Building Code requirements associated with a compulsory rainwater tank installation.
- The stormwater collection and re-use system is to be installed and operational prior to occupancy of the dwelling.

In association with a development where the applicant has nominated this approach, it is recommended that a condition similar to the following be included with any approval;

- Prior to occupancy of a dwelling, the 3000 litre stormwater collection & reuse tank and associated plumbing to service all toilets and laundry is to be installed and operational.

Should the applicant not desire to utilise the above alternate arrangement for stormwater management, then the applicant would be requested to demonstrate through satisfactory calculations and design for conventional stormwater detention. These works to limit the peak discharge rate for the





site critical 20 year ARI storm event to equivalent to a predevelopment arrangement with a 0.25 runoff coefficient.

**It is recommended that revised plans and supporting calculations (if necessary) clearly and accurately indicating satisfaction of the above criteria be provided to Council.**

#### **4.0 Waste Consideration**

The available kerb frontage of the property (excluding the access driveway) leave only an approximate less than 6.0m of frontage for the collection of bins. Allowing for the presence of an existing street tree, the remaining kerb length for the presentation of bins is likely to be 4.0m. Consequently, unable to accommodate the bin placements of 6 at a given week.

Other than the above outlined option, the only other consideration for this would be the servicing of waste by private contractor, which would likewise require the provision of a communal waste storage area within the development. As such, I shall leave the consideration of the above element for the City Planner to consider.

Should you require further information, please contact Jane Teng on the following direct extension number 8416 6296.

Regards

**Jane Teng**  
**Civil Engineer**

## Preliminary Traffic, Flooding & Stormwater Assessment

**Development Application No: 211/483/2018**

<b>Assessing Officer:</b>	Amelia DeRuvo
<b>Site Address:</b>	7 Murdoch Avenue, NORTH PLYMPTON SA 5037
<b>Certificate of Title:</b>	CT-5699/680
<b>Description of Development</b>	Demolition of all existing structures and construction of a two-storey dwelling and a two-storey residential flat building containing two (2) dwellings

### TO THE TECHNICAL OFFICER - CITY ASSETS

Please provide your comments in relation to:

- ☐ Site drainage and stormwater disposal
- ☐ Required FFL
- ☐ On-site vehicle parking and manoeuvrability
- ☐ New Crossover
- ☐ Your advice is also sought on other aspects of the proposal as follows:

.....  
.....

**PLANNING OFFICER - Amelia DeRuvo**

**DATE 10 August, 2018**



## Memo

To Amelia DeRuvo  
From Andrew King  
Date 10 August 2018  
Subject 211/483/2018, 7 Murdoch Avenue, NORTH PLYMPTON SA 5037

Amelia DeRuvo,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

The following comments are also provide in consideration and reference to feedback previously provided by this department, dated 6 June 2018.

### **1.0 FFL Consideration – Finished Floor Level (FFL) Requirement**

Previously provided feedback provided information on the FFL considered acceptable for this development and recommended the provision of revised plans nominating acceptable FFL notation.

**Per previous feedback, it is recommended that revised plans indicating the required minimum FFL be provided to Council.**

### **2.0 Driveway Access and Manoeuvrability**

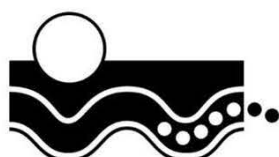
2.1 Previously provided feedback included detailed standard information in relation to the expectation of a passing area at the entrance to the common driveway servicing the rear dwellings.

Plans have not been revised to reflect this typical arrangement and instead the applicant has provide reporting from CIRQA in argument for the not providing this design element.

The CIRQA reporting indicates that consideration of the provisions of the relevant Australian Standard do not specifically call for a passing area in developments of this scale.

The CIRQA report however does not highlight that the Council's Development Plan does however specifically call for the provision of a passing area for developments of this nature. Council's Traffic Consultant, Frank Siow considers "It is also good design practice and good traffic management to provide two way access at the frontage of





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Between the City and the Sea

a local street. This would ensure that an exiting vehicle does not delay a vehicle waiting to enter from Murdoch Avenue. Otherwise, the entering vehicle could obstruct traffic flow on Murdoch Avenue."

This is a position which Council has consistently requested and required in association with new development of this nature over recently years, with almost no exclusion to achieving this outcome.

In association with a development of this nature where the entire site is being cleared and there are no reasonable physical site restrictions to compromise the ability of achieving the passing arrangement.

**It is recommended that the driveway servicing the rear of the subject site be revised to the required dimensions indicated in the previous June 2018 feedback. Revised plans showing a driveway that satisfies the above provisions should be provided to Council**

- 2.2 Manoeuvrability for the accessing of the various garages associated with this development are considered appropriate.

It is noted that the CIRQA report show satisfactory accessing of the garage to the front dwelling based on a driveway crossing place which is perpendicular to the road verge area. An arrangement which satisfies that which Council would be desiring to see and considers acceptable.

It is noted that the Verrocchi Building Design - Site Plan (Project No: ZYB.078 - Drawing No: 02) currently would appear to show underlying survey which does not accurately align with the development on the site. As such, it nominates a transitioning driveway through the road verge which would not be supported by Council.

**It is recommended that the designers Site Plan be corrected and updated as necessary and also to nominate a driveway crossing place of design similar to the CIRQA report and that satisfies standard Council requirement.**

- 2.3 Is it noted that a multi-point turn would be required in association with existing the visitor parking space adjacent to the common driveway.

Although not considered ideal, it is commonly accepted that a parking space in the location in relation to a driveway would require more movements to exit than would be considered acceptable in relation to other parking spaces.



### **3.0 Stormwater detention**

Previously provided feedback provided information in relation to standard stormwater detention requirements for a development of this nature.

It is apparent that no further information from the applicant has been provided in relation to this and hence no further City Assets consideration can be provided.

**Per previous feedback, it is recommended that revised plans and supporting calculations (if necessary) clearly and accurately indicating satisfaction of the above criteria be provided to Council.**

### **4.0 Waste Consideration**

The available kerb frontage in association with this development is limited and given consideration of existing verge features (tree and stobie pole) and new driveways, the ability to present all bins for the development on vertical kerbing is likely to be unachievable.

The scale and nature of this development would be difficult to justify private or shared waste services and as such the provision of a standard Council Waste Service would be provided.

It is likely that standard bins would generated by this development would need to be placed over the driveway of the front property or on verge space in front of adjacent properties.

### **5.0 Verge Interaction**

The lack of stormwater stormwater information and resolution of the common driveway means the suitability of verge interface has not been detail considered at this point in time.

Should you require further information, please contact Jane Teng on the following direct extension number 8416 6296

Regards

**Andrew King**  
**Coordinator Engineering Services**

## Preliminary Traffic, Flooding & Stormwater Assessment

**Development Application No: 211/483/2018**

**Assessing Officer:** Amelia DeRuvo  
**Site Address:** 7 Murdoch Avenue, NORTH PLYMPTON SA 5037  
**Certificate of Title:** CT-5699/680  
**Description of Development** Demolition of all existing structures and construction of a two-storey dwelling and a two-storey residential flat building containing two (2) dwellings

### TO THE TECHNICAL OFFICER - CITY ASSETS

Please provide your comments in relation to:

- ☐ Site drainage and stormwater disposal
- ☐ Required FFL
- ☐ On-site vehicle parking and manoeuvrability
- ☐ New Crossover
- ☐ Your advice is also sought on other aspects of the proposal as follows:

.....  
.....

**PLANNING OFFICER - Amelia DeRuvo**

**DATE 12 November, 2018**



City of **West Torrens**Between the City and the Sea

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## Memo

To Amelia DeRuvo  
From Sean Vial  
Date 12/11/2018  
Subject 211/483/2018, 7 Murdoch Avenue, NORTH PLYMPTON SA 5037

Amelia DeRuvo,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

### **1.0 FFL Consideration – Finished Floor Level (FFL) Requirement**

- 1.1 In accordance with the provided 'Civil & Drainage Plan' (KP Squared Engineering – Drawing Number: C2 – Date: 06/10/2018 – Issue: A), the FFLs of the proposed **living spaces** (100.00) have been assessed as satisfying minimum requirements (100.00 minimum) in consideration of street and/or flood level information.
- 1.2 Based on the survey information provided on 'Civil & Drainage Plan' (KP Squared Engineering – Drawing Number: C2 – Date: 06/10/2018 – Issue: A), a minimum FFL of **100.00** would be required for the **double garage of each dwelling**.

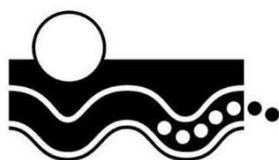
**It is recommended that revised plans indicating the required minimum FFL be provided to Council.**

### **2.0 Driveway Access and Manoeuvrability**

- 2.1 Driveway access and traffic manoeuvrability has been assessed as acceptable in accordance with the site layout shown in 'Site Plan' (Verrocchi Building Design – Drawing Number: 2 – Date: DEC 2017).

### **3.0 Stormwater Detention**

- 3.1 Stormwater onsite detention requirements have been assessed as acceptable in accordance with the site layout and notes shown in the 'Civil & Drainage Plan' (KP Squared Engineering – Drawing Number: C2 – Date: 06/10/2018 – Issue: A).



City of **West Torrens**

Between the City and the Sea

#### **4.0 Waste Consideration**

- 4.1 Bin placement has been assessed as acceptable in accordance with the site layout shown in the 'Site Plan' (Verrocchi Building Design – Drawing Number: 2 – Date: DEC 2017).

#### **5.0 Verge Interaction**

- 5.1 Verge interaction has been assessed as acceptable in accordance with the site layout shown in the 'Civil & Drainage Plan' (KP Squared Engineering – Drawing Number: C2 – Date: 06/10/2018 – Issue: A). Please see paragraph 5.2 for one additional recommendation regarding the proposed crossover for the front dwelling.

Please note that the location of the 1000mm square grated sump at the property front in the 'Civil & Drainage Plan' is in conflict with the placement of the water meter shown in 'Site Plan'. It is evident that there is available room for both. The stormwater connection is required to have a minimum offset of 1m from the proposed crossover and 2m from the street tree. Both offsets requirements for the stormwater connection are currently satisfied.

- 5.2 It is recommended that 0.3m flaring on the 3m wide crossover servicing the front dwelling is indicated on the plans. This 0.3m flaring enables for easier entering and exiting from the driveway. The arboriculture assessment concluded that a 1.8m offset from the street tree to the proposed crossover for the front dwelling was acceptable. The 0.3m flares on each side of the crossover have been taken into account in the arboriculture assessment.

Regards,

Sean Vial

**From:** [Sean Vial](#)  
**To:** [Amelia DeRuvo](#)  
**Subject:** 483/2018 7 Murdoch Avenue, North Plympton - FFL requirement  
**Date:** Monday, 17 December 2018 5:56:40 PM

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Hi Amelia,

I have reviewed the latest civil plan. Please see the comment below regarding the minimum FFL required:

In accordance with the provided 'Civil & Drainage Plan', (KP Squared Engineering – Drawing Number: C2 – Issue: A – Date: 06/10/2018), the FFLs of the proposed developments (100.00 for living spaces and 99.95 for garages) have been assessed as satisfying minimum requirements (**99.61 minimum**) in consideration of street and/or flood level information.

To reiterate out discussion earlier, the minimum FFL required for each dwelling is **99.61**.

Please let me know if you have any further questions on this.

Thank you,

Sean Vial

-



## Arboricultural Assessment of Street Trees

Development Application No: 211/483/2018

**REFERRAL DUE DATE: 11 September 2018**

Assessing Officer: **Amelia DeRuvo**  
Site Address: **7 Murdoch Avenue, NORTH PLYMPTON SA 5037**  
Certificate of Title: **CT-5699/680**  
Description of Development **Demolition of all existing structures and construction of a two-storey dwelling and a two-storey residential flat building containing two (2) dwellings**

### TO THE TECHNICAL OFFICER – CITY ASSETS

**Please provide your comments in relation to:**

- ☐ **The removal of or impact upon the Street Tree**
- ☐ **Species of Tree:**
- ☐ **Your advice is also sought on other aspects of the proposal as follows:**  
**Can you please look at the potential for pruning of the street tree forward of 7 Murdoch Avenue, North Plympton. Thankyou**

**PLANNING OFFICER - Amelia DeRuvo**

**DATE 28 August 2018**

**FROM THE TECHNICAL OFFICER**

**I have examined the plans as requested and provide comments as follow.**

As with all development applications it must be proven beyond reasonable doubt that all alternatives have been explored so not to hinder the progress of any street tree(s).

Any proposed development that does not consider "AS4970 Protection of Trees on Development Sites", is likely to require revision until all plans accurately correspond with the specific tree information detailed in this standard.

Verge interaction must consider all services that cross council land including stormwater outlets (and other) which will need to be maintained a minimum of 2.0m from any existing street tree (unless existing or otherwise negotiated). All services must be indicated /documented on appropriate plans for Council assessment and approval.

**A site investigation together with the information provided has revealed that there an existing *Pistacia chinensis* (Chinese Pistachio) street tree adjacent this development.**

For the common driveway there is 9.7m from the western property boundary to the existing street tree. This is an adequate distance to accommodate the proposed crossover and still maintain a 2.0m offset from the existing street tree.

For dwelling 1 there is 6.4m from the existing street tree to the stobie pole located 1.1m from the eastern property boundary.

With a 1.0m offset from the stobie pole and 3.6m for the proposed crossover at the kerb this will leave an offset of 1.8m from the existing street tree.

City Operations will support the reduced offset off 1.8m.

However it is noted that there is no storm water outlet location nominated for dwelling 1, so in this instance **City Operations cannot support this proposal in its current form.**

It is noted that a small amount of lower clearance can be achieved with some minor pruning, City Operations will undertake some minor pruning to Australian Standards.

Please note, under no circumstances is any individuals other than council staff permitted to interfere with a street tree. If pruning etc. is required, council must be notified via the appropriate customer request, and council staff will perform all works associated with the community asset.

Final crossover locations will be confirmed once appropriate documentation has been received from the applicant and they have submitted "an application to construct a vehicle crossing place(s) across council land".

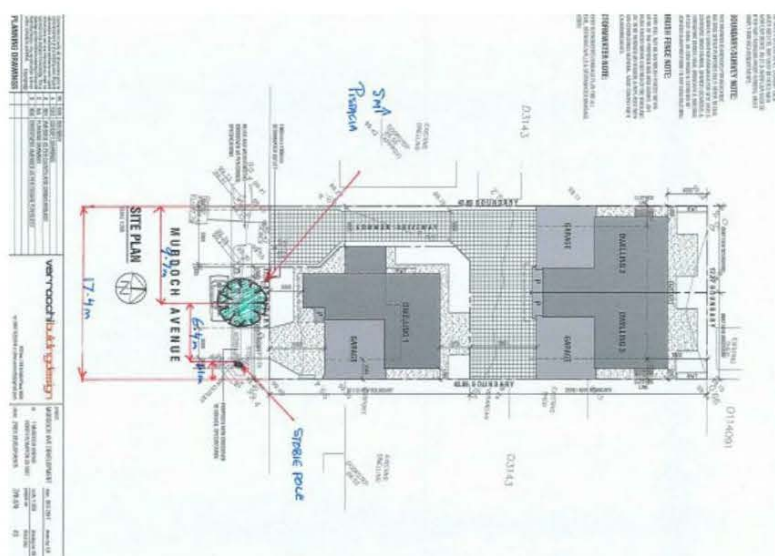
**Rick Holmes**  
**Arboriculture Assistant**  
**165 Sir Donald Bradman Drive**  
**Hilton SA 5033**

**Telephone: 8416 6333**

**Fax: 8443 5709**

**Email: rholmes@wtcc.sa.gov.au**

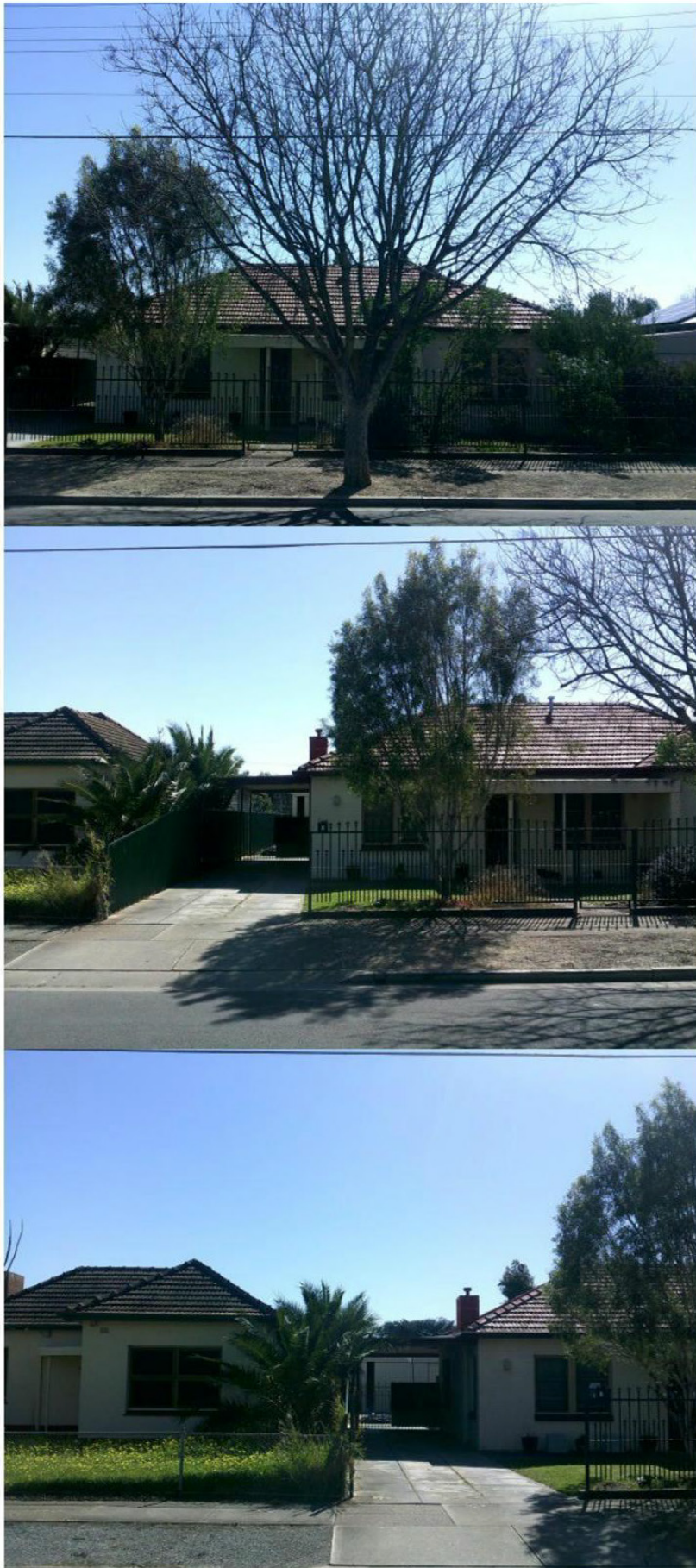
**DATE: 5/09/2018**













09 October 2018

Our Ref: H0077463

The Chairman  
State Commission Assessment Panel  
50 Flinders St  
ADELAIDE SA 5000

Dear Sir/Madam

SA Water  
Level 6, 250 Victoria Square  
ADELAIDE SA 5000  
Ph (08) 7424 1119  
Inquiries Katelyn Launer  
Telephone 74241119

**PROPOSED LAND DIVISION APPLICATION NO: 211/D125/18 AT NORTH PLYMPTON**

In response to the abovementioned proposal, I advise that pursuant to Section 33 of the Development Act it is necessary for the developer to satisfy this Corporation's requirements, which are listed below.

The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.

On receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non standard fees.

On approval of the application, it is the developers/owners responsibility to ensure all internal pipework (water and wastewater) that crosses the allotment boundaries has been severed or redirected at the developers/owners cost to ensure that the pipework relating to each allotment is contained within its boundaries.

Yours faithfully

Katelyn Launer  
for **MANAGER LAND DEVELOPMENT & CONNECTIONS**



Contact Planning Services  
Telephone 7109 7016  
Email [dldptpdclearanceletters@sa.gov.au](mailto:dldptpdclearanceletters@sa.gov.au)



09 October 2018

The Chief Executive Officer  
City of West Torrens

Dear Sir/Madam

**Re: Proposed Application No. 211/D125/18 (ID 63062)**  
**for Land Division by Ms July Walker**

In accordance with Section 33 of the Development Act 1993 and Regulation 29 (1) of the Development Regulations 2008, and further to my advice dated 25 September 2018, I advise that the State Commission Assessment Panel (SCAP) has consulted with SA Water Corporation (only) regarding this land division application. A copy of their response has been uploaded in EDALA for your consideration. The Commission has no further comment to make on this application, however there may be local planning issues which Council should consider prior to making its decision.

I further advise that the State Commission Assessment Panel has the following requirements under Section 33(1)(c) of the Development Act 1993 which must be included as conditions of land division approval on Council's Decision Notification (should such approval be granted).

1. The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.  
On receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non standard fees.  
On approval of the application, it is the developers/owners responsibility to ensure all internal pipework (water and wastewater) that crosses the allotment boundaries has been severed or redirected at the developers/owners cost to ensure that the pipework relating to each allotment is contained within its boundaries.
2. Payment of \$7253 into the Planning and Development Fund (1 allotment(s) @ \$7253/allotment).  
Payment may be made by credit card via the internet at [www.edala.sa.gov.au](http://www.edala.sa.gov.au) or by phone (7109 7018), by cheque payable to the Department of Planning, Transport and Infrastructure and marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Level 5, 50 Flinders Street, Adelaide.
3. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the State Commission Assessment Panel for Land Division Certificate purposes.

The SA Water Corporation will, in due course, correspond directly with the applicant/agent regarding this land division proposal.

**PLEASE UPLOAD THE DECISION NOTIFICATION FORM (VIA EDALA) FOLLOWING COUNCIL'S DECISION.**

Yours faithfully

A handwritten signature in blue ink, appearing to read 'Biljana B.', is located below the 'Yours faithfully' text.

Biljana Prokic  
Land Division Coordinator - Planning Services  
as delegate of  
**STATE COMMISSION ASSESSMENT PANEL**





09 October 2018

Our Ref: H0077462

The Chairman  
State Commission Assessment Panel  
50 Flinders St  
ADELAIDE SA 5000

Dear Sir/Madam

**PROPOSED LAND DIVISION APPLICATION NO: 211/C126/18 AT NORTH PLYMPTON**

In response to the abovementioned proposal, I advise that pursuant to Section 33 of the Development Act it is necessary for the developer to satisfy this Corporation's requirements, which are listed below.

The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.

On receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non standard fees.

The developer must inform potential purchasers of the community lots of the servicing arrangements and seek written agreement prior to settlement, as future alterations would be at full cost to the owner/applicant.

Yours faithfully

Katelyn Launer

**for MANAGER LAND DEVELOPMENT & CONNECTIONS**

SA Water  
Level 6, 250 Victoria Square  
ADELAIDE SA 5000  
Ph (08) 7424 1119  
Inquiries Katelyn Launer  
Telephone 74241119

Contact Planning Services  
Telephone 7109 7018  
Email [didtpjdc@clearanceletters@sa.gov.au](mailto:didtpjdc@clearanceletters@sa.gov.au)



09 October 2018

The Chief Executive Officer  
City of West Torrens

Dear Sir/Madam

**Re: Proposed Application No. 211/C126/18 (ID 63064)  
for Land Division  
(Community Title Plan) by Ms July Walker**

In accordance with Section 33 of the Development Act 1993 and Regulation 29 (1) of the Development Regulations 2008, and further to my advice dated 25 September 2018, I advise that the State Commission Assessment Panel (SCAP) has consulted with SA Water Corporation (only) regarding this land division application. A copy of their response has been uploaded in EDALA for your consideration. The Commission has no further comment to make on this application, however there may be local planning issues which Council should consider prior to making its decision.

I further advise that the State Commission Assessment Panel has the following requirements under Section 33(1)(d) of the Development Act 1993 which must be included as conditions of land division approval on Council's Decision Notification (should such approval be granted).

1. The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.  
On receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non standard fees.  
The developer must inform potential purchasers of the community lots of the servicing arrangements and seek written agreement prior to settlement, as future alterations would be at full cost to the owner/applicant.
2. Payment of \$7253 into the Planning and Development Fund (1 allotment(s) @ \$7253/allotment).  
Payment may be made by credit card via the internet at [www.edala.sa.gov.au](http://www.edala.sa.gov.au) or by phone (7109 7018), by cheque payable to the Department of Planning, Transport and Infrastructure and marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Level 5, 50 Flinders Street, Adelaide.
3. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the State Commission Assessment Panel (SCAP) for Land Division Certificate purposes.

The SA Water Corporation will, in due course, correspond directly with the applicant/agent regarding this land division proposal.

**PURSUANT TO REGULATION 60(4)(b)(ii), SHOULD THIS APPLICATION BE APPROVED, COUNCIL MUST PROVIDE THE STATE COMMISSION ASSESSMENT PANEL WITH:**

- (a) the date on which any existing building(s) on the site were erected (if known),
- (b) the postal address of the site

It is recommended that this information be incorporated into the Decision Notification Form.

**PLEASE UPLOAD THE DECISION NOTIFICATION FORM (VIA EDALA) FOLLOWING COUNCIL'S DECISION.**

Yours faithfully

Yours faithfully

A handwritten signature in blue ink, appearing to read 'Biljana B.'.

Biljana Prokic  
Land Division Coordinator - Planning Services  
as delegate of  
**STATE COMMISSION ASSESSMENT PANEL**

**6.3 16 Coralie Street, PLYMPTON**

Application No 211/19/2018 &amp; 211/1393/2017

**DEVELOPMENT APPLICATION DETAILS**

DEVELOPMENT PROPOSAL	Land Division - Community Title; SCAP No. 211/C207/17 - create four (4) additional allotments and common property	Construct a two storey residential flat building containing 5 dwellings with alfresco
APPLICANT	16 Coralie Pty Ltd	iTHINK Design Studio
APPLICATION NO	211/19/2018	211/1393/2017
LODGEMENT DATE	22 December 2017	20 December 2017
ZONE	Residential Zone	
POLICY AREA	Medium Density Policy Area 18	
APPLICATION TYPE	Merit	Merit
PUBLIC NOTIFICATION	Category 1	Category 2
REFERRALS	External <ul style="list-style-type: none"> <li>SA Water</li> <li>SCAP</li> </ul>	Internal <ul style="list-style-type: none"> <li>City Assets</li> </ul>
DEVELOPMENT PLAN VERSION	19 December 2017	19 December 2017
RECOMMENDATION	Support with conditions	Support with conditions
AUTHOR	Sonia Gallarello	

**RECOMMENDATION 1**

The Council Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent, Land Division Consent and Development Approval for Application No. 211/19/2018 by 16 Coralie Pty Ltd to undertake Land Division - Community Title; SCAP No. 211/C207/17 - to create four (4) additional allotments and common property at 16 Coralie Street, Plympton (CT 5069/197) subject to the following conditions of consent:

**Development Plan Consent Conditions**

1. Development is to take place in accordance with the plans prepared by Bartlett Drafting and Development relating to Development Application No. 211/19/2018 (SCAP 211/C207/17).

*Reason: To ensure the proposal is established in accordance with plans and documents lodged with Council.*

**Land Division Consent Conditions****Council Requirements**

Nil

**SCAP Requirements**

2. The financial requirements of SA Water shall be met for the provision of water supply and sewerage services. (SA Water H0067911).

*Reason: To satisfy the requirements of the SA Water Corporation.*



3. Payment of \$27,320 into the Planning and Development Fund (4 allotments @ \$6830/allotment). Payment may be made by credit card via the internet at [www.edala.sa.gov.au](http://www.edala.sa.gov.au) or by phone (7109 7018), by cheque payable to the State Planning Commission marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001, or in person at Level 5, 50 Flinders Street, Adelaide.

*Reason: To satisfy the requirements of the State Commission Assessment Panel.*

4. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the State Commission Assessment Panel for Land Division Certificate purposes.

*Reason: To satisfy the requirements of the State Commission Assessment Panel.*

## RECOMMENDATION 2

The Council Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/1393/2017 by iTHINK Design Studio to construct a two storey residential flat building containing 5 dwellings with alfresco at 16 Coralie Street, Plympton (CT 5069/197) subject to the following conditions of consent:

### Development Plan Consent Conditions

1. The development shall be undertaken and completed in accordance with the following plans and information (except where varied by any condition(s) listed below):
  - Site plan by iTHINK Design Studio - Project 64.2017, Revision C 19.11.18 PA 1 of 4
  - Elevations and roof plan by iTHINK Design Studio - Project 64.2017, Revision C 19.11.18 PA 2 of 4
  - Driveway perspective by iTHINK Design Studio - Project 64.2017, Date 19.10.2017
  - Coralie Street perspective by iTHINK Design Studio - Project 64.2017, Date 19.10.2017
  - Civil plan by GAMA Consulting, Drawing No. 17435-C01, Revision E.

*Reason: To ensure the proposal is developed in accordance with the plans and documents lodged with Council.*

2. All stormwater design and construction will be in accordance with Australian Standards and recognised engineering best practices to ensure that stormwater does not adversely affect any adjoining property or public road and, for this purpose, stormwater drainage will not at any time:
  - a) Result in the entry of water into a building; or
  - b) Affect the stability of a building; or
  - c) Create unhealthy or dangerous conditions on the site or within the building; or
  - d) Flow or discharge onto the land of an adjoining owner; or
  - e) Flow across footpaths or public ways.

*Reason: To ensure that adequate provision is made for the collection and dispersal of stormwater.*

3. All driveways, parking and manoeuvring areas shall be formed and surfaced with concrete, bitumen or paving, and shall be properly drained and maintained in a reasonable condition at all times to the satisfaction of Council.

*Reason: To ensure the ongoing use and safety of vehicle parking and manoeuvring areas.*

4. All landscaping shown on the plans forming part of this application shall be established prior to the occupation or operation of the development and shall be maintained in good health at all times to the satisfaction of Council. Any plants that become diseased or die shall be replaced with a suitable species.

A watering system shall be installed at the time landscaping is established and operated so that all plants receive sufficient water to ensure their survival and growth.

*Reason: To enhance the amenity of the site and locality and reduce heat loading.*

5. The upper level windows of the dwellings shown on the south, east and north elevations shall be provided with fixed obscure glass to a minimum height of 1.7 metres above the upper floor level to minimise the potential for overlooking of adjoining properties, prior to occupation of the building. The glazing in these windows shall be maintained in a reasonable condition at all times to the satisfaction of Council.

*Reason: To maintain the level of privacy to residents of adjoining dwellings.*

## BACKGROUND

The applications were presented to the Council Assessment Panel (CAP) at its meeting of 13 November 2018.

The CAP resolved to defer the applications for the following reasons:

### DA 211/19/2018

- minimum allotment areas

### DA 211/1393/2017

- rear setbacks;
- private open space provision (particularly minimum dimensions);
- landscaping;
- storage;
- colour scheme;
- bin storage.

In response, the applicant has submitted amended plans, a copy of which is contained in **Attachment 1**.

The original assessment report and associated plans and information are contained in **Attachment 2**.

## AMENDED PROPOSAL

### DA 211/19/2018

No changes have been made to the allotment areas, which remain as per the following table:

Allotment	Allotment area	Allotment frontage
1	166m <sup>2</sup>	7.9m
2	128m <sup>2</sup>	N/A
3	128m <sup>2</sup>	N/A
4	128m <sup>2</sup>	N/A
5	180m <sup>2</sup>	N/A
Common property	224m <sup>2</sup>	10.6m

**DA 211/1393/2017**

The amended plans incorporate a number of minor changes to address the reasons for deferral as discussed below.

***Rear setbacks***

The rear setback of the whole building to the alfresco area of dwelling 5 has been increased by 0.5 metres (m) from 1.2m to 1.7m.

The rear setback of each dwelling has not been amended - these setbacks remain at 1.1m.

***Private open space provision (particularly minimum dimensions)***

The provision of private open space has been increased to achieve a minimum depth of 3.9m with the areas ranging in size from 30.2 square metres (m<sup>2</sup>) to 56.6m<sup>2</sup>. This has been achieved through an increased separation (of 200mm) between the garage of each dwelling and the fence.

***Landscaping***

Additional landscaping has been provided throughout the development including a number of ornamental pears along the driveway. The landscaped strip along the driveway remains at 0.3m wide, but the density of this landscaping has increased with a greater variety of planting now evident (including the ornamental pears). A greater density and variety of landscaping is now evident across the rest of the development, including the visitor parking space at the front of the site and along the northern boundary (the landscaping here now has an increased length along the fence line). Two full moon maple trees have been introduced, one at the front and one at the rear of the site. The grasscrete remains within the driveway.

The landscaping consists of grass, grasscrete, ornamental pear trees, full moon maple trees, pink crowea, camellias, dwarf abelias, French lavender, Mexican orange blossom, Japanese box hedge, flax, liriopse, ground covers consisting of mauve fan flower, native violet, star jasmine.

***Storage***

Storage areas of between 8.7 cubic metres (m<sup>3</sup>) and 9.6m<sup>3</sup> are provided for each dwelling. These areas have changed from a drop down store area within each garage and upper level storage space within each dwelling to:

- for dwellings 1 and 5, a 108m x 1.8m high garden shed and an upper level linen cupboard;
- for dwellings 2 - 4 (middle dwellings), a nominated storage space on the upper level.

Laundry areas are also nominated for dwellings 2 to 5.

The storage areas meet the Development Plan requirement of 8m<sup>3</sup> but are also in more practical locations.

***Colour scheme***

A detailed palette of materials and colours is provided together with 3D drawings (refer **Attachment 1**).

***Bin storage***

Bin storage areas for each dwelling are now shown on the plans which are located in the rear yards.

**REFERRALS**

Advice was received from Council's City Assets department that the amended plans do not change the considerations for stormwater management and traffic manoeuvrability which are considered to be satisfactory.



**QUANTITATIVE STANDARDS**

The amended aspects of the development are summarised (quantitatively) in the table below:

<b>DEVELOPMENT PLAN PROVISIONS</b>	<b>STANDARD</b>	<b>ASSESSMENT</b>
SITE COVERAGE <i>Medium Density Policy Area 18</i> <i>PDC 5</i>	70% (maximum)	Amended from 52% to 51%  <b>Satisfies</b>
REAR SETBACK (complete building) <i>Medium Density Policy Area 18</i> <i>PDC 5</i>	4m (minimum)	1.7m  <b>Does not Satisfy</b>
REAR SETBACK (dwellings) <i>Medium Density Policy Area 18</i> <i>PDC 5</i>	4m (minimum)	<u>Alfresco not under main roof</u> 1.1m  <u>Main roof (garage wall)</u> 2.9m  <b>Does not Satisfy</b>
SIDE SETBACKS <i>Residential Zone</i> <i>PDCs 11 &amp; 13</i>	1m (minimum where vertical side wall is 3m or less)  2m (minimum where vertical side wall is between 3 - 6m)	<u>Ground floor</u> 1.7m (dwelling 5)  <u>Upper floor</u> 2.0m (dwelling 5)  NB dwellings 1-5 share party walls at ground and upper floor levels.  <b>Satisfies</b>
STORAGE <i>Residential Development</i> <i>PDC 31</i>	8m <sup>3</sup> (minimum)	9.0m <sup>3</sup> (dwelling 1) 9.6m <sup>3</sup> (dwellings 2-4) 8.7m <sup>3</sup> (dwelling 5)  <b>Satisfies</b>
LANDSCAPING <i>Landscaping, Fences and Walls</i> <i>PDC 4</i>	10% (minimum)	16.2%  <b>Satisfies</b>

<b>PRIVATE OPEN SPACE</b> <i>Residential Development</i> <b>PDC 9</b>	<u><b>Lots&lt;300m<sup>2</sup></b></u> <b>24m<sup>2</sup> (minimum)</b> <b>3m (minimum dimension)</b>	<u><b>Dwelling 1</b></u> <b>56.6m<sup>2</sup> (total)</b> <b>2.9m (dimension)</b>  <u><b>Dwelling 2</b></u> <b>30.3m<sup>2</sup> (total)</b> <b>2.9m (dimension)</b>  <u><b>Dwelling 3</b></u> <b>30.2m<sup>2</sup> (total)</b> <b>2.9m (dimension)</b>  <u><b>Dwelling 4</b></u> <b>30.3m<sup>2</sup> (total)</b> <b>2.9m (dimension)</b>  <u><b>Dwelling 5</b></u> <b>48.0m<sup>2</sup> (total)</b> <b>2.0m (dimension)</b>  <b>Does not Satisfy</b>
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## ASSESSMENT

The discussion below relates only to the amended aspects of the proposal, otherwise the assessment as previously tabled remains the same.

### Rear setbacks

The amended plans provide for a 0.5m increase in the rear setback of the complete building, which allows for some additional plantings within the landscape area between the rear of the building and the rear fence. This will also allow for a marginally increased sense of space for residents.

There is also a small increase of the rear setbacks of each dwelling where the garages are setback a further 200mm from the rear fence line. This also adds a little to the private open space areas of the individual dwellings.

While the development does not achieve the 4m minimum setback (for the complete building or individual dwellings) stipulated in PDC 5 of Medium Density Policy Area 18, this is not considered fatal to the application given the separation distance between the proposed development and adjacent built form and the landscaping treatment in-between.

### Private open space provision (particularly minimum dimensions)

The private open space areas comply with the Development Plan requirement for small allotment sizes by achieving a minimum of 24m<sup>2</sup>. These areas have been slightly increased with the amended plan. The minimum dimension of the private open space areas, which was of more concern to the CAP at its previous meeting, has been increased, but remains 0.1m short of the minimum requirement of 3m (PDC 9 of General Section - Residential Development). This minor shortfall is considered to be of little consequence and is not considered to negatively impact on the development as there are wider spaces of private open space provided for each dwelling, particularly within the alfresco areas.

## Landscaping

The amended plans provide for a slight increase in landscaping to 16.2% (not including grasscrete) of the site, therefore meeting PDC 4 of the Landscaping, Fences and Walls module. This is largely due to the changes in setbacks around the curtilage of the residential flat building. However more importantly, the density and variety of the landscaping has been improved both along the driveway strip and to the rear of the building, including the planting of two full moon maple trees and ornamental pears. This will assist in softening the built form, reducing the heat island effect created by the built form while providing increased amenity for the occupants of the dwellings and adjacent residents.

## Storage

The domestic storage of chattels and goods for the proposal was previously numerically satisfied when assessed against PDC 31 of the Residential Development module. The amended proposal provides for the following storage areas:

STORE DETAILS	
DWELLING 1- UPSTAIRS LINEN, OUTDOOR SHED	9.04M <sup>3</sup>
DWELLING 2-LAUNDRY LINEN, UPSTAIRS STORE	9.59M <sup>3</sup>
DWELLING 3-LAUNDRY LINEN, UPSTAIRS STORE	9.59M <sup>3</sup>
DWELLING 4-LAUNDRY LINEN, UPSTAIRS STORE	9.59M <sup>3</sup>
DWELLING 5-LDRY & UPSTAIRS LINEN, SHED	8.70M <sup>3</sup>

Each of the dwellings provide 8m<sup>3</sup> of storage space in practical locations for the occupants. This is an improved outcome compared to the previously presented plans.

## Colour scheme

Increased detail has been provided in relation to the proposed colour scheme (with the provision of perspectives from the driveway and Coralie Street). The development provides an interesting mix of materials including brick, scyon matrix cladding and scyon axon cladding as follows:

EXTERNAL MATERIAL SELECTION:		
ITEM:	TYPE:	COLOUR:
FLASHING	COLORBOND	MONUMENT
ROOF	TRIMDEK ROOF OR SIMILAR	SURFIST
RENDER	ACRYLIC TEXTURE 3 COAT SYSTEM	MASON GREY
		SILVER TEA SET
BRICKS	PGH - BRICK BOND	TRIBECA
MORTAR	SAND - RAKED JOINT	BRIGHTON LITE
WINDOWS	POWDERCOATED ALUMINIUM	NIGHT SKY
DOORS (SLIDING)	POWDERCOATED ALUMINIUM	NIGHT SKY
DOORS (SWING)	MERANTI FRAME- DULUX PAINT FINISH	DARK METAL
ROLLER DOOR	COLORBOND - SMOOTH	SURFIST
DOWNPIPES/RAIN HEAD	PAINTED PVC - DULUX	MONUMENT
JAMES HARDIE	SCYON MATRIX CLADDING	VIVID WHITE (1)
		DARK METAL (2)
	SCYON AXON CLADDING	MONUMENT



The inclusion of the PGH Tribeca bricks add interest to the south, west and east elevations and, together with a pleasant but fairly neutral colour selection, result in a development that is consistent with PDCs 4 and 5 of the Residential Development module.

**Bin storage**

The amended plans demonstrate adequate provision for three wheelie bins within each of the private open space areas of each dwelling. The areas allocated to bin storage are located behind the garage wall of each dwelling and therefore do not intrude on the private open space of each dwelling.

**SUMMARY**

The amendments to the proposal are minor, but provide for a development that is more closely aligned to the requirements of the Development Plan, albeit with some minor shortfalls. Overall the proposed development provides for a medium density development in a medium density policy area that meets the majority of the quantitative provisions. Some effort has also been made to address the deferral matters, particularly in respect to landscaping and setbacks.

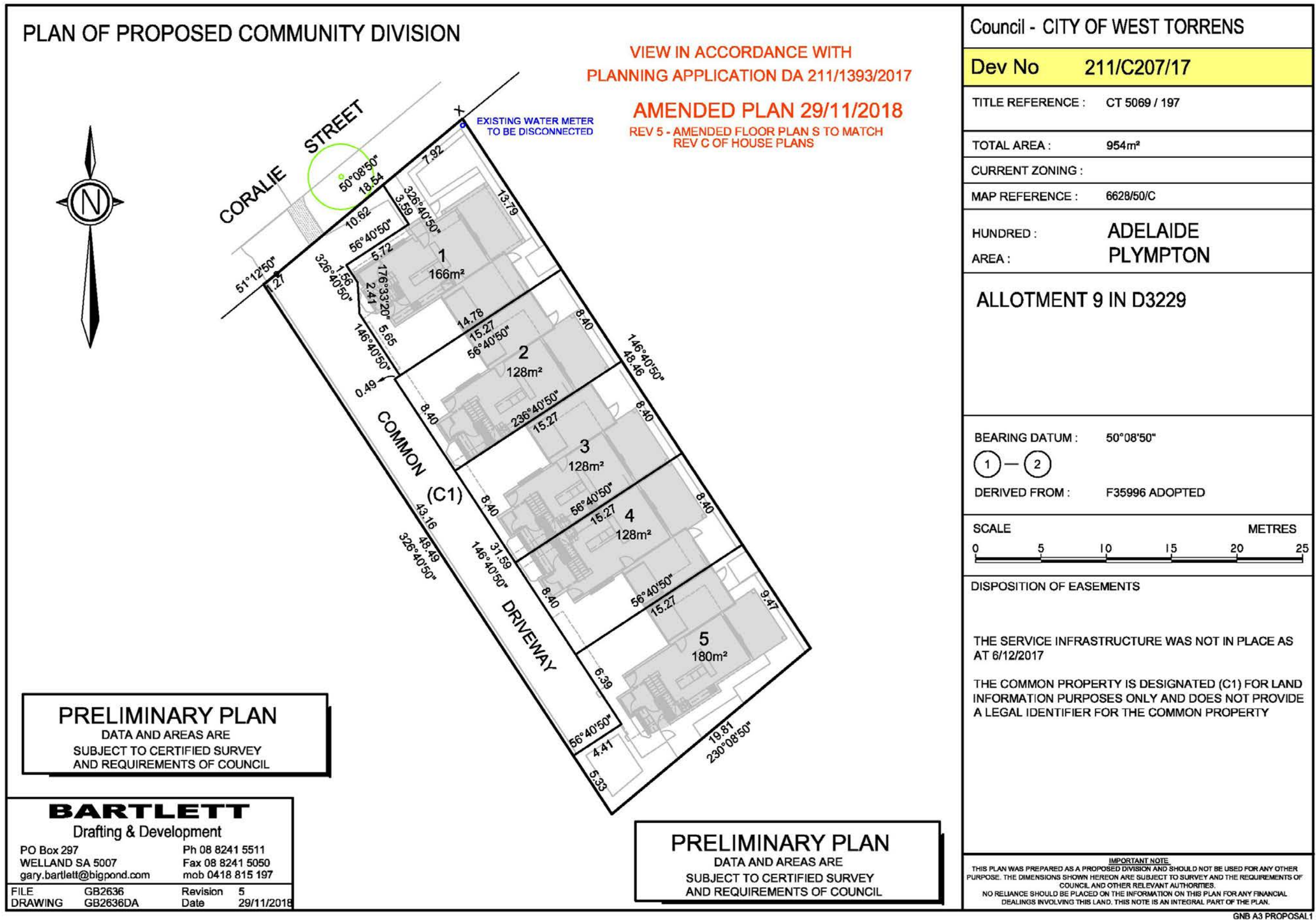
The landscaping in this development has been improved in terms of quality which contributes to offsetting the impacts of the built form. This results in a development that provides a reasonable level of amenity for occupants of both the proposed development and adjacent development within the immediate locality.

Having considered all the relevant Objectives and Principles of the Development Plan, the proposed developments are not considered to be seriously at variance with the Development Plan.

On balance the proposed developments sufficiently accord with the relevant provisions contained within the West Torrens Council Development Plan consolidated 19 December 2017 and warrant Development Plan Consent, Land Division Consent and Development Approval.

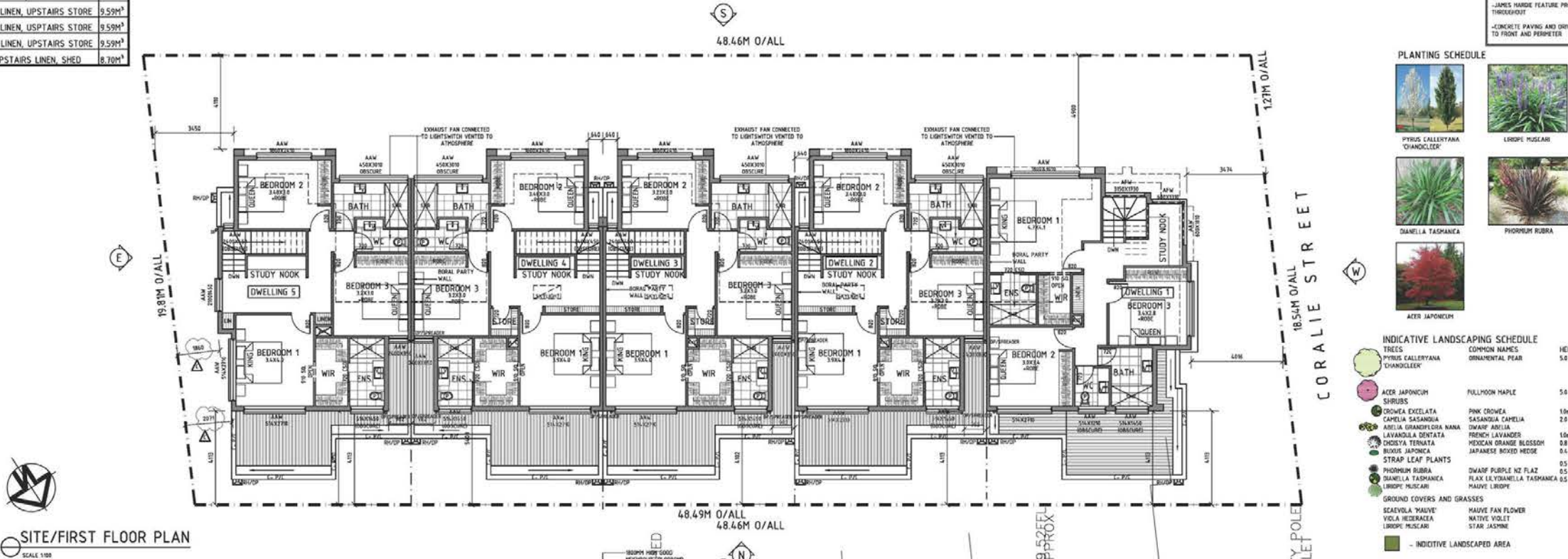
**Attachments**

1. **Amended proposal plans and details**
2. **CAP agenda report dated 13 November 2018**





STORE DETAILS	
DWELLING 1-UPSTAIRS LINEN, OUTDOOR SHED	9.04M <sup>2</sup>
DWELLING 2-LAUNDRY LINEN, UPSTAIRS STORE	9.59M <sup>2</sup>
DWELLING 3-LAUNDRY LINEN, UPSTAIRS STORE	9.59M <sup>2</sup>
DWELLING 4-LAUNDRY LINEN, UPSTAIRS STORE	9.59M <sup>2</sup>
DWELLING 5-LORY & UPSTAIRS LINEN, SHED	8.70M <sup>2</sup>



<b>SITE DRAINAGE:</b> NOTE: REFER TO ENGINEER'S DETAILS AND DOCUMENTATION FOR ALL SITEWORKS, DRAINAGE AND ALL LEVEL DESIGN.	<b>CONSTRUCTION MATERIALS:</b> -POWER PANEL CONSTRUCTION TO UPPER LEVEL -TERRACE ROOF ON 2" FALL -ALUMINUM WINDOWS & DOORS -JAMES HARDIE FEATURE PRODUCTS THROUGHOUT -CONCRETE PAVING AND DRIVEWAY TO FRONT AND PERIMETER	<b>RAIN WATER TANK:</b> THE REQUIRED RAINWATER TANK FOR 600 LITRES COLLECTING A MINIMUM OF 50 M <sup>2</sup> OF ROOF CATCHMENT AREA AND PLUMBED TO A WATER CLOSET, WATER HEATER OR LAUNDRY COLD WATER OUTLETS. THE TANK MUST ALSO BE FITTED WITH MOSQUITO PROOF, NON DE-DRINKABLE SCREENS, FORMED FROM NOT LESS THAN 300MM DIAMETER MATERIAL AND HAVE A MINIMUM OF 6 X 3 SPINDLES PER CM <sup>2</sup> IN THE EVENT THAT THE TANK IS TO BE SUPPORTED ON A STAND. THE STAND SHALL BE DESIGNED TO BE ABLE TO ACCOMMODATE THE PROPOSED DEAD LOADS, WIND LOADS AND WHERE APPLICABLE THE EARTHQUAKE LOADS AS REQUIRED BY CLAUSE 3.1.2 OF THE NCC (APPLICABLE AS OF JULY 1ST 2004 NCC 2.4.2).
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PLANTING SCHEDULE	
	PYRUS CALLERYANA 'CHANDLER'
	LIRIODENDRON MUSCARI
	DIANELLA TASMANICA
	PHORMIUM RUBRA
	ACER JAPONICUM

INDICATIVE LANDSCAPING SCHEDULE	
TREES	COMMON NAMES
● PYRUS CALLERYANA 'CHANDLER'	ORNAMENTAL PEAR
● ACER JAPONICUM	FULLMOON MAPLE
● CROWEA EXCELSA	PINK CROWEA
● ARTELIA GRANDELOIA NANA	SASANGUA CAPELIA
● LAVANDULA DENTATA	DWARF ARTELIA
● CHOCYIA TERNATA	FRENCH LAVANDER
● BUDROS JAPONICA	MEXICAN ORANGE BLOSSOM
● STRAP LEAF PLANTS	JAPANESE BOXED HEDGE
● PHORMIUM RUBRA	DWARF PURPLE NZ FLAX
● DIANELLA TASMANICA	FLAX LA YDIANELLA TASMANICA
● LIRIODENDRON MUSCARI	MAUIE FAN FLOWER
● SCAEVOLA 'MAUIE'	NATIVE VIOLET
● VIOLA HEDERAGRA	STAR JASMINE
● LIRIODENDRON MUSCARI	STAR JASMINE

AREAS: DWELLING 1	
L/LIVING	47.09
U/LIVING	80.83
GARAGE	20.46
PORCH	16.2
ALFRESCO	16.45
TOTAL	166.45 SQ.M.
POS:	56.58 SQ.M.

AREAS: DWELLING 2,4	
L/LIVING	49.65
U/LIVING	80.91
GARAGE	20.46
ALFRESCO	15.06
TOTAL	166.08 SQ.M.
D2-POS:	30.29 SQ.M.
D4-POS:	30.29 SQ.M.

AREAS: DWELLING 3	
L/LIVING	47.21
U/LIVING	80.63
GARAGE	21.96
ALFRESCO	16.31
TOTAL	166.11 SQ.M.
D3-POS:	30.15 SQ.M.

AREAS: DWELLING 5	
L/LIVING	48.29
U/LIVING	79.24
GARAGE	20.46
ALFRESCO	13.44
TOTAL	161.43 SQ.M.
D5-POS:	35.66 SQ.M.

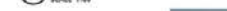
PRELIMINARY	
DATE:	19/10/2017

REVISIONS	
DATE	REV
20.02.18	A
08.05.18	B
19.11.18	C

DATE:	19/10/2017
REV:	PA. 01 OF 04
PROJECT:	RESIDENTIAL
TYPE:	RESIDENTIAL
SCALE:	1:100
DATE:	19/10/2017
REV:	PA. 01 OF 04
PROJECT:	RESIDENTIAL
TYPE:	RESIDENTIAL
SCALE:	1:100
DATE:	19/10/2017
REV:	PA. 01 OF 04
PROJECT:	RESIDENTIAL
TYPE:	RESIDENTIAL
SCALE:	1:100

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DATE:	19/10/2017
REV:	PA. 01 OF 04
PROJECT:	RESIDENTIAL
TYPE:	RESIDENTIAL
SCALE:	1:100
DATE:	19/10/2017
REV:	PA. 01 OF 04
PROJECT:	RESIDENTIAL
TYPE:	RESIDENTIAL
SCALE:	1:100





**LEGEND:**

- DP UNPOLLICED WELDER OR QUALIFIED FITTER MAY COLORBOND FORMER - OVER FLOW PRODUCE
- DP UNPOLLICED WELDER OR QUALIFIED FITTER MAY COLORBOND FORMER - OVER FLOW PRODUCE
- B/S 1/4" WIDE X 1/2" DEEP
- CS CONCENTRIC BUTTERS, WITH 120 DEGREE FILL; ARROWS INDICATE DIRECTION OF FILL
- SUPP TANGLED SCRAP WITH DRAINAGE AND OVERFLOW PROVISIONS
- RVC RISER CAPS AS REQUIRED
- C-PVC COLORBOND PARAPET CAPING

THE TENDENCY OF SLAGS SETTING AT T-P ROOF RISE, ARROWS INDICATE DIRECTION OF FILL. STOP

PROTECT SLAGS AND ADEQUATELY JUNT ALL PENETRATIONS AND JOINTS.

ROOF ROOF, FLASHINGS AND FITTINGS IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND DETAIL TO DESIGN A HEAT WEATHER TIGHT ROOF.

ROOF ROOF, FLASHINGS AND FITTINGS IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND DETAIL TO DESIGN A HEAT WEATHER TIGHT ROOF.

ALL EXTERNAL, EXPOSED FLASHINGS TO HAVE A COLORBOND FINISH.

CO-ORDINATE INSTALLATION OF ROOF FLASHINGS TO BE COMPLETED TO ALLOW FOR ANY PENETRATIONS.

REFER TO ENGINEERS DETAILS FOR ALL SPECIFIC CALCULATIONS AND SP. LOADS.

**PRELIMINARY**

DATED: 19/10/2017

REVISIONS			
DATE	REV	DESCRIPTION	BY
28.02.18	A	COUNCIL RIFS	AA
08.05.18	B	PIRAN DEVELOPMENT	AA
19.11.18	C	KAP MEETING CHANGES	AA

FOR PLANNING APPROVAL ONLY



THINK  
DESIGN STUDIO

**DESIGN GUIDELINE FOR THE SQUARE**

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SA, 5070  
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W: [www.thinkdesignstudio.com.au](http://www.thinkdesignstudio.com.au)

**PROPOSED RESIDENTIAL DEVELOPMENT**

CLUST NAME:

**URBAN CONCEPT**

ADDRESS:  
16 CORALIE STREET  
PLYMPTON

CITY/STATE/ZONE:  
CITY OF WEST TORRENS

DATE: 30/9/2017	SHEET NO: PA. 02 OF 04
DATE: 6-2-2017	1/10 RESIDENTIAL

DATE: 10/02/2017  
TIME: 11:00  
BY: JACOB  
PROJECT: 16 CORALIE STREET  
1/10  
RESIDENTIAL

ALL DIMENSIONS ARE TO FACE UNLESS STATED  
TO INTERPRET AND TO BE CHECKED

PLEASE INDICATE: TIME PERMITTED FOR CONSTRUCTION  
CONSTRUCTION: 12 MONTHS FROM DATE OF APPROVAL

DISCLAIMER: THIS DOCUMENT IS FOR THE PROJECT ONLY  
SUBJECT MATTER MAY BE REPRODUCED TO OTHERS AT OWNERS RISK



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DRIVEWAY PERSPECTIVE  
N.T.S

W:\PRIVATE-2017\64.2017\_URBAN CONCEPT-PLYMPTON\PA\64.2017\_URBAN CONCEPT-PLYMPTON-PA-REV C.DWG

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DESIGN OUTSIDE THE SQUARE

35 Portrush Road, Payneham SA, 5070 P. 08 7078 4070 M. +61 0403 537 500 E. hello@ithinkdesignstudio.com.au W. www.ithinkdesignstudio.com.au			
PROPOSED RESIDENTIAL DEVELOPMENT			
CLIENT NAME:			
URBAN CONCEPT			
ADDRESS:			
16 CORALIE STREET			
SUBURB:			
PLYMPTON			
COUNCIL ZONE:			
CITY OF WEST TORRENS			
DATE:	SHEET NO:		
19/10/2017	PA 03 OF 04		
PROJECT:	TYPE:		
64.2017	RESIDENTIAL		
PAGE SIZE:	SCALE:	DESIGNED BY:	DRAWN:
A1		ADAM ALBANESE	AA
-ALL DIMENSIONS AND LEVELS TO BE CONFIRMED PRIOR TO COMMENCING ANY WORK.			
-FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS			
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 CORALIE STREET PERSPECTIVE  
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19/10/2017	PA 03 OF 04		
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64.2017	RESIDENTIAL		
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-DISCREPANCY SHALL BE REPORTED TO ITHINK DS IMMEDIATELY.			
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 **GAMA**  
CONSULTING

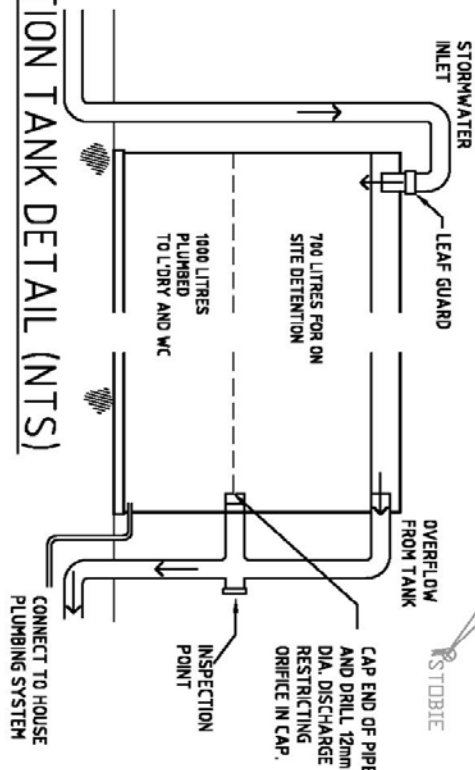
o: Suite 7, No. 128 Fulkton Rd,  
Nowood SA 5067  
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engineers and project management

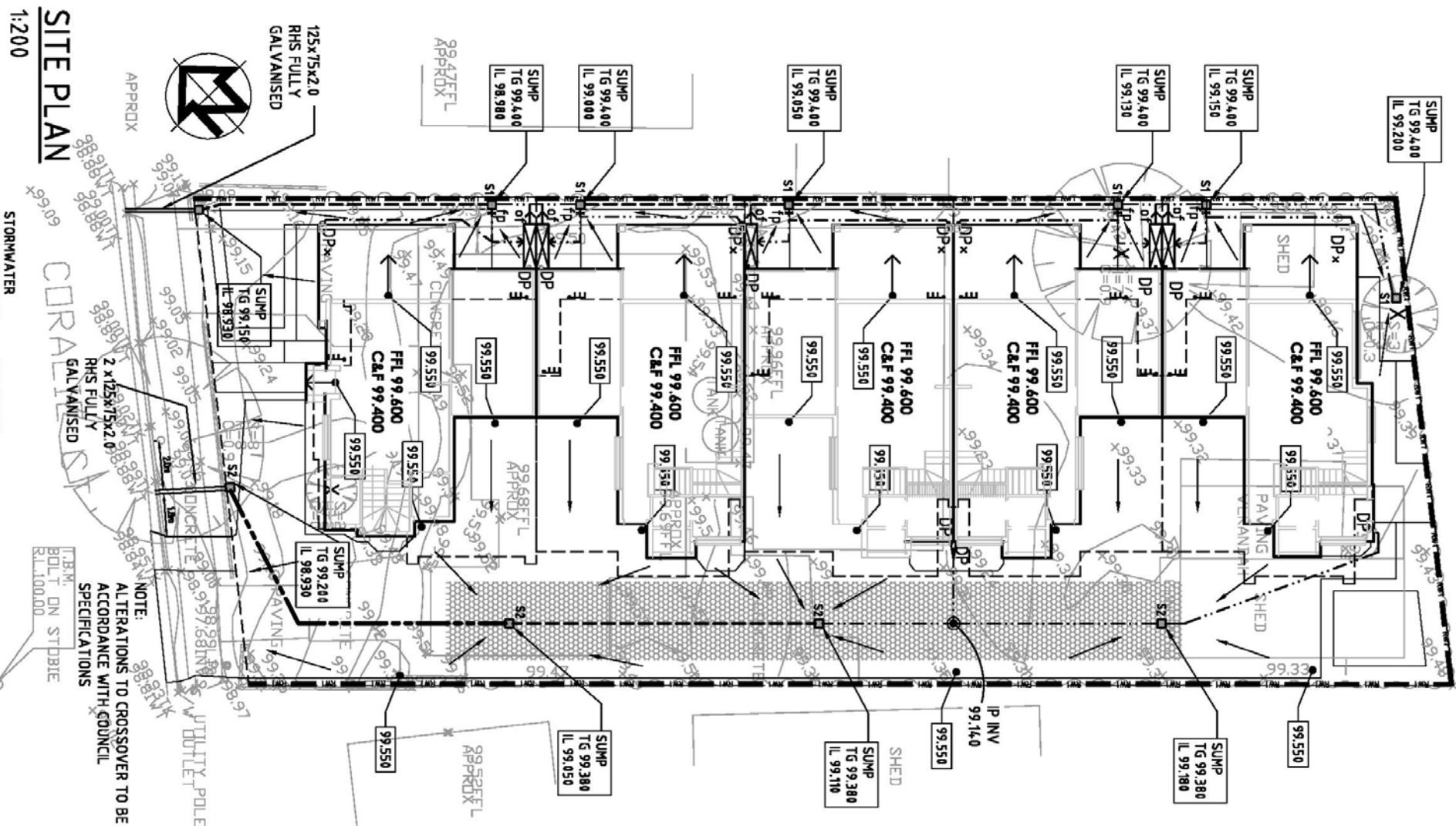
PROJECT	PROPOSED DEVELOPMENT 16 CORALIE STREET, PLYMPTON, SA
CLIENT	UNITY GROUP

E	RE-ISSUE FOR PLANNING APPROVAL	29/11/2018	CZ
D	RE-ISSUE FOR PLANNING APPROVAL	16/10/2018	CZ
C	RE-ISSUE FOR PLANNING APPROVAL	15/06/2018	MM
B	RE-ISSUE FOR PLANNING APPROVAL	05/03/2018	MM
A	ISSUE FOR PLANNING APPROVAL	10/11/2017	MM
REV	DESCRIPTION	DATE	CHECKED
STATUS		DRAWN C/MC/D/PC	DESIGN MM
COUNCIL	CITY OF WEST TORRENS	DWAT CHECK CZ	DESIGN CHECK MM/CZ
DESCRIPTION	SITE PLAN	DRAWING No.	17435-C01
		SHEET SIZE	A3
		REVISION	E

DETENTION TANK DETAIL (NTS)



## SITE PLAN




## GENERAL NOTES

1. THIS IS AN ENGINEERING SURVEY PLAN, AND SHOULD NOT BE TAKEN AS A CADASTRAL OR IDENTIFICATION SURVEY. BOUNDARY DATA SHOWN IS TO BE TAKEN AS A GUIDE ONLY.
2. SURVEYED BY RAPID SURVEYS PTY LTD.
3. ALL SITE LEVELS AND DETAILS MUST BE CHECKED AND APPROVED BY THE OWNER/BUILDER PRIOR TO COMMENCEMENT OF ANY WORK.
4. INSTALLATION OF STORMWATER SYSTEMS TO COMPLY WITH ASS500.5 'NATIONAL PLUMBING AND DRAINAGE CODE'.
5. REFER TO ARCHITECTURAL SITE PLAN FOR SET OUT DIMENSIONS.
6. THE FINISHED GROUND LEVEL ADJACENT TO EXTERNAL FOOTING SHALL BE SET DOWN TO SUIT REQUIRED PAVING LEVELS AND FALLS. REFER TO ENGINEERING REPORT FOR PAVING DETAILS.
7. COVER TO PIPES SHALL COMPLY WITH AS 3500.5, PIPES LESS THAN 200mm BELOW THE FINISHED SURFACE UNDER THE DRIVEWAYS SHALL BE ENCASED IN 100mm OF CONCRETE.
8. PROVIDE SUITABLE PROPRIETARY FIRST FLUSH SYSTEM TO RAINWATER TANK INLETS, INCLUDING LEAF SCREENS ETC.
9. THE STORMWATER DRAINAGE SYSTEM SHALL BE INSTALLED AS SHOWN, ALTERATIONS TO THE SYSTEM MUST BE APPROVED BY THIS OFFICE TO ENSURE THAT THE INTEGRITY OF THE DESIGN IS MAINTAINED.
10. SITE CLASSIFICATION TO AS2870-2011 : CLASS P
11. TREE REMOVAL TO BE CONFIRMED WITH OWNER PRIOR TO COMMENCEMENT OF ANY WORK ON SITE ANY CHANGES TO THE EXTENT SHOWN ON THIS DRAWING MUST BE CONFIRMED WITH THIS OFFICE

### LEGEND

- |       |                        |   |
|-------|------------------------|---|
| DN90  | DOWNPIPES              | DOWNPIPES DRAINING INTO THE RAINWATER TANKS (SHOWN DP-1) SHALL BE SEALED TO THE UNDERGROUND STORMWATER SYSTEM GRADE ALI SEALED SYSTEM STORMWATER TO FLUSH POINT |
| DN100 | DOWNPIPE WITH SPREADER |   |
| DN150 |                        |   |

- |   |  |
|---|--|
| 051   | 300 SQ. SUMP (CLASS A GRATED COVER)  |
| 052   | 450 SQ. SUMP<br>(CLASS B GRATED COVER, U.N.O)  |
|  | RAINWATER RETENTION/DETENTION<br>TANKS (700 LITRES MIN. CAPACITY)<br>WITH 700 LITRES DESIGNATED FOR ON<br>SITE DETENTION. (REFER DETAIL) |
| X   | REMOVE EXISTING TREE   |

- 
- The diagram illustrates a cross-section of a finished design level. At the top, a horizontal line represents the 'FINISHED DESIGN LEVEL' with a callout box containing '100.000'. Below this, a vertical line indicates the 'RETAINING WALL/CONCRETE PLINTH (0.2m MAX. HEIGHT) BY OWNER'. To the right of the wall, a circle with a dot represents the 'INSPECTION POINT'. A downward arrow indicates the 'SURFACE FALL'. At the bottom, a cross-hatched area represents 'PERMEABLE PAVING'. A callout box for the paving contains the text: 'DESIGN LEVEL, TG-TOP OF GRATE IL-INVERT LEVEL'. On the left, a vertical line with a break symbol (two parallel lines at an angle) indicates the 'OVERFLOW AND RESTRICTED DISCHARGE ORIFICE'.

## 6 REPORTS OF THE ASSESSMENT MANAGER

### 6.1 16 Coralie Street, PLYMPTON

Application No 211/19/2018 & 211/1393/2017

Appearing before the Panel regarding will be:

Representors: **Claire McCaffrey** on behalf of **Merilyn and Thurston Salisbury** and **Noel McCaffrey** wishes to appear in support of the representation.

Applicant: **Adam Albanese** of I Think Design and **Bill Stefanopoulos** wish to appear to respond to the representation.

The above representation was received in response to the second round of public notification. This was required following an amended design detailed below.

During the first round of public notification, five (5) representations (including one from the representors named above) were received. The four other representors did not lodge a representation during the second round of public notification.

### DEVELOPMENT APPLICATION DETAILS

DEVELOPMENT PROPOSAL	Community Title Land Division to create 4 additional allotments and common property	Construct a two storey residential flat building containing 5 dwellings with alfresco
APPLICANT	16 Coralie Pty Ltd	I Think Design Studio
APPLICATION NO	211/19/2018	211/1393/2017
LODGEMENT DATE	22 December 2017	20 December 2017
ZONE	Residential Zone	
POLICY AREA	Medium Density Policy Area 18	
APPLICATION TYPE	Merit	Merit
PUBLIC NOTIFICATION	Category 1	Category 2
REFERRALS	External <ul style="list-style-type: none"> <li>SA Water</li> <li>DAC</li> </ul>	Internal <ul style="list-style-type: none"> <li>City Assets</li> <li>City Operations</li> </ul>
DEVELOPMENT PLAN VERSION	19 December 2017	19 December 2017
RECOMMENDATION	Support with conditions	Support with conditions

### BACKGROUND

The development proposal is presented to the Council Assessment Panel (CAP) for the following reasons:

- With regard to residential development and land division applications, where all proposed allotments and or sites fail to meet, nor are within 5% of, the minimum frontage widths and site areas designated in respective zones and policy areas within the West Torrens Council Development Plan;
- All Category 2 or 3 applications where a representor has requested to be heard shall be assessed and determined by the CAP.

## **SITE AND LOCALITY**

The subject site is regular in shape and located on the south-eastern side of Coralie Street. It is formally known as allotment 9 in Deposited Plan 3229, in the area named Plympton, Hundred of Adelaide, more commonly known as 16 Coralie Street, Plympton.

With a primary frontage of 18.5 metres (m) and a depth of 48.5m (average), the overall site area is 954 square metres (m<sup>2</sup>). The site currently contains a single storey detached dwelling and two domestic outbuildings. These structures will need to be removed in order to facilitate the proposed development.

The allotment currently has two single width crossovers located at the north-eastern and south-western sides of the allotment which will need to be altered to facilitate the proposed development.

The site or adjacent sites do not contain any regulated or significant trees that are affected by the proposed development.

The locality is residential in nature comprised of a mixture of dwelling types as a result of recent medium density development. Dwelling types include detached dwellings, group dwellings and residential flat buildings. Such variety in housing type is common in an area that has been rezoned in order to facilitate a higher density of residential development.

The closest open space, St Georges Avenue Reserve, is located some 220m from the subject site.

The site is in close proximity to Anzac Highway and the Glenelg tram corridor (both high frequency public transport routes) and is parallel to Glengyle Terrace.

The site and locality are not impacted by development constraints such as flooding or aircraft noise.

The subject site and locality are shown in the following figure, aerial image and locality plan.





Figure 1: The subject site











## PROPOSAL

The proposals are best described as follows:

### 211/19/2018

The land division application seeks to divide a single allotment into five residential allotments and associated common property. The residential allotments will have areas of 166m<sup>2</sup>, 128m<sup>2</sup>, 128m<sup>2</sup>, 128m<sup>2</sup> and 180m<sup>2</sup> respectively. The common property will have an area of 224m<sup>2</sup> and will provide driveway access to each site.

### 211/1393/2017

The built form application seeks to construct a two storey residential flat building comprising five (5) dwellings. In line with recently obtained legal advice, the average site area has been calculated to include the common property (i.e. total site area divided by the number of allotment parcels).

This method of calculation represents a change from previous assessments of site area for residential flat buildings and group dwellings brought before the CAP. Legal advice from Kelledy Jones was obtained in the aftermath of a recent judgment in the Environment, Resources and Development (ERD) Court [2018] SAERDC 37 *Gregory & Anor v City of Charles Sturt & Anor*. This judgment confirms that the calculation of 'average' (as opposed to 'minimum') site areas should include driveway areas given that these areas provide exclusive access to the site of the dwelling. The advice from Kelledy Jones states:

*[T]he term "average" is rendered largely meaningless if the driveway is not included in the calculation. As was noted in the Gregory judgment, the term "average" must have a meaning and a purpose, and the only possible meaning or purpose (applying the principles of Development Plan Interpretation) could be to allow the inclusion of common areas in the calculation.*

In line with this advice, the average site area for the proposed dwellings has been calculated as 190.8m<sup>2</sup>.

Each of the dwellings within the residential flat building will contain the following:

- three bedrooms;
- open plan kitchen, living and dining area;
- study nook;
- laundry;
- two bathrooms;
- single garage; and
- alfresco area.

The residential flat building has a contemporary form with a flat roof pitch and protruding surrounds to the upper level windows facing the driveway. The dwellings contain a mix of materials including brick, scyon, axon and matrix cladding, painted acrylic render and cedar entrance doors.

Each dwelling has provision for a single visitor car park to be located in front of the single garage. One additional visitor space is proposed at the front of the development site, forward of dwelling 1. Landscaping is provided along the south-western boundary and the front of the site, common garden area in the south-western corner of the site and along the rear boundary. The private rear yards have garden beds adjacent the alfresco areas with pockets of garden to the front of dwellings 1-5.

A copy of the plans is contained within **Attachment 1**.

## PUBLIC NOTIFICATION

DA 211/1393/2017 (the built form) is a Category 2 form of development pursuant to Schedule 9, Part 2 (18)(b) of the *Development Regulations 2008*.

<b>Properties notified:</b>	23 properties were notified during the public notification process.
<b>Representations:</b>	One (1) representation was received.
<b>Persons wishing to be heard:</b>	One (1) representor identified that they wish to address the Panel. <ul style="list-style-type: none"> <li>Merilyn Grace Salisbury and David John Salisbury</li> </ul>
<b>Summary of Representations:</b>	Concerns were raised regarding the following matters; <ul style="list-style-type: none"> <li>Impact on services;</li> <li>Increased population;</li> <li>Parking and traffic problems;</li> <li>Poor air quality;</li> <li>Devaluation of property;</li> <li>Building materials not sympathetic to older properties in area.</li> </ul>
<b>Applicant's response:</b>	<ul style="list-style-type: none"> <li>Impact on power, water and effect on land value are not planning concerns;</li> <li>The proposal satisfies medium density provisions within the Development Plan (PDC 4);</li> <li>The locality is transitioning to medium density in accordance with the desired density provisions;</li> <li>The Development Plan requires 11.25 car parking spaces and the development achieves 11 off-street spaces;</li> <li>The development is residential and will not generate activities adverse to air quality;</li> <li>The desired character statement does not necessitate the building to be of a design and appearance that reflects older building stock. A mix of materials are proposed that is compatible with recent developments.</li> </ul>

A copy of the representation and the applicant's response is contained in **Attachment 2**.

## REFERRALS

### Internal

#### City Assets

City Assets initially raised concerns with driveway offsets from infrastructure and the street tree, the passing area at the front of the site, the location of the visitor parking space, the verge space available to facilitate Council waste collection and stormwater detention.

Final amended plans have been received that resolve these concerns.

#### City Operations

City Operations identified a Callistemon Harkness (bottlebrush) located in close proximity (less than 2m) to the proposed crossover. City Operations has assessed the proposed 1.8m separation of the tree from the crossover as acceptable.

A full copy of the relevant reports is contained in **Attachment 3**.

**External****SCAP**

SCAP did not raise any concerns and have imposed the standard suite of conditions with respect to land division.

**SA Water**

SA Water did not raise any concerns and have imposed the standard suite of conditions with respect to land division.

A copy of the relevant reports is contained in **Attachment 4**.

**RELEVANT DEVELOPMENT PLAN PROVISIONS**

The subject land is located within the Residential Zone and, more particularly, Medium Density Policy Area 18 as described in the West Torrens Council Development Plan (consolidated 19 December 2017). The main provisions of the Development Plan which relate to the proposed development are as follows:

<u>General Section</u>		
<i>Crime Prevention</i>	<i>Objectives</i>	1
	<i>Principles of Development Control</i>	1, 2, 3, 6, 7, 8
<i>Design and Appearance</i>	<i>Objectives</i>	1, 2
	<i>Principles of Development Control</i>	1, 2, 4, 9, 10, 11, 12, 13, 14, 15, 16, 21
<i>Energy Efficiency</i>	<i>Objectives</i>	1, 2
	<i>Principles of Development Control</i>	1, 2, 3
<i>Infrastructure</i>	<i>Objectives</i>	3
	<i>Principles of Development Control</i>	1, 3, 5, 6, 8, 9, 16
<i>Land Division</i>	<i>Objectives</i>	1, 2, 3, 4
	<i>Principles of Development Control</i>	1, 2, 4, 5, 6, 7, 8, 11, 12
<i>Landscaping, Fences and Walls</i>	<i>Objectives</i>	1, 2
	<i>Principles of Development Control</i>	1, 2, 3, 4, 6
<i>Natural Resources</i>	<i>Objectives</i>	1, 5, 6, 7, 10
	<i>Principles of Development Control</i>	1, 2, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 27, 38, 39, 40
<i>Orderly and Sustainable Development</i>	<i>Objectives</i>	1, 2, 3, 4, 5
	<i>Principles of Development Control</i>	1, 2, 3, 4, 5, 6
<i>Residential Development</i>	<i>Objectives</i>	1, 2, 3, 4
	<i>Principles of Development Control</i>	1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 18, 19, 20, 21, 27, 28, 29, 30, 31
<i>Transportation and Access</i>	<i>Objectives</i>	2
	<i>Principles of Development Control</i>	1, 2, 4, 8, 10, 11, 14, 20, 21, 22, 23, 24, 30, 32, 34, 35, 36, 40, 41, 43, 45
<i>Waste</i>	<i>Objectives</i>	1, 2
	<i>Principles of Development Control</i>	2, 5, 6



**Zone: Residential Zone***Desired Character Statement:*

*This zone will contain predominantly residential development. There may also be some small-scale non-residential activities such as offices, shops, consulting rooms and educational establishments in certain locations. Non-residential activities will be complementary to surrounding dwellings.*

*Allotments will be at very low, low and medium densities to provide a diversity of housing options in different parts of the zone. The range of allotment sizes will support the desired dwelling types anticipated in each policy area, and the minimum allotment sizes shall be treated as such in order to achieve the Desired Character for each policy area and, in turn, reinforce distinction between policy areas. Row dwellings and residential flat buildings will be common near centres and in policy areas where the desired density is higher, in contrast to the predominance of detached dwellings in policy areas where the distinct established character is identified for protection and enhancement. There will also be potential for semi-detached dwellings and group dwellings in other policy areas.*

*Residential development in the form of a multiple dwelling, residential flat building or group dwelling will not be undertaken in a Historic Conservation Area.*

*Landscaping will be provided throughout the zone to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.*

<b>Objectives</b>	1, 2, 3, 4
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<b>Principles of Development Control</b>	1, 5, 6, 7, 10, 11, 12, 13, 14
--	--------------------------------

**Policy Area: Medium Density Policy Area 18***Desired Character Statement:*

*Allotments in this policy area will be at medium density, accommodating a range of dwelling types including residential flat buildings, row dwellings, group dwellings, semi-detached dwellings and some detached dwellings on small allotments. Allotment amalgamation to create larger development sites will occur to maximise the density of development while also achieving integrated design outcomes, particularly within a comfortable walking distance of centre zones. Vehicle access will occur from side streets and new rear public and private laneways wherever possible, also supporting the retention of existing street trees.*

*New buildings will contribute to a highly varied streetscape. Buildings will be up to 3 storeys and provide a strong presence to streets, other than in the part of the policy area in Underdale, Ashford (other than allotments adjacent to Residential Character Ashford Policy Area 22) and allotments bounded by Anzac Highway, Morphett Road and Cromer Street in Camden Park where buildings will be up to 4 storeys. Parking areas and garages will be located behind the front facade of buildings.*

*Buildings on the edge of the policy area which adjoin residential policy areas at lower densities will pay particular attention to managing the interface with adjoining dwellings, especially in terms of the appearance of building height and bulk, and overshadowing.*

*Development will be interspersed with landscaping, particularly behind the main road frontage, to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.*

<b>Objectives</b>	1
-------------------	---

<b>Principles of Development Control</b>	1, 1, 4, 5, 6, 8
--	------------------

**QUANTITATIVE STANDARDS**

The proposals are assessed for consistency with the prescriptive requirements of the Development Plan as outlined in the table below:

<b>DEVELOPMENT PLAN PROVISIONS</b>	<b>STANDARD</b>	<b>ASSESSMENT</b>
ALLOTMENT AREA <i>Medium Density Policy Area 18</i> PDC 8	250m <sup>2</sup> (minimum)	190.8m <sup>2</sup> (average) <b>Does Not Satisfy</b>
ALLOTMENT FRONTAGE <i>Medium Density Policy Area 18</i> PDC 8	9m (minimum)	7.9m (Lot 1) 0m (Lots 2 - 5) <b>Does Not Satisfy</b>
SITE AREA <i>Medium Density Policy Area 18</i> PDC 6	150m <sup>2</sup> (average)	190.8m <sup>2</sup> <b>Satisfies</b>
SITE FRONTAGE <i>Medium Density Policy Area 18</i> PDC 6	15m (minimum)	18.5m <b>Satisfies</b>
SITE COVERAGE <i>Medium Density Policy Area 18</i> PDC 5	70% (maximum)	52% <b>Satisfies</b>
PRIMARY STREET SETBACK <i>Medium Density Policy Area 18</i> PDC 5	3m (minimum)	3.5m <b>Satisfies</b>
REAR SETBACK (complete building) <i>Medium Density Policy Area 18</i> PDC 5	4m (minimum)	1m <b>Does Not Satisfy</b>
REAR SETBACK (dwellings) <i>Medium Density Policy Area 18</i> PDC 5	4m (minimum)	<u>Alfresco not under main roof</u> 1.1m to dwellings 1-5  <u>Main roof (garage wall)</u> 2.7m to dwellings 1 - 5 <b>Does not Satisfy</b>

<b>SIDE SETBACKS</b> <i>Residential Zone</i> <i>PDCs 11 &amp; 13</i>	1m (minimum where vertical side wall is 3m or less) or  2m (minimum where vertical side wall is between 3 - 6m)	<u>Ground floor</u> 1.1m (dwelling 5)  <u>Upper floor</u> 1.4m (dwelling 5)  <b>Does not Satisfy</b>  Dwellings 1-5 share party walls at ground floor and upper floor.  <b>Satisfies</b>
<b>BUILDING HEIGHT</b> <i>Medium Density Policy Area 18</i> <i>PDC 5</i>	3 storeys or 12.5m (maximum)	2 storeys  <b>Satisfies</b>
<b>INTERNAL FLOOR AREA</b> <i>Residential Development</i> <i>PDC 9</i>	100m <sup>2</sup> (minimum)	119m <sup>2</sup> (dwelling 1) 122m <sup>2</sup> (dwellings 2 - 5)  <b>Satisfies</b>
<b>PRIVATE OPEN SPACE</b> <i>Residential Development</i> <i>PDC 19</i>	<u>Lots &lt;300m<sup>2</sup></u> 24m <sup>2</sup> (minimum) 3m (minimum dimension)	<u>Dwelling 1</u> 56.4m <sup>2</sup> (total) 2.7m (dimension)  <u>Dwelling 2</u> 27m <sup>2</sup> (total) 2.7m (dimension)  <u>Dwelling 3</u> 27m <sup>2</sup> (total) 2.7m (dimension)  <u>Dwelling 4</u> 27m <sup>2</sup> (total) 2.7m (dimension)  <u>Dwelling 5</u> 51.7m <sup>2</sup> (total) 1.5m (dimension)  <b>Does not Satisfy</b>
<b>STORAGE</b> <i>Residential Development</i> <i>PDC 31</i>	8m <sup>3</sup> (minimum)	11.9m <sup>3</sup> (dwelling 1) 8.6m <sup>3</sup> (dwellings 2 - 5)  <b>Satisfies</b>



LANDSCAPING Landscaping Fences and Walls PDC 4	10% (minimum)	15.9% <b>Satisfies</b>
CAR PARKING SPACES <i>Transportation and Access</i> PDC 34	10 car parking spaces + 1.25 visitor spaces	10 car parking spaces + 1 visitor space <b>Satisfies</b>

## ASSESSMENT

In assessing the merits or otherwise of the applications, the most relevant considerations are discussed under the following sub headings:

### Site Area and Frontage

The land division proposes to create five community lots for the purposes of accommodating a residential flat building accessed via a common driveway. Principle of Development Control (PDC) 8 of Medium Density Policy Area 18 seeks allotments with a minimum size of 250m<sup>2</sup> and a minimum frontage width of 9m. The proposed development falls short of this.

In considering the shortfall, it is necessary to consider the land division in association with the built form proposal. PDC 6 of the Policy Area prescribes a minimum average site area of 150m<sup>2</sup> for residential flat buildings and a minimum frontage width of 15m for the complete building. The built form application shows an average site area (including the common property) of 190.8m<sup>2</sup> and a frontage of 18.5m. The development therefore meets the frontage requirement and the minimum site area requirement.

While the land division falls short of the quantitative allotment area requirements, the land use satisfies the site area requirements for a residential flat building. Furthermore it has been demonstrated that the proposed site areas are adequate to accommodate an appropriate form of dwellings that are envisaged within the policy area.

### Desired Character

The proposed development is of medium density and provides the type of dwellings consistent with the desired character for the policy area. Existing development within the locality is of similar and in some cases greater density, particularly to the north of the subject site close to the Urban Corridor Zone (which seeks even higher densities given its proximity to arterial roads and centres).

The site is within comfortable walking distance to high frequency public transport routes and centre zones and is therefore ideally situated for medium density development.

Around 16% of the site will be landscaped to complement the built form and assist in softening the appearance of the proposed development to both pedestrians at street level and occupants. In addition, the perimeter landscaping (which includes trees up to 6m in height) will assist in reducing urban heat loads in summer. These attributes are all consistent with the desired character.

Taking into consideration the above, the development is deemed to be consistent with Objective 1 and PDC 2 (form and character) of the policy area.



Figure 2: Examples of urban infill in the locality to the northwest of the subject site

### Front and Rear Setbacks

PDC 5 of Medium Density Policy Area 18 calls for a minimum front setback of 3m and minimum rear setback of 4m. The minimum front setback of the building is 3.5m which is consistent with the provision. The rear setback is not consistent with the provision as the rear corner of the alfresco for dwelling 5 is 1m from the rear boundary of the site. The rear setback of the two storey element of dwelling 5 is 1.5m and this increases to 3.5m for the two storey component closest to the driveway.

The rear setback for the individual dwellings is 1.1m (from the side boundary of the site), however the two storey component is setback 4.1m to the north and a minimum of 4m to the south. This setback reduces the impact of the proposed development on adjoining properties, despite the garage setback being a lesser distance.

The closest portion of each dwelling to the rear boundary is the single storey alfresco area. The upper level of the dwelling is setback a greater distance providing a height transition to the rear boundary. This and the higher perimeter landscaping will assist in softening the visual appearance of the proposal from 14 Coralie Street.

### Side Setbacks

PDC 11 of the Residential Zone states that with the exception of party walls, dwellings should have a ground floor setback of 1m and an upper level setback of 2m from a vertical wall of between 3-6m in height. Dwellings 1 to 5 share party walls.

While the side boundary ground floor setback of dwelling 5 meets the Development Plan requirement, the upper level falls short by 0.6m. This part of the development also forms the rear setback of the complete building (as discussed above) and this minor shortfall is not considered to be fatal to the proposal.

**Design and Appearance**

The proposed residential flat building displays a modern 'cube' appearance with a flat roof and protruding box features around the windows that present to the driveway. Colours are a mixture of light and dark grey with timber features. A variety in the placement of the windows is evident and the variation in the depth of the façade elements creates some added visual interest.

The use of different colours and material elements to the front of dwelling 1 also creates interest while the fenestration facing the street allows for casual surveillance of the public realm.

**Overshadowing**

Overshadowing has not been raised by the representors and is not considered contentious in relation to the proposal. PDCs 10 and 11 of the Residential Development module seek to ensure the availability of direct winter sunlight to adjoining dwellings, particularly habitable room windows. Given the orientation of the proposal, the greatest overshadowing effect will be over the internal driveway and properties to the south-west (although this will be minor). As a result, less of the private open space of the subject development will be shaded which is a positive outcome.

**Overlooking**

Upper level windows facing the driveway and the rear of the site are above 1.7m in height and so meet the requirement of PDC 27 of the Residential Development module in terms of visual privacy of adjoining properties.

**Vehicular Access**

The proposed development provides sufficient on-site car parking with two undercover spaces per dwelling and one visitor space to the front of the site. While this visitor space creates some potential for vehicular conflict, the likelihood of this occurring is considered to be low and within an acceptable range.

While the manoeuvring areas are tight, they meet the minimum standard and are designed in a manner to allow for sufficient landscaping and building setbacks.

**Landscaping, Fences and Retaining Walls**

As noted, the development proposes around 16% of the site area as landscaping which exceeds the minimum requirement. Plantings are proposed along the perimeter of the site with more intense areas to the front of the building, along the rear boundary and private open space areas of each dwelling. There is also landscaping proposed along both sides of the driveway.

The landscaping species are ornamental pear, medium height shrubs, groundcovers and grasses with grasscrete proposed for the driveway. The selected species will assist in softening the built form, mitigating heat loads in summer and will provide a buffer between the proposed development and adjoining residents.

The site rises slightly to the rear by around 300mm. Retaining walls that require development approval are not proposed as part of this development with concrete plinths of up to 200mm proposed where required around the perimeter of the development.

**SUMMARY**

The proposed development is of a type envisaged within the relevant Zone and Policy Area. There are some minor deficiencies in terms of site areas and setbacks, but these are not considered to warrant a refusal of either the land division or built form application.

The internal areas of the dwellings are functional while the proposed landscaping will assist in softening the built form and reducing heat loads.



Having considered all the relevant Objectives and Principles of the Development Plan, the proposals are not considered to be seriously at variance with the Development Plan.

On balance the proposed developments sufficiently accord with the relevant provisions contained within the West Torrens Council Development Plan (consolidated 19 December 2017) and warrant Development Plan Consent, Land Division Consent and Development Approval for DA 211/19/2018 and Development Plan Consent for DA 211/13893/2017.

## RECOMMENDATION 1

The Council Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent, Land Division Consent and Development Approval for Application No. 211/19/2018 by 16 Coralie Pty Ltd to undertake land division - Community Title; SCAP No. 211/C207/17; Creating four additional allotments and common property at 16 Coralie Street, Plympton (CT 5069/197) subject to the following conditions of consent:

### Development Plan Consent Conditions

1. Development is to take place in accordance with the plans prepared by Bartlett Drafting and Development relating to Development Application No. 211/19/2018 (SCAP 211/C207/17).

### Land Division Consent Conditions

#### Council Requirements

Nil

#### SCAP Requirements

2. The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.

For SA Water to assess this application, the developer must advise SA Water of the preferred servicing option. Information can be found at: <http://www.sawater.com.au/developers-and-builders/building-developing-and-renovating-your-property/subdividing/community-title-development-factsheets-and-information>. For queries call SAW Land Developments on 74241119. An investigation will be carried out to determine if connections to the development will be standard or nonstandard.

The developer must inform potential purchasers of the community lots of the servicing arrangements and seek written agreement prior to settlement, as future alterations would be at full cost to the owner/applicant.

3. Payment of \$27,320 into the Planning and Development Fund (4 allotments @ \$6830/allotment). Payment may be made by credit card via the internet at [www.edala.sa.gov.au](http://www.edala.sa.gov.au) or by phone (7109 7018), by cheque payable to the State Planning Commission marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001, or in person at Level 5, 50 Flinders Street, Adelaide.
4. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the State Commission Assessment Panel for Land Division Certificate purposes.

**RECOMMENDATION 2**

The Council Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/1393/2017 by I Think Design Studio to construct a two storey residential flat building containing 5 dwellings with alfresco at 16 Coralie Street, Plympton (CT 5069/197) subject to the following conditions of consent:

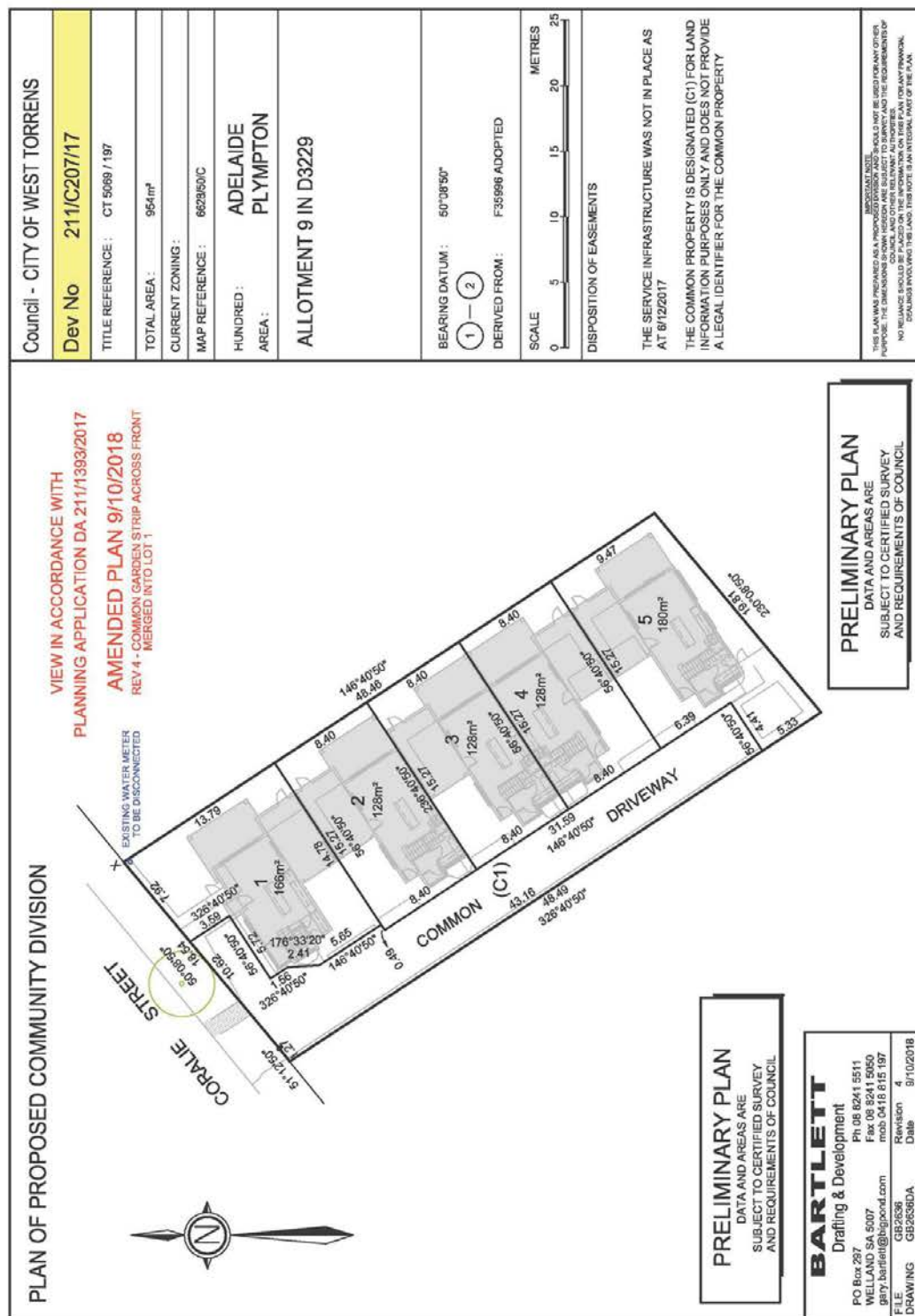
**Development Plan Consent Conditions**

1. The development shall be undertaken and completed in accordance with the plans and information detailed in this application except where varied by any condition(s) listed below.
2. All driveways, parking and manoeuvring areas shall be formed and surfaced with concrete, bitumen or paving, and shall be properly drained and maintained in a reasonable condition at all times to the satisfaction of Council.
3. All landscaping shall be planted in accordance with the approved plans prior to the occupancy of the development. Any person(s) who have the benefit of this approval shall cultivate, tend and nurture the landscaping, and shall replace any landscaping which may become diseased or die.
4. The upper level windows of the dwellings facing north, east and west shall be provided with fixed obscure glass to a minimum height of 1.7 metres above the upper floor level to minimise the potential for overlooking of adjoining properties, prior to occupation of the building. The glazing in these windows shall be maintained in a reasonable condition at all times to the satisfaction of Council.

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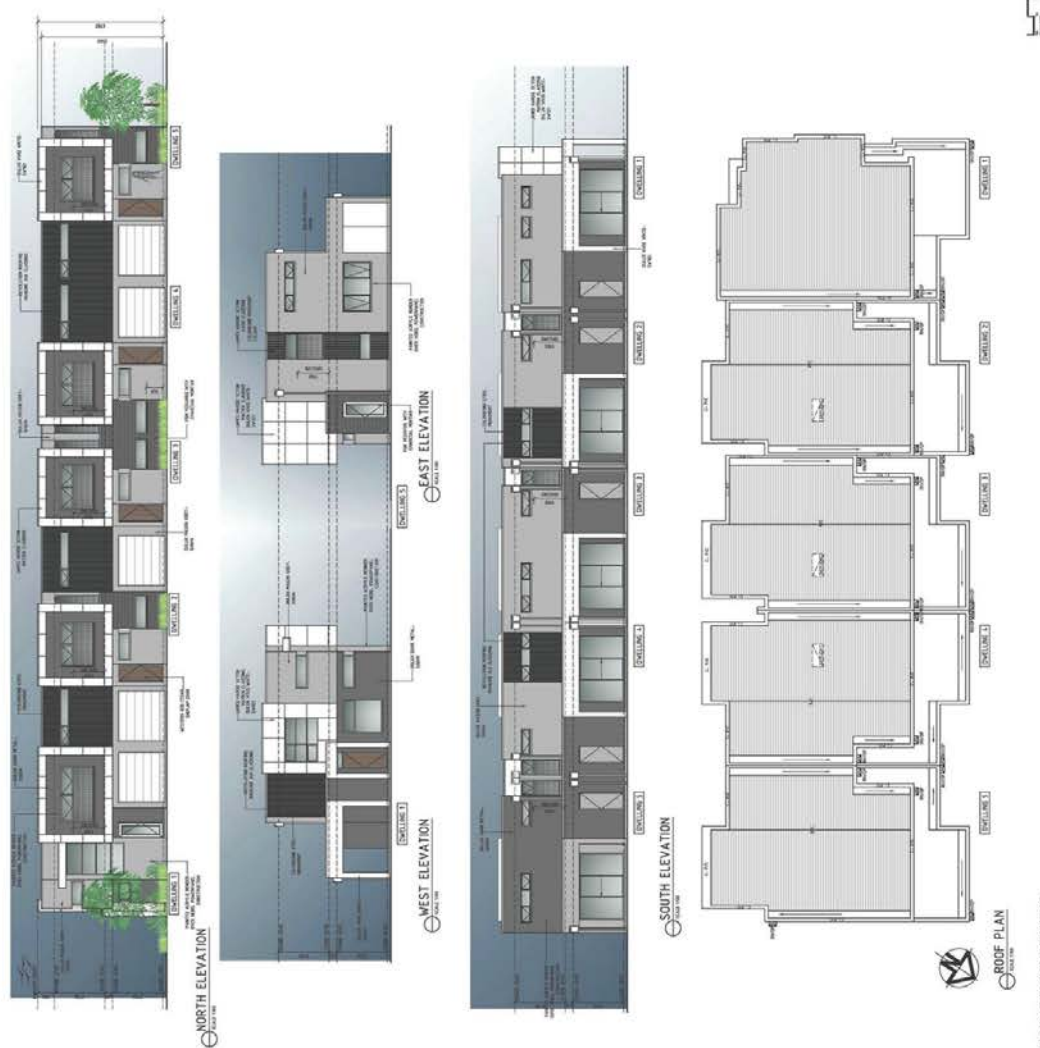
**Attachments**

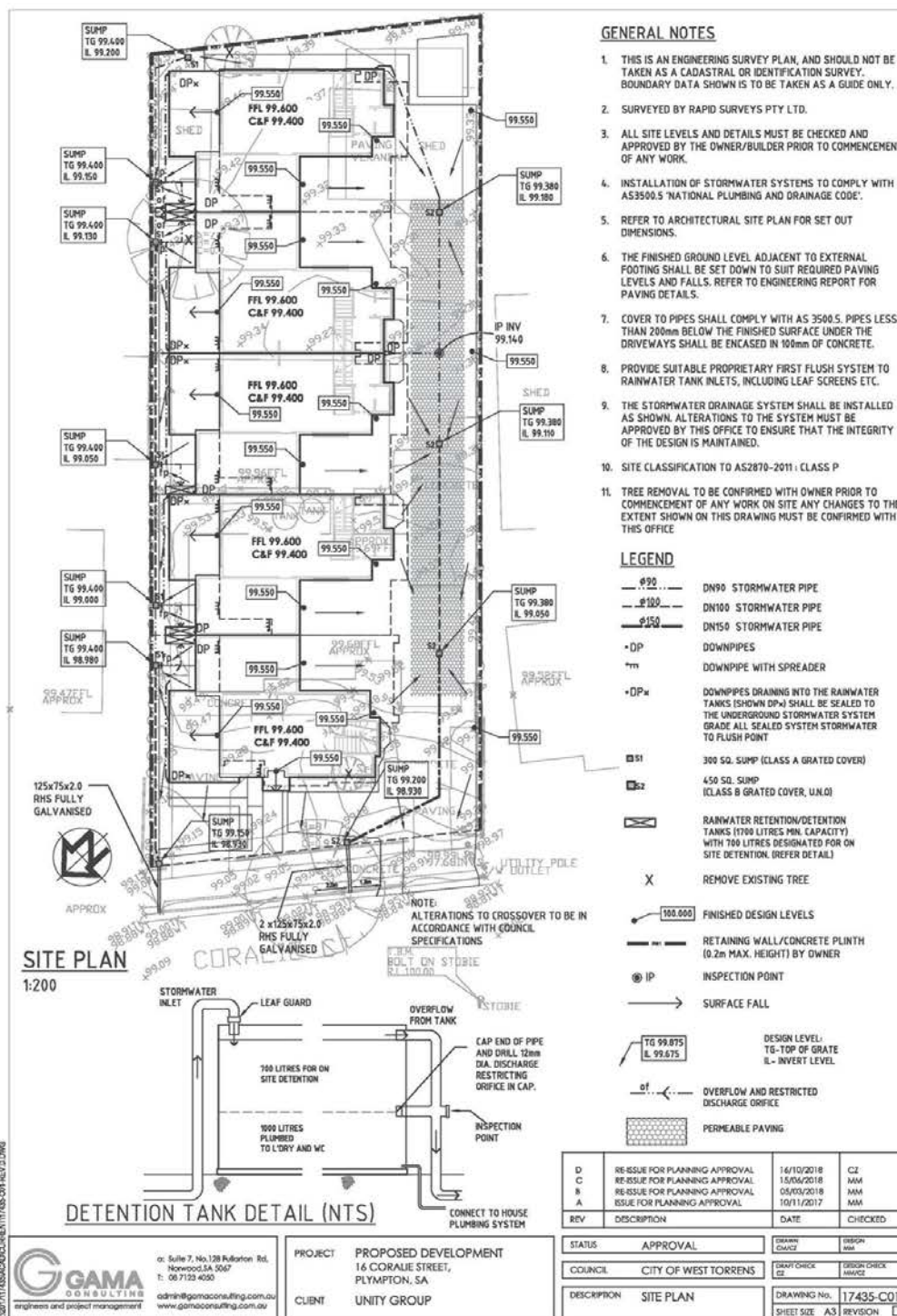
1. **Proposal plans and details**
2. **Representation and response to representation**
3. **Internal referrals**
4. **External referrals**













Council Assessment Panel

Item 6.1 - Attachment 2

City of West Torrens

06 JUL 2018

City Development

# STATEMENT OF REPRESENTATION

## Pursuant to Section 38 of the Development Act 1993

TO Chief Executive Officer  
City of West Torrens  
165 Sir Donald Bradman Drive  
HILTON 5033

SCANNED

2018

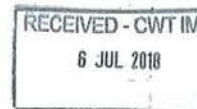
REF No. A21870091



DEVELOPMENT No. 211/1393/2017  
PROPERTY ADDRESS: 16 Coralie Street, PLYMPTON SA 5038

YOUR FULL NAME	MERILYN GRACE SALISBURY + DAVID JOHN SALISBURY
YOUR ADDRESS	9 CHARLES ST PLYMPTON SA 5038
YOUR PHONE No	
YOUR EMAIL	
NATURE OF INTEREST	ADJOINING RESIDENT (eg. Adjoining resident, owner of land in the vicinity etc.)
REASON/S FOR REPRESENTATION	<p>• Thanks to developer + Bill Stelapoulos for consultation and changes to improve privacy issues.</p> <p>We are still concerned that the nature of the development will lead to the following problems:</p> <ul style="list-style-type: none"> <li>• power outages (as already experienced with large development on Anzac Hwy/Charles St corner)</li> <li>• reduced water pressure</li> <li>• over crowding problems (5x increase of people on 1 block → noise, rubbish etc)</li> <li>• parking + traffic problems</li> <li>• poor air quality due to removal of green space + trees, increased traffic fumes, dust</li> <li>• poor air quality and mud from multiple building sites in the area</li> <li>• devaluation of our properties due to being closed in by 2-storey + developments, blocking sky-line causing above problems</li> <li>• concern over building materials + colours being sympathetic with older properties in area.</li> </ul>
MY REPRESENTATIONS WOULD BE OVERCOME BY (state action sought)	<p>• Developer, Council + State Government taking responsibility for future problems, preventing problems with integrated forward planning, and compensating us if problems lead to expenses in the future.</p> <p>• for 16 Coralie St</p> <p>• our preference is for a lower density one-story development with more green space + trees in this rapidly changing area.</p>
Please indicate in the appropriate box below whether or not you wish to be heard by Council in respect to this submission:	
I DO NOT WISH TO BE HEARD	<input type="checkbox"/> We will be overseas from 16 <sup>th</sup> Aug. to 17 <sup>th</sup> Sept, but if meeting falls at a time when we are available, we wish to be heard.
I DESIRE TO BE HEARD PERSONALLY	<input checked="" type="checkbox"/>
I DESIRE TO BE REPRESENTED BY Noel + Claire McCaffrey	<input checked="" type="checkbox"/>
(PLEASE SPECIFY)	M. J. Salisbury 27/7/2018
SIGNED	M. J. Salisbury
DATE	5/7/2018

Responsible Officer: Sonia Gallarelli  
Ends: Wednesday 11 July 2018



If space insufficient, please attach sheets



PO BOX 9061 HENLEY BEACH SOUTH SA 5022  
Phone: Mobile: 0478 509 777  
Email: [bill@townplanningadvisors.com.au](mailto:bill@townplanningadvisors.com.au)  
Website: [www.townplanningadvisors.com.au](http://www.townplanningadvisors.com.au)

5 August 2018

Ms Sonia Gallarello  
City Development  
City of West Torrens  
165 Sir Donald Bradman Drive  
HILTON SA 5033

Dear Sonia,

**RE: Development Application 211/1393/2017 – 16 Coralie Street PLYMPTON SA  
Response to Representations**

I refer to the above development application for which Category 2 Public Notification resulted in the receipt of one representation from:

- M G Salisbury and D J Salisbury of 9 Charles Street, Plympton

Issues of concern relate to:

- Power outages
- Reduced water pressure
- Devaluation of land
- Density
- Car parking and traffic
- Air quality
- Materials and colours

Power outages, reduced water pressure and the devaluation of land are issues often raised by representors, however these are not matters for planning consideration.

### Density

The proposal satisfies Policy Area Principle of Development Control 4, which anticipates medium density developments that achieve a net density of between 40 and 67 and are in the form of 2 to 3 storey buildings; the proposal achieves a net density of 52 and is in the form of a 2 storey residential flat building, an envisaged dwelling type.

The locality is set within an area designated by policy for medium density infill development, and is transitioning accordingly.

### Car Parking and Traffic

Table WeTo/2 – *Off Street Vehicle Parking Requirements* requires a residential flat building to be provided 2 car parking spaces per dwelling (one of which is covered) plus 0.25 spaces per dwelling; therefore, 11.25 off-street vehicle parking spaces are to be provided.

The proposal provides 11 off-street vehicle parking spaces, i.e. 2 spaces per dwelling (one of which is covered) plus 1 additional (visitor) space.

In the case of visitor parking, where not equating to a whole number, the expectation is that it be rounded to the nearest whole number, in this case down to 1 space. Taking this into account, the proposal provides the required 11 off-street vehicle parking spaces.

Further, the proposal seeks to close 1 of the sites 2 existing vehicle crossovers, thereby increasing the number of available on-street vehicle parking spaces adjacent the site by 1 and negating any perceived shortfall.

The volume of vehicles associated with the development is considered low and can be comfortably accommodated within the local road network.

### Air Quality

The proposal is residential in nature and does not include activities associated with the generation of fumes, odours and/or airborne pollutants which impact upon air quality.

During construction, every effort will be made to ensure dust generation is low, and managed in accordance with EPA guidelines.

### Materials and Colours

Concern has been raised regarding the materiality of the proposal in the context of older building stock.

The applicable Desired Character Statement (Residential Zone, Medium Density Policy Area 18 Policy Area) refers to development being of medium density and up to 3 storeys in height to make a strong presence to a highly varied streetscape. The Desired Character Statement does not necessitate the building to be of a design and appearance which is reflective of adjoining dwellings and older building stock.



The proposal incorporates masonry, timber, rendered and painted surfaces into a design which is compatible with recent developments in the street and those found in the wider locality.

I consider the proposal to incorporate materials and finishes which add visual interest to the streetscape.

### Conclusion

Having regard to the representations received, the subject land and its siting within the locality, I am of the view that the proposal is not seriously at variance with the West Torrens Council Development Plan (consolidated 30 May 2017), and displays sufficient planning merit to warrant the granting of Development Plan Consent.

The proposal successfully achieves the development of underutilised land in an envisaged manner.

I note that the representors seek to appear before the Panel in support of their representation. I confirm that the Applicant (and/or representative(s)) would similarly seek to appear before the Panel to respond to the issues raised and to offer clarification of the proposal, if needed. I would therefore appreciate if you could advise when this matter would be considered by Council's Assessment Panel.

Should you have any queries or require any further information or clarification with any components of this application, please do not hesitate to contact the undersigned on 0478 509 777 or by email [bill@townplanningadvisors.com.au](mailto:bill@townplanningadvisors.com.au)

Yours faithfully



**Bill Stefanopoulos, MPlA**  
BA Planning, Grad Dip Environmental Planning



## Preliminary Traffic, Flooding & Stormwater Assessment

**Development Application No: 211/1393/2017**

**Assessing Officer:** Sonia Gallarello  
**Site Address:** 16 Coralie Street, PLYMPTON SA 5038  
**Certificate of Title:** CT-5069/197  
**Description of Development** Construct a two storey residential flat building containing 5 dwellings each with rear alfresco and single garage under main roof

### TO THE TECHNICAL OFFICER - CITY ASSETS

Please provide your comments in relation to:

- ☐ Site drainage and stormwater disposal
- ☐ Required FFL
- ☐ On-site vehicle parking and manoeuvrability
- ☐ New Crossover
- ☐ Your advice is also sought on other aspects of the proposal as follows:

.....  
.....

**PLANNING OFFICER - Sonia Gallarello**

**DATE 28 September, 2018**



## Memo

To Sonia Gallarello  
From Andrew King  
Date 28 September 2018  
Subject 211/1393/2017, 16 Coralie Street, PLYMPTON SA 5038

Sonia Gallarello,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

The following information has been provided of similar format to that previously provided on 3 January 2018.

### **1.0 FFL Consideration – Finished Floor Level (FFL) Requirement**

In accordance with the provided 'Site Plan' (GAMA Consulting –Drawing Number 17435-C01 – Revision C-Dated 15/06/2018), the FFLs of the proposed development ( 99.55 minimum ) have been assessed as satisfying minimum requirements (99.23 minimum) in consideration of street and/or flood level information.

### **2.0 Verge Interaction (with street tree)**

2.1 Previous standard comment was made in relation to offset of new verge elements from existing of other verge features.

The revised site plan now nominated an effectively suitable arrangement for the new verge elements. Of minor note a new stormwater connection has been shown with a 1.8m offset from the existing street tree and City Works had nominated a required 2.0m offset. Given that there is substantial offset (2.0m) between this new connection and the new driveway, it is considered that the desired tree offset can be achieved and this can be addressed through verge permit processing.

2.2 Although having previously been provided with the appropriate sizes for new stormwater connections through the road verge, the applicant site plan drawing still notates an incorrect sizing.

The use of appropriate size conduits can easily be corrected and correction of this can be achieved and this can be addressed through verge permit processing.





### **3.0 Deficient Corridor Width**

Previous comment had raised concern with the suitability of the access passing area at the front of the common driveway. The revised plan currently nominated an acceptable arrangement in relation to this.

It is noted that no flaring of the driveway from the property boundary to the road edge has been shown. This flaring being typical of most driveways and beneficial in narrower roads.

The later provision of the flaring can easily be accommodated and would not be problematic for any of the other verge considerations. Based on the width of this specific road, it is not considered that the flaring is critical.

### **4.0 Traffic Comments**

4.1 The revised design has been checked in association with manoeuvrability and is considered to be extremely tight for many of the dwellings. This element would now be considered barely satisfactory.

4.2 Comment in relation to the provision of visitor parking was previously provided.

The revised design nominates a visitor parking space to be located off of the passing area at the start of the driveway.

The minimal manoeuvrability limitation of this development arrangement means that any vehicle exiting or entering the property from this space would do so from the wrong side of the common driveway, potentially conflicting with general traffic entering or exiting the site.

The City Assets Department, for the above reasons, is not typically supportive of the locating of parking directly off of the common driveway passing area, however are aware that this arrangement is something typically supported by our Planners.

### **6.0 Garage Dimensions and Setback**

The nominated garage dimensions on revised plans are considered acceptable in relation to standard expectations.



City of **West Torrens**

Between the City and the Sea

## **7.0 Waste Provision**

The proposed development would result in the provision of approximately 13m (12m if driveway flaring is adopted) of vertical kerb across the frontage of the development site.

Current process would seek for a 1m offset provision to be allowed for on either side of an existing street tree. Given consideration of this, a provision of 10 to 11m of unencumbered kerbing is provided for bin presentation.

Current process also seeks for a 1m kerb space per bin allowance in consideration of the available space. This allowing for waste operator desired spacing between bins.

Base on this, the provision of the standard Council bin service for each of these dwellings would be considered acceptable in the specifics of this application.

## **8.0 Stormwater detention**

Information provided on the updated Site Plan for the development nominated a stormwater detention solution which satisfies the commentary previously provided in relation to this subject.

## **9.0 Closing of Redundant Crossovers**

The ithink Design Studio site plan for the development nominates the closure of the existing driveway crossing place to the allotment as requested in previous City Assets feedback.

Should you require further information, please contact Andrew King on the following direct extension number 8416 6333

Regards

**Andrew King**  
**Coordinator Engineering Services**

## Arboricultural Assessment of Street Trees

**Development Application No:** 211/1393/2017

**REFERRAL DUE DATE:** 9 January 2018

<b>Assessing Officer:</b>	Sonia Gallarello
<b>Site Address:</b>	16 Coralie Street, PLYMPTON SA 5038
<b>Certificate of Title:</b>	CT-5069/197
<b>Description of Development</b>	Construct a two storey residential flat building containing 5 dwellings each with rear alfresco and single garage under main roof

### TO THE TECHNICAL OFFICER – CITY ASSETS

Please provide your comments in relation to:

- ☐ The removal of or impact upon the Street Tree
- ☐ Species of Tree:
- ☐ Your advice is also sought on other aspects of the proposal as follows:

**PLANNING OFFICER - Sonia Gallarello**                      **DATE**    **3 January 2018**

### FROM THE TECHNICAL OFFICER

I have examined the plans as requested and provide comments as follow.

**As with all development applications it must be proven beyond reasonable doubt that all alternatives have been explored so not to hinder the progress and development of any street tree(s).**

**Any proposed development that does not consider “AS4970 Protection of Trees on Development Sites”, is likely to require revision until all plans accurately correspond with the specific tree information detailed in this standard.**

**Verge interaction must consider all services across council land including stormwater outlets (and other) which will need to be maintained a minimum of**



**2.0m from any existing street tree (unless otherwise negotiated) and must be indicated/documented for approval by City Operations.**

A site investigation has revealed and together with the information provided that the location of the proposed crossover to access the development on Coralie Street PLYMPTON will have minor impact on an existing *Callistemon Harkness (bottlebrush)* street tree.

It is noted that based on the current site plan set submitted by Gama consulting, Drawing No, 17435-C01 there is a nominated offset of 1.5m from the street tree for the stormwater outlet, in this instance City Operations will require a 2.0m offset for the stormwater for this proposal to be supported.

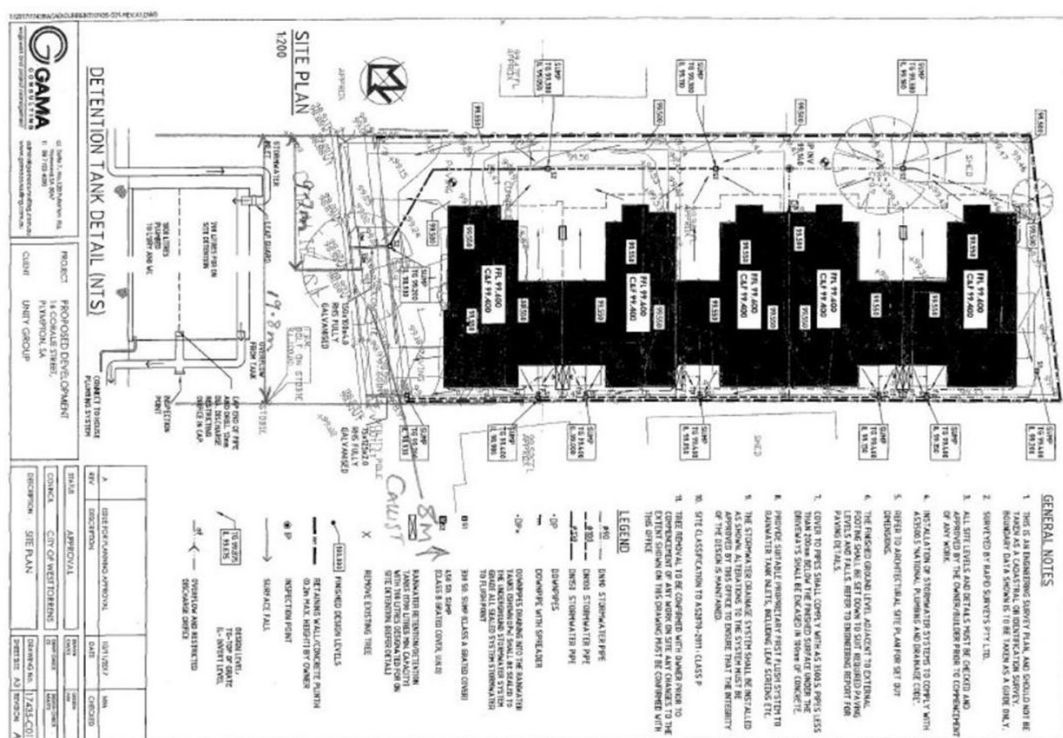
As a result of the proposed crossover located on Coralie Street, City Operations will support a proposal with an offset of 2.0m from the *Callistemon Harkness (bottlebrush)* street tree.

**Please note, under no circumstances is any individuals other than council staff permitted to interfere with a street tree. If pruning etc. is required, council must be notified via the appropriate customer request, and council will perform all works associated with that community asset.**

**Final crossover locations will be confirmed once appropriate consultation has been received from the applicant in the form of “an application to construct a vehicle crossing place(s) across council land”.**

Rick Holmes  
Arboriculture Assistant  
165 Sir Donald Bradman Drive  
Hilton SA 5033  
Telephone: 8416 6333  
Fax: 8443 5709  
Email: [rholmes@wtcc.sa.gov.au](mailto:rholmes@wtcc.sa.gov.au)

DATE: 3/01/2018









(Subsequent email advice regarding the offset of stormwater from the street tree)

Hi Sonia,

I hope your well, In the original assessment we had asked for a 2.0m offset, however we are happy to compromise so in this instance City Operations will support the 1.8m offset from the proposed stormwater location.

Kind regards,

**Rick Holmes**  
**Arboriculture Officer**  
City of West Torrens

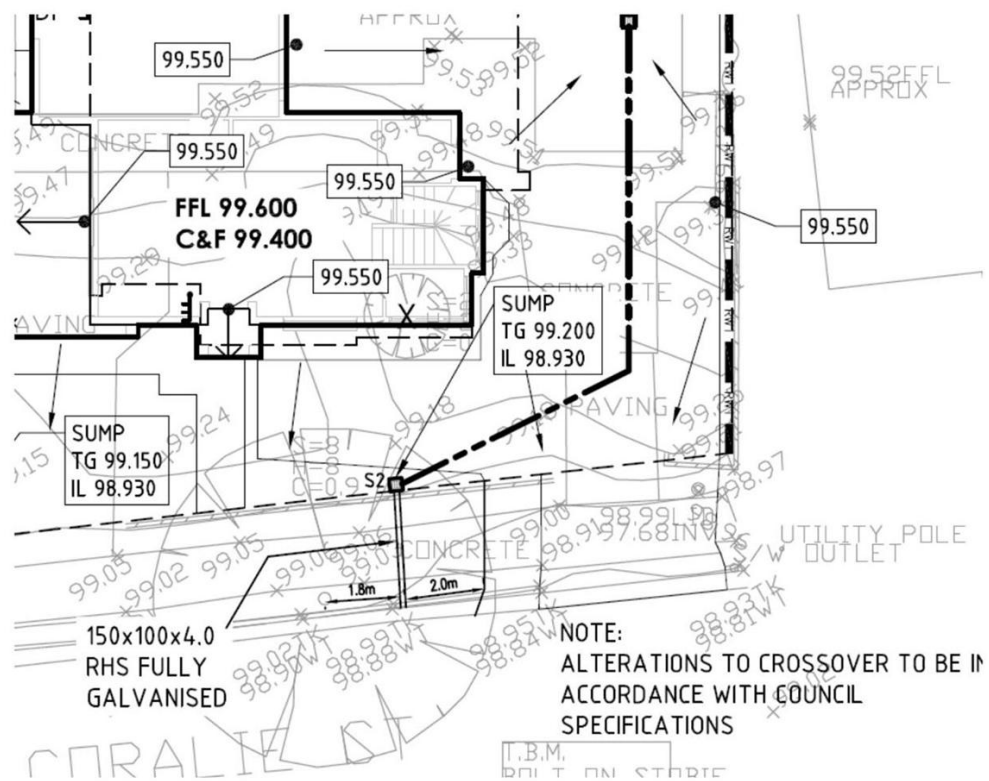
Telephone: 8416 6333  
Mobile: 0417 846 760  
Email: [rholmes@wtcc.sa.gov.au](mailto:rholmes@wtcc.sa.gov.au)

**From:** Sonia Gallarello  
**Sent:** Thursday, 27 September 2018 4:08 PM  
**To:** Rick Holmes  
**Subject:** Sent from Snipping Tool 211/1393/2017 16 Coralie Street, Plympton

Hi rick,

This is the amended plan for this development. You previously looked at a flipped design.

Is this satisfactory to the callistemon?







Contact  
Telephone  
Email

Planning Services  
7109 7018  
[dldptpdclearanceletters@sa.gov.au](mailto:dldptpdclearanceletters@sa.gov.au)

State Commission  
Assessment Panel

Level 5  
50 Flinders Street  
Adelaide SA 5000

GPO Box 1815  
Adelaide SA 5001

08 7109 7061

10 October 2018

City Manager  
City of West Torrens  
165 Sir Donald Bradman Dr  
HILTON SA 5033

Dear Sir / Madam

**Re: Proposed Development Application No.211/C207/17 (ID 60457) – Amended Plan 28/9/2018  
for Land Division (Community Title Plan) by 16 Coralie Pty Ltd**

Further to my letter dated 9 January 2018 and to assist the Council in reaching a decision on this application, copies of the reports received by the State Commission Assessment Panel (SCAP) from agencies that it has consulted have been uploaded for your consideration.

**IT IS REQUESTED PURSUANT TO SECTION 33 (1) (c) OF THE DEVELOPMENT ACT 1993 THAT THE COUNCIL INCLUDE IN ITS DEVELOPMENT APPROVAL THE FOLLOWING REQUIREMENTS OF THE SCAP.**

1. The financial requirements of the SA Water Corporation shall be met for the provision of water supply and sewerage services. (SA Water H0067911)

The developer must inform potential purchasers of the community lots in regards to the servicing arrangements and seek written agreement prior to settlement, as future alterations would be at full cost to the owner/applicant.

2. Payment of \$27,320.00 into the Planning and Development Fund (4 allotment/s @ \$6830.00 /allotment). Payment may be made by credit card via the internet at [www.edala.sa.gov.au](http://www.edala.sa.gov.au) or by phone (7109 7018), by cheque payable to the State Planning Commission marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Ground Floor, 101 Grenfell Street, Adelaide.
3. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the State Commission Development Assessment Planning for Land Division Certificate purposes

**IT IS ALSO REQUIRED THAT COUNCIL PROVIDE THE SCAP WITH:**

- a) the date on which any existing building(s) on the site were erected (if known);
- b) the postal address of the site; and
- c) a copy of its Decision Notification Form (via EDALA) pursuant to Regulations 60 (4) (b) ii and 44 respectively.

**IT IS RECOMMENDED THAT THIS INFORMATION BE INCORPORATED INTO COUNCIL'S ADVICE WHEN REPORTING THAT THEIR REQUIREMENTS (IF ANY) HAVE BEEN FULLY SATISFIED.**

Yours faithfully,

A handwritten signature in blue ink, appearing to read 'Biljana B.'

Biljana Prokic  
LAND DIVISION COORDINATOR – PLANNING SERVICES  
as delegate of the  
STATE COMMISSION ASSESSMENT PANEL  
Q:\PLANNINGSERVICES\TEMPLATES\STATEMENTS\ELECTRONIC\TF2R-CT



05 October 2018

Our Ref: H0067911

The Chairman  
State Commission Assessment Panel  
50 Flinders St  
ADELAIDE SA 5000

Dear Sir/Madam

**PROPOSED LAND DIVISION APPLICATION NO: 211/C207/17 AT PLYMPTON**

In response to the abovementioned proposal, I advise that pursuant to Section 33 of the Development Act it is necessary for the developer to satisfy this Corporation's requirements, which are listed below.

The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.

The developer must inform potential purchasers of the community lots of the servicing arrangements and seek written agreement prior to settlement, as future alterations would be at full cost to the owner/applicant.

Yours faithfully

rita demusso

**for MANAGER LAND DEVELOPMENT & CONNECTIONS**

SA Water  
Level 6, 250 Victoria Square  
ADELAIDE SA 5000  
Ph (08) 7424 1119  
Inquiries rita demusso  
Telephone 7424 1119

**6.4 315 Sir Donald Bradman Drive, BROOKLYN PARK**

Application No 211/1147/2016

**DEVELOPMENT APPLICATION DETAILS**

DEVELOPMENT PROPOSAL	Construct a pergola and fascia (retrospective) to front of existing building and install signage on fascia and side boundary fence (non-complying)
APPLICANT	Alpha Car Hire Australia
APPLICATION NO	211/1147/2016
LODGEMENT DATE	21 October 2016
ZONE	Residential Zone
POLICY AREA	Low Density Policy Area 20
APPLICATION TYPE	Non-complying
PUBLIC NOTIFICATION	Category 1
REFERRALS	Internal <ul style="list-style-type: none"> <li>▪ Nil</li> </ul> External <ul style="list-style-type: none"> <li>▪ Nil</li> </ul>
DEVELOPMENT PLAN VERSION	5 May 2016
RECOMMENDATION	Support with conditions
AUTHOR	Sonia Gallarello

**RECOMMENDATION**

The Council Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/1147/2016 by Alpha Car Hire Australia to undertake the construction of a pergola to front of existing building and install signage on pergola and side boundary fence (non-complying) at 315 Sir Donald Bradman Drive, Brooklyn Park (CT 5254/982) subject to the following conditions of consent and the concurrence of the State Commission Assessment Panel (SCAP):

**Development Plan Consent Conditions**

1. That the development shall be undertaken and completed in accordance with the approved plans and information detailed in this application except where varied by any condition(s) listed below.

*Reason: To ensure the proposal is developed in accordance with the plans and documents lodged with Council.*

2. The advertising signage shall not be internally or externally illuminated at any time without the prior approval of Council.

*Reason: To reduce unnecessary distraction to motorists and assist in preserving the amenity of adjoining dwellings.*



## BACKGROUND

The development proposal is presented to the Council Assessment Panel (CAP) for the following reason:

- The relevant application proposes a non-complying form of development and the application is to be determined after a full merit assessment against the Development Plan, except where the relevant development application proposes a change of land use to office in a Commercial Zone.

## PREVIOUS OR RELATED APPLICATIONS

DA Number	Description of Development	Decision	Decision Date
211/776/2011	Change of use from dwelling to office, building additions, relocation of palm plus construction of a carport, fencing, gates and associated car park	Approved	29 May 2012
211/776/2011/A	Change of use from dwelling to office, building additions, relocation of palm plus construction of a carport, fencing, gates and associated car park - AMENDMENT to car parking layout	Refused	22 August 2013

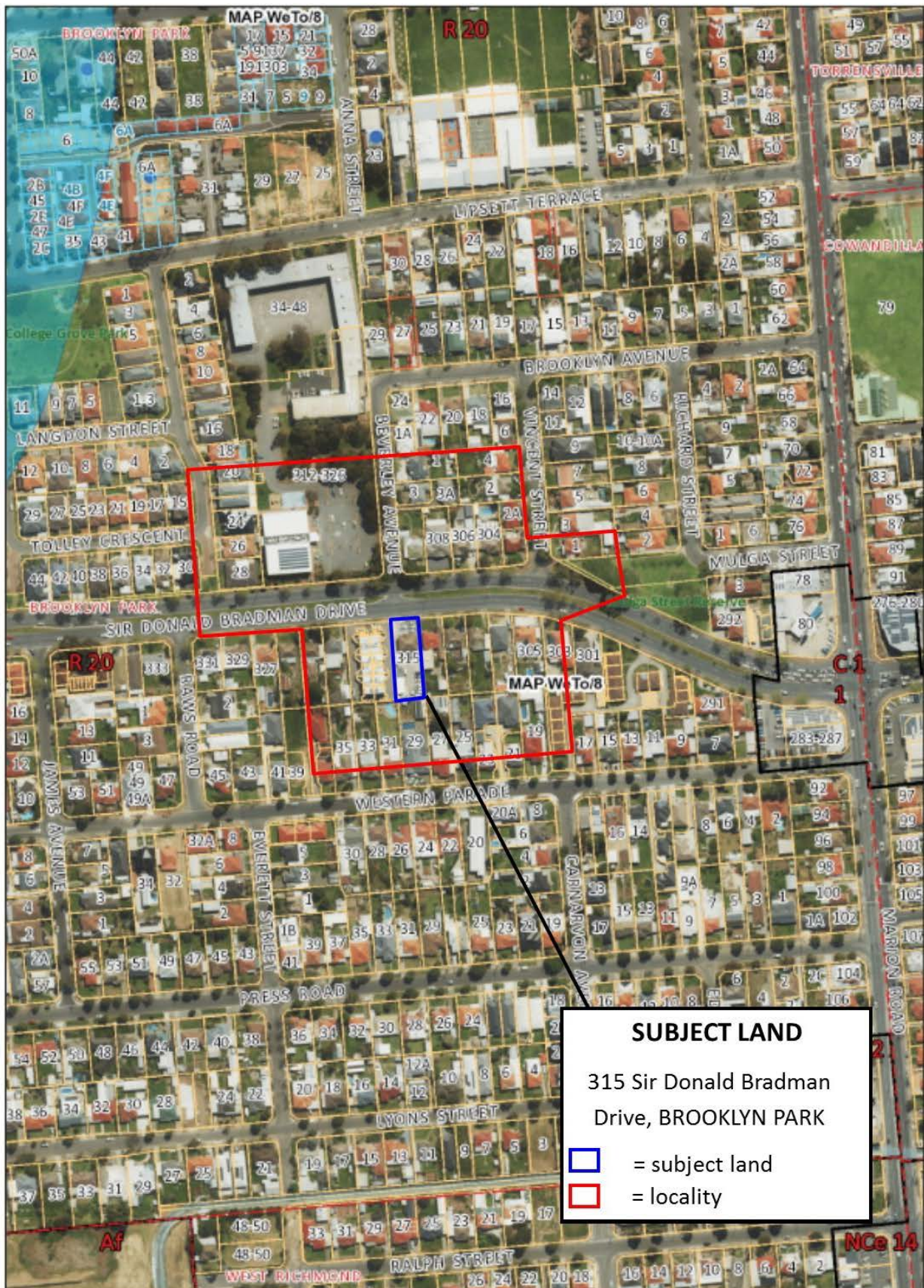
## SITE AND LOCALITY

The subject site is commonly known as 315 Sir Donald Bradman Drive, Brooklyn Park. It is formally described in Certificate of Title Volume 5254 Folio 982, comprising allotment 6 in Deposited Plan 4513. The subject site is of a rectangular shape with a frontage to Sir Donald Bradman Drive.

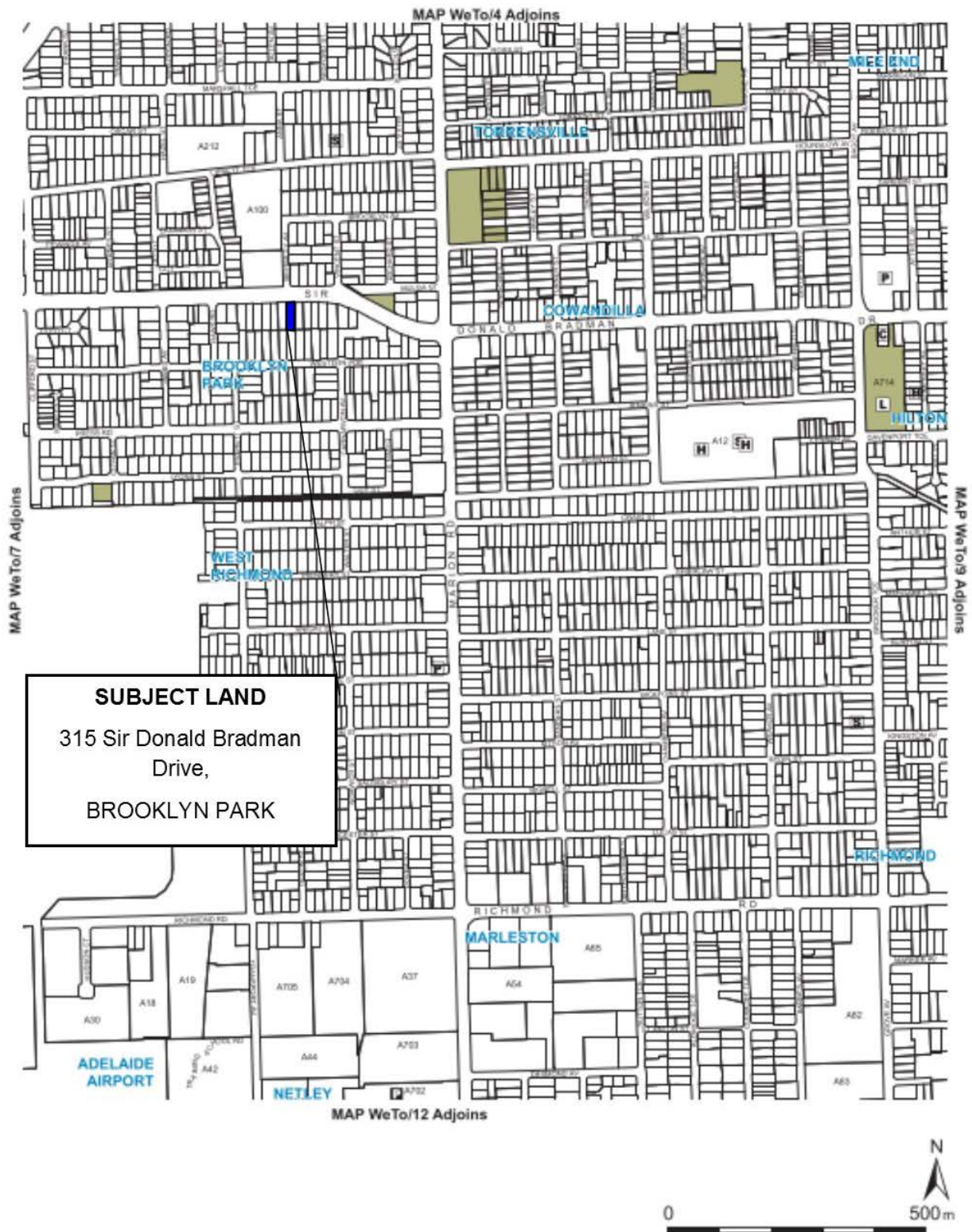
The subject site contains a single storey detached dwelling that has been converted to an office for the purpose of leasing vehicles that are stored at the rear of the site. There is a verandah attached to the rear of the office building and a brick outbuilding with an attached verandah located along the western boundary of the site. The pergola that forms part of this retrospective application is sited to the front of the office building facing Sir Donald Bradman Drive. The two signs that currently exist on the site also form part of this application. One is attached to the fascia of the pergola facing Sir Donald Bradman Drive and the other is along the western boundary fence between the subject site and 317-319 Sir Donald Bradman Drive. There is a car park to the south of the office building where lease vehicles for Alpha Car Hire are stored. Car parking spaces are delineated.

The locality is predominantly residential in nature, with detached dwellings at low densities to the north, east, south and west. Immediately adjacent and to the west of the site is a two storey contemporary styled residential flat building. To the northwest and across Sir Donald Bradman Drive is a church with associated car parking area. The locality experiences high traffic volumes as Sir Donald Bradman Drive is a major feeder road from the city to the airport and western suburbs. The site is 500 metres (m) from airport land to the west and is within the Australian Noise Exposure Forecast (ANEF) 25 contour.

The subject site and locality are shown on the following aerial imagery and locality plan.







- School
- Public Library
- Council Office
- Post Office
- Other Health Services
- Police Station
- Local Reserves

## Location Map WeTo/8

WEST TORRENS COUNCIL  
Consolidated - 5 May 2016



## PROPOSAL

The proposal is for retrospective planning consent for the construction of a pergola and fascia board to the front of the existing building along with the installation of signage on the fascia and western side boundary fence (non-complying).

The application has been lodged as a result of enforcement proceedings as the pergola and some of the signage was constructed prior to receiving development plan consent. The proposed signage was originally for one larger sign measuring 12m x 0.9m (10.8 square metres (m<sup>2</sup>) in size) along the front of the building against the fascia of the pergola. Negotiations occurred in order to reduce the size of this sign with a second sign located on the fence panel added to the proposal. In addition to these changes, the Administration requested that adequate plans and information be provided in order to proceed with the assessment of the application.

The proposed pergola has been constructed of timber, is painted white and is an open frame structure with a total height of 2.8m and area of 33.4m<sup>2</sup>.

The sign attached to the fascia is 4.9m x 0.9m and attached centrally to the pergola frame with a total sign face area of 4.4m<sup>2</sup>. The purple and white sign is constructed of galvanised sheet metal and is attached to the fascia with screws. This sign is not reflective or illuminated. The top of the sign is 3.5m above natural ground level.

The sign attached to the western side boundary fence is 7.2m x 0.9m with a total sign face of 6.5m<sup>2</sup>. The sign is located toward the front of the site and is fixed to the existing colorbond fence with screws. The purple and white sign is constructed of galvanised sheet metal and is not reflective or illuminated.

A copy of the proposed plans is contained within **Attachment 1**.

## NON-COMPLYING DEVELOPMENT

The application is a non-complying form of development due to advertisements and advertising hoardings being listed as non-complying development in the Procedural Matters section of the Development Plan.

The applicant has provided a Statement of Effect pursuant to Regulation 17 of the *Development Regulations 2008* (refer **Attachment 2**). This document highlights a number of social, economic and environmental impacts associated with the proposed development as follows:

- The proposed pergola and signage are well located and reasonably small scale.
- Both the pergola and signage are unlikely to have a negative impact on the amenity of adjacent neighbours. The signs are not illuminated and cannot be viewed from adjacent dwellings.
- The pergola and signage improve the profile of the property and enable safe navigation.
- The business is located in a good position for the owners of the business and customers given the proximity to the airport.
- The more sustainable the business, the more staff will be employed which will increase jobs in South Australia.
- The existing building has been adaptively re-used which preserves embodied energy.
- No trees will be removed as part of this development.
- There is a trend towards people hiring cars on an as-needs basis rather than owning one themselves. This is ecologically more responsible than the environmental cost of individual car ownership in an area that has increasing residential density.
- Car hire facilities should be available to the public and good signage will assist navigation along this busy arterial road.

The applicant has not indicated any negative impacts associated with the proposal and, in consideration of the above, there will be minimal adverse social, economic or environmental effects arising from the proposed development.

Should the CAP resolve to approve the application, the concurrence of the State Commission Assessment Panel (SCAP) is required. Alternatively, should the CAP refuse the application, no appeal rights are afforded to the applicant. As the Administration resolved, under delegation, to proceed with an assessment of the proposal, the application is now presented to the CAP for a decision.

## PUBLIC NOTIFICATION

The application is a Category 1 form of development pursuant to Section 38 of the *Development Act 1993* and Schedule 9, Part 1, 3(b), of the *Development Regulations 2008* as the development is ancillary to an existing building and of a minor nature for the following reasons:

- The proposed signage would be ancillary and subordinate to the existing commercial premises which comprises a car rental business;
- The advertisements to be displayed relate to the activities that are carried out on the site;
- The size of the fascia sign is proportionate to the existing building façade;
- The sign attached to the side boundary fence would not extend above the top of the fence;
- The signage would not be visible from the main habitable windows and rear yard areas of neighbouring residential properties; and
- The signage would not be illuminated.

## RELEVANT DEVELOPMENT PLAN PROVISIONS

The subject land is located within the Residential Zone, and more specifically, Low Density Policy Area 20 (the policy area) as described in the West Torrens Council Development Plan. The main provisions of the Development Plan which relate to the proposed development are as follows:

<u>General Section</u>		
Advertisements	Objectives	1, 2, 3
	Principles of Development Control	1, 2, 4, 5, 6, 7, 8, 9, 10, 11, 14, 22
Crime Prevention	Objectives	1
	Principles of Development Control	3
Design and Appearance	Objectives	1, 2
	Principles of Development Control	1, 2, 13
Landscaping, Fences and Walls	Objectives	1 & 2
	Principles of Development Control	1, 2, 3, 4, 5 & 6
	Principles of Development Control	1, 2, 3 & 4

<b>Zone: Residential Zone</b>	
<u><b>Desired Character Statement:</b></u>	
<i>This zone will contain predominantly residential development. There may also be some small-scale non-residential activities such as offices, shops, consulting rooms and educational establishments in certain locations. Non-residential activities will be complementary to surrounding dwellings.</i>	
<i>Allotments will be at very low, low and medium densities to provide a diversity of housing options in different parts of the zone. The range of allotment sizes will support the desired dwelling types anticipated in each policy area, and the minimum allotment sizes shall be treated as such in order to achieve the Desired Character for each policy area and, in turn, reinforce distinction between policy areas. Row dwellings and residential flat buildings will be common near centres and in policy areas where the desired density is higher, in contrast to the predominance of detached dwellings in policy areas where the distinct established character is identified for protection and enhancement. There will also be potential for semi-detached dwellings and group dwellings in other policy areas.</i>	
<i>Residential development in the form of a multiple dwelling, residential flat building or group dwelling will not be undertaken in a <b>Historic Conservation Area</b>.</i>	
<i>Landscaping will be provided throughout the zone to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.</i>	
<b>Objectives</b>	1, 4
<b>Principles of Development Control</b>	1, 2, 3, 5

<b>Policy Area: Low Density Policy Area 20</b>	
<u><b>Desired Character Statement:</b></u>	
<i>Allotments in the policy area will be at low density, accommodating predominantly detached dwellings and some other dwellings types such as semi-detached and group dwellings. There will be a denser allotment pattern close to centre zones where it is desirable for more residents to live and take advantage of the variety of facilities focused on centre zones. Battleaxe subdivision will not occur in the policy area to preserve a pattern of rectangular allotments developed with buildings that have a direct street frontage.</i>	
<i>Buildings will be up to 2 storeys in height. Garages and carports will be located behind the front façade of buildings.</i>	
<i>Development will be interspersed with landscaping, particularly behind the main road frontage, to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer. Low and open-style front fencing will contribute to a sense of space between buildings.</i>	
<b>Objectives</b>	1
<b>Principles of Development Control</b>	1, 2



## QUANTITATIVE STANDARDS

The proposal is assessed for consistency with the quantitative requirements of the Development Plan as outlined in the table below.

DEVELOPMENT PLAN PROVISIONS	STANDARD	ASSESSMENT
ADVERTISING AREA <i>Advertisements</i> <i>PDC 8</i>	20% of the area above 3.7m or above a canopy (maximum)	The signs are located below 3.7m.  <b>Satisfies</b>

## ASSESSMENT

### Desired character

Objective 1 and PDC 2 of Low Density Policy Area 20 seek development that contributes to the desired character of the policy area which, as noted above, emphasises the importance of the appearance of buildings when viewed from the street.

The proposed development includes a pergola that is attached to the main façade of the office building which is constructed of double brick. The pergola is white painted timber with the main horizontal beams sitting below the eave line of the existing office. The structure does not protrude forward of the current alignment of the front wall of the building and is considered to be of a modest scale in the context of the locality.

The sign attached to the fascia of the pergola is sited on the top of the central section of the pergola frame and is visible to pedestrians in the locality and motorists travelling east and west along Sir Donald Bradman Drive. The sign attached to the fence is also visible to pedestrians, cyclists and motorists travelling west. The colours, location and size of the two signs are not considered to detract from the locality and are generally in keeping with the existing built form and adjacent fencing.

Neither the pergola nor the signage are considered to detract from the character of the locality or oppose the desired character for the Residential Zone, notwithstanding that the signage is not residential in nature.

### Land use and zoning

In May 2012, Council granted approval for a change in use from a dwelling to office. This application remains valid and the conditions regarding the operations of the site remain valid as per DA 211/776/2011.

The current application for a pergola and signage (two items) is ancillary to this approved use. The signage is considered to be in scale with the existing building, frontage and fence upon the subject site and will assist customers of the business to find the location of the business, particularly those from interstate. The pergola and signage will not alter traffic movements or contribute to glare or any other negative externalities toward the adjacent residential interface.

As noted, the proposed development is non-complying. There are minimal provisions in both the Residential Zone and Low Density Policy Area 20 that relate specifically to signage as this form of development is generally not envisaged in the zone. Given Council's previous approval of the office use however, the proposed signage is considered appropriate and supports the existing land use on the site.

## Design and appearance

Both signs meet Objectives 1 and 2 of the Advertisements module of the Development Plan. The two panels of advertising are not considered to disfigure the urban landscape by way of their size and placement on the office building and existing perimeter fencing. The signage does not create a hazard due to the method of fixing. The signage is modest in size, is not illuminated or flashing, and is using colours that are not considered to be glary or distracting to motorists.

While the two proposed advertisements are not considered to *enhance* the appearance of the building and locality, as sought by Objective 3 of the Advertisements module, they do not detract from the appearance of the building and locality due to the positioning and scaling of the signage in the context of the building.

The proposed signs are also considered to meet PDCs 1 and 2 of the Advertisements module in that they do not create visual clutter or disorder, are of reasonable dimensions in relation to the existing commercial use of the site and do not cause driver distraction. The two signs are separated and face different directions which effectively reduces the visual impact from the street. The maximum height of the signage attached to the pergola is 3.7m and is sited centrally across the front gable and front chimney while the other sign does not protrude above the height of the fence on which it is attached. This avoids any visual impact on the adjoining residential flat building to the west while minimising the impact on the locality more broadly.

The proposed signage is largely consistent with PDCs 4, 5 and 6 of the Advertisements module in that the content of the advertisements relate to the business on the land, the signs are contained within the boundaries of the site and do not affect any landscaping or encroach over a footpath. While the signage does technically not meet PDC 6(d) as it is erected on residentially zoned land, it nonetheless complements an approved commercial land use on the site.

The proposed development is also considered to meet PDC 13 of the Design and Appearance module which seeks signage and buildings with a co-ordinated appearance that maintains the amenity of the locality (as discussed above in terms of the positioning and scale of the development in context with the built form). While the development is not considered to *enhance* the existing building, it nonetheless maintains the amenity of the locality and therefore accords with this provision.

## SUMMARY

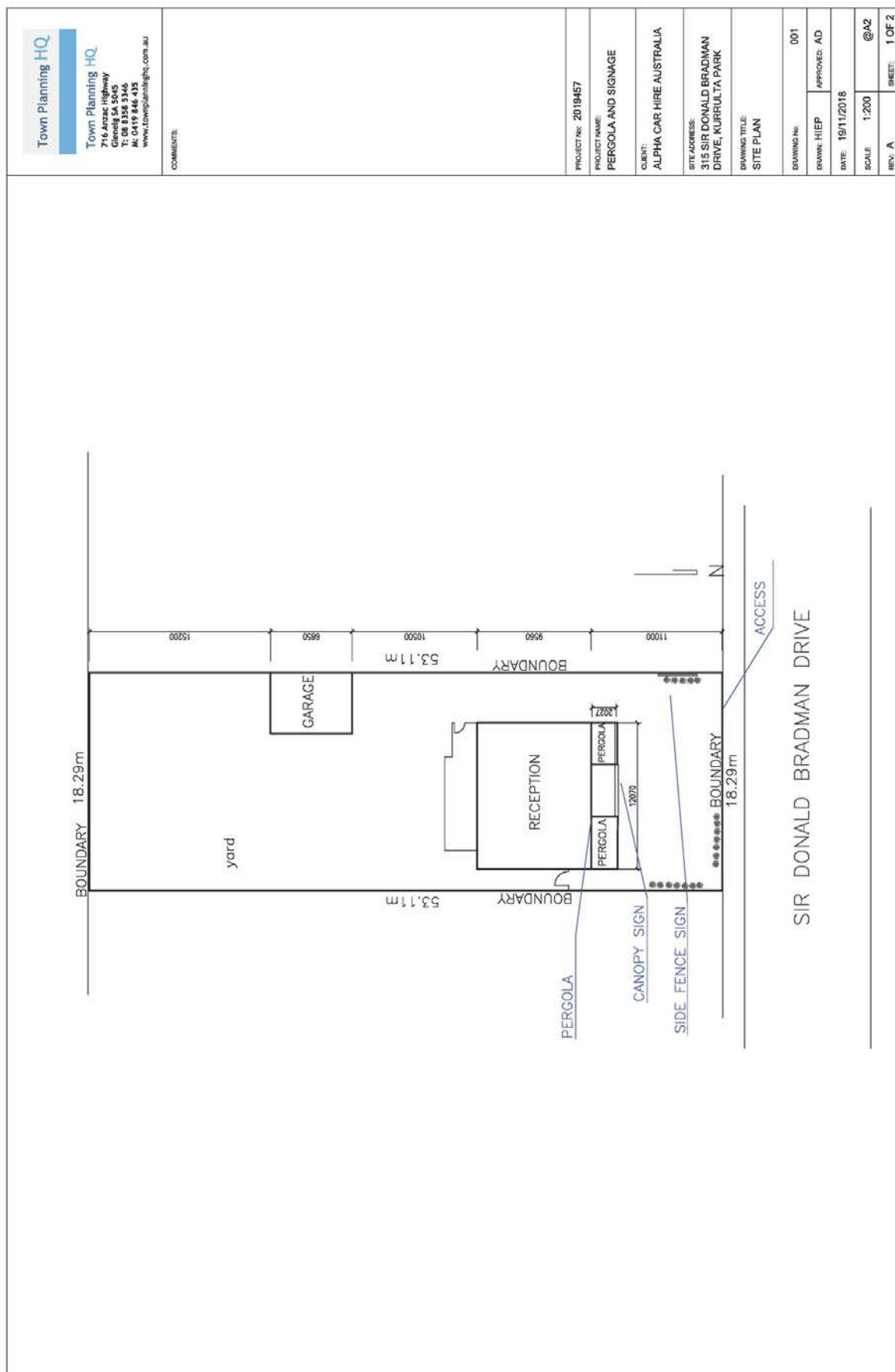
The proposed development meets the majority of the Development Plan provisions and provides advertising that directly relates to the approved commercial land use on the site. The siting of the pergola and the scale, colour and size of the advertising is considered reasonable to support the ongoing commercial use of the land.

Having considered all the relevant Objectives and Principles of the Development Plan, the proposal is not considered to be seriously at variance with the Development Plan.

On balance the proposed development sufficiently accords with the relevant provisions contained within the West Torrens Council Development Plan Consolidated 5 May 2016 and warrants Development Plan Consent subject to the concurrence of the SCAP.

## Attachments

1. **Proposal plans**
2. **Statement of Effect**



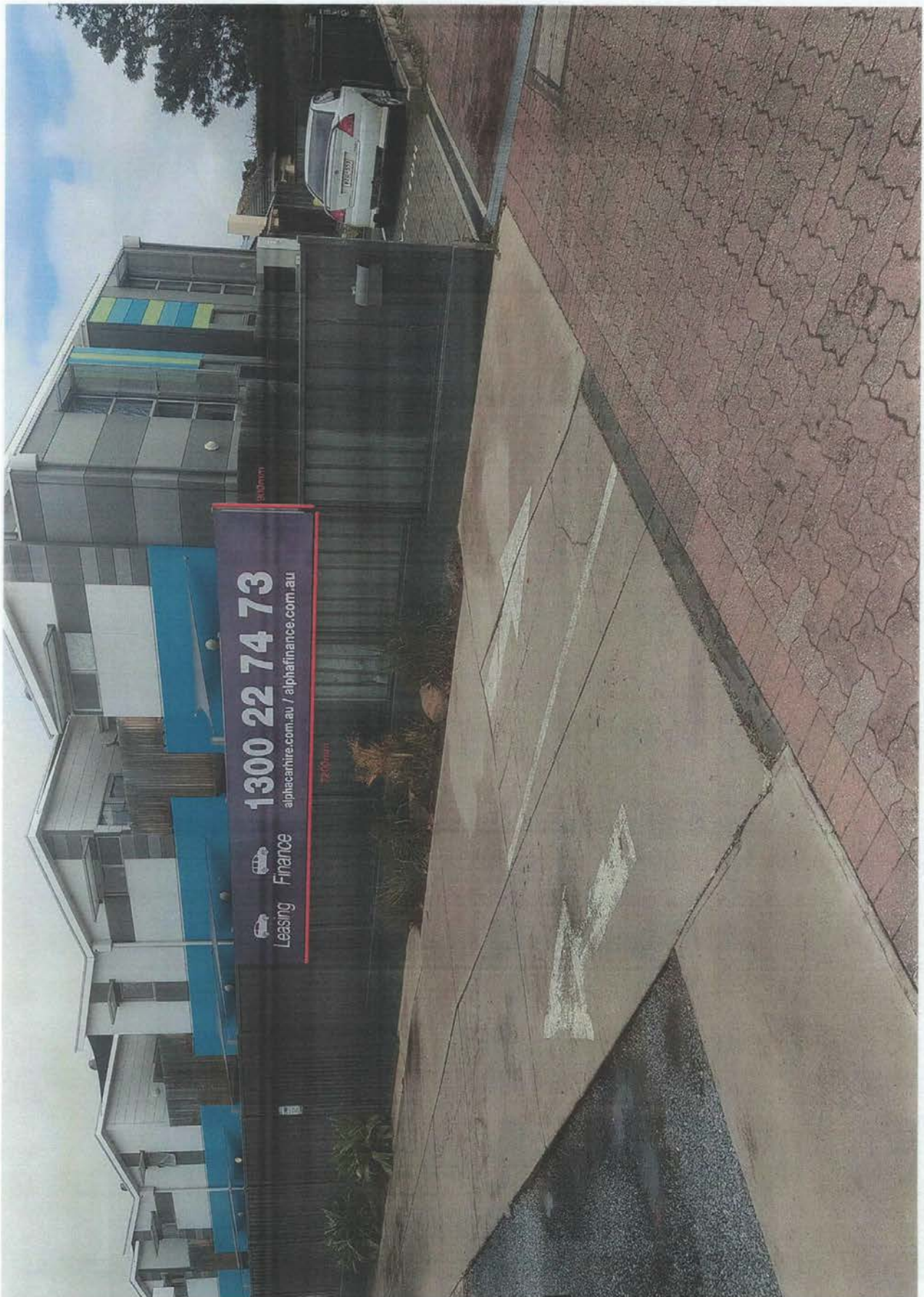


Timber - Machin Graded Pine [MGP10] Treated - Painted White - complying to AS/NZS1748  
Dynabolt placement - mounting to existing double brick structure











<p><b>Town Planning HQ</b></p> <p>Town Planning HQ 716 Arzac Highway Geelong VIC 3216 T: 08 8358 3346 M: 0419 846 435 www.townplanninghq.com.au</p>	<p>COMMENTS:</p>	<p>PROJECT NO: 2019457</p>	<p>PROJECT NAME: PERGOLA AND SIGNAGE</p>	<p>CLIENT: ALPHA CAR HIRE</p>	<p>SITE ADDRESS: 318 SIR DONALD BRADMAN DRIVE</p>	<p>DRAWING TITLE: SIGNAGE</p>	<p>DRAWING NO: 002</p>	<p>DRAWN: IR</p>	<p>APPROVED: AD</p>	<p>DATE: 18/11/2018</p>	<p>SCALE: 1:100</p>	<p>REV: A</p>	<p>SHEET: 2 OF 2</p>
<div data-bbox="432 792 576 1615"> <p>7200</p> <p>2200</p> <p>1300</p> <p>900</p> </div> <div data-bbox="584 1189 632 1543"> <p>SIDE FENCE SIGN</p> </div> <div data-bbox="719 1005 1070 1471"> </div> <div data-bbox="1102 1106 1150 1375"> <p>CANOPY SIGN</p> </div>													

## Town Planning HQ

20 November 2018

Ms Sonia Garrareello  
Planning Officer  
Corporation of the City of West Torrens  
165 Sir Donald Bradman Drive  
Hilton SA 5033

Dear Sonia

**Statement of Effect:**

Application: 211/2147/2016

Description: Construct a pergola to front of existing building and (single sided, non illuminated) signage to pergola and side boundary fence

Applicant: Alpha Car Hire Australia

Address: 315 Sir Donald Bradman Drive, Brooklyn Park 5032 SA Volume 5254  
Folio 982

Town Planning HQ has been engaged by Alpha Car Hire to assist with documentation of this development application. Reference is made to your letter dated 18 August 2018 that advises Council has determined to proceed to a full assessment of this non complying development application. I have prepared this Statement of Effect in accordance with Development Regulations 2008 and in particular Regulation 17(5). In accordance with that Regulation, this Statement of Effect describes and addresses:

- (a) a description of the nature of the development and the nature of its locality; and*
- (b) a statement as to the provisions of the Development Plan which are relevant to the assessment of the proposed development; and*
- (c) an assessment of the extent to which the proposed development complies with the provisions of the Development Plan; and*
- (d) an assessment of the expected social, economic and environmental effects of the development on its locality; and*
- (e) any other information specified by the relevant authority when it resolves to proceed with an assessment of the application (being information which the relevant authority reasonably requires in the circumstances of the particular case), and may include such other information or material as the applicant thinks fit.*

In preparing this Statement, I can confirm that I have inspected the subject land and locality, reviewed the proposed plans along with the most pertinent provisions of the West Torrens Council Development Plan consolidated 5 May 2016.

It was determined to provide you with amended plans. The plans and documents accompanying this Planning Statement are:

- Amended Site Plan
- Amended Elevations

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TPHQ

In my opinion this application for two signs and a pergola has planning merit and is a supportable form of development for an existing business at this location. The proposal is acceptable when balanced against all the relevant provisions of the Development Plan and the overall intent of the zone and unique long standing circumstances of the subject land. This will be explored within the content of this report.

## 1.0 Subject Land and Locality

### 1.1 Subject Land

The subject land is identified as Volume 5254 Folio 982 and is located at 315 Sir Donald Bradman Drive.

The site contains a single storey building with a total floor area of approximately 150m<sup>2</sup>. Top of roof height of this building is approximately 5.5 metres. The land contains an existing car park with associated landscaping and is used as a car hire facility.



Figure 1: Subject Land at 315 Sir Donald Bradman Drive.





## 1.2 Locality

The subject land is located at 315 Sir Donald Bradman Drive, Brooklyn Park. This is one kilometre to the entry to the Adelaide Airport. There are numerous signs within the locality including on the adjacent building, north including wall and freestanding signs on the place of worship opposite. A bus stop and associated shelter containing advertising are constructed on the street nearby. The nearest dwellings are located to the immediate south, west and east. This is one of Adelaide's busier arterial roads with two lanes west and two lanes east and bicycle lanes. There is a



Figure 2: The subject land faces the arterial Sir Donald Bradman Drive, which provides access to Adelaide Airport (west) and the CBD (east).

TPHQ



Figure 3: 317 Sir Donald Bradman Drive, immediately to west of subject land residential flat building with substantial colour elements to frontage.



Figure 4: 312 Sir Donald Bradman Drive, directly over road - place of worship with four signs

Alpha<sup>TM</sup>

TPHQ



Figures 5 and 6: 292 Sir Donald Bradman Drive, various signs to shop and a double sided illuminated sign opposite at bus stop.

## 2.0 Planning Assessment

The subject land is wholly contained within the Residential Zone, Policy Area 20, Low Density. The subject land is contained in Map WeTo/9 as shown in figure 2 above. The following planning assessment addresses the most relevant matters.

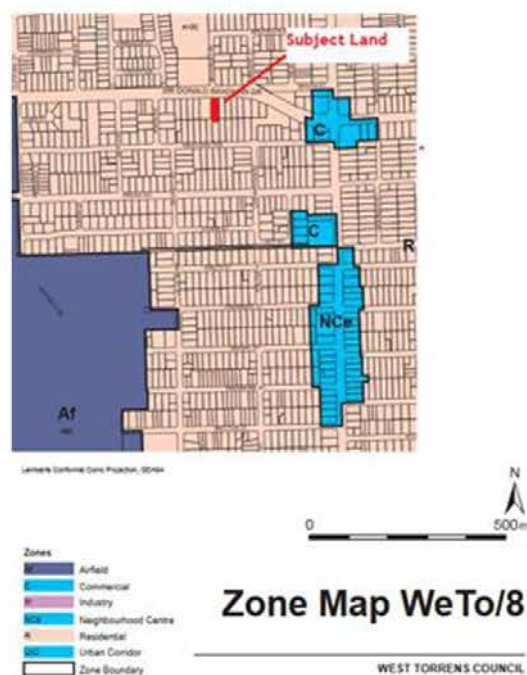


Figure 7: Subject land within the Residential Zone along Arterial Road

Alpha<sup>TM</sup>



TPHQ

## 2.1 Proposal

### Pergola:

The proposal is for a pergola structure forward of the two side bays of an existing commercial building on the land. The pergola provides some shade for the building, offers some visual relief and is a practical element. The pergola features the following:

- total area of 33.4m<sup>2</sup>
- total height of 3.2 metres plus hoarding of 0.9 metres x 4.85 metres
- Materials: Timber
- Colours: Dulux Sand (posts, beams) and Dulux Mauve (trim)

### Sign 1:

The proposal is for a canopy level sign attached to front of pergola on this commercial building as follows:

- Shape is rectangular, horizontal
- Height of hoarding 0.9 metres
- Width of hoarding 4.85 metres
- Top of sign hoarding from ground level 2.2 metres
- Advertising area Total 4.37m<sup>2</sup>
- non illuminated - single sided
- Hoarding material - Timber structure incorporated into pergola
- Colours: Dulux Sand (posts, beams) and Dulux Mauve (trim)



Figure 8: Sign 1: Hoarding to front of commercial building attached at canopy level to a pergola, non illuminated, flashing or moving.

Alpha™



TPHQ

**Sign 2:**

The proposal is for a canopy level sign attached to west fence on this commercial building as follows:

- Shape is rectangular, horizontal
- Height of hoarding 0.9 metres
- Width of hoarding 7.2 metres
- Advertising area Total 6.48m<sup>2</sup>
- non illuminated - single sided
- Colours: Dulux Sand (posts, beams) and Dulux Mauve (trim)

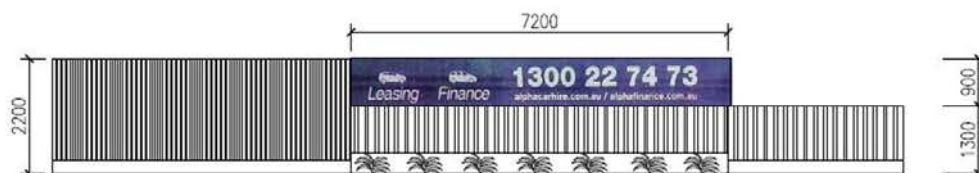


Figure 9: Sign 2: Hoarding to side fence, non illuminated, adjacent accessway from arterial road

- Metal sheeting, with high quality paint attached to existing boundary fence.

The total area of signage for signs 1 and 2 is 10.85m<sup>2</sup>.

## 2.2 Form of Development

Pursuant to Section 16 of the Development Regulations 2008 and in consideration of the proposed plans and the West Torrens Council Development Plan and in particular Procedures to the Residential Zone, applications for 'advertising and/or advertising hoarding' are a non complying form of development for assessment purposes. Unless deemed minor, the application attracts a Category 3 public notification process and will be publicly notified.

## 2.3 Referrals

There are no referrals required in accordance with Schedule 8 of the Development Regulations 2008 including in relation to advertising displays on or abutting arterial roads. The nearest intersection is 290 metres to the east.





### 3.0 Relevant Development Plan Provisions

The most relevant Council Wide Provisions of the Development Plan are as follows:

General Section		
Advertisements	Objectives	1,2,3
	Principles of Development Control	1,2,4,5,6,7,8,9,10,11,14,22,
Landscaping, Fences and Walls	Objectives	1,2
	Principles of Development Control	1,2,3,4,6
Orderly and Sustainable Development	Objectives	1
	Principles	1
Design and Appearance	Objectives	1
	Principles of Development Control	1,2,13,14,15
Residential Zone		
	Objectives	4
	Desired Character Statement	
	Principles of Development Control	1 (Land Use), 2,3
Medium Density Policy Area 18		
	Objectives	1
	Principles of Development Control	1(Land Use), 2 (Form and Character),

### 4.0 Planning Assessment

#### 4.1 Land Use

The Residential Zone Desired Character Statement anticipates non residential uses as follows:

*This zone will contain predominantly residential development. There may also be some small scale non-residential activities such as offices, shops, consulting rooms and educational establishments in certain locations. Non-residential activities will be complimentary to surrounding dwellings.*

Principle of Development Control 3 of the Residential Zone provisions also anticipates non residential uses:







- 3 Non-residential development such as shops, schools and consulting rooms should be of a nature and scale that:
  - (a) serves the local community
  - (b) is consistent with the character of the locality
  - (c) does not detrimentally impact on the amenity of nearby residents.

Similarly the Policy Area 18 to the Zone into which the subject land and its immediate locality falls also anticipates non residential uses as follows:

#### **Land Use**

- 1 The following forms of development are envisaged in the policy area:
  - small scale non-residential use that serves the local community, for example:
    - child care facility
    - open space
    - recreation area
    - shop, office or consulting room

I understand that the land use is approved for the current operation by Alpha Car Hire Australia. It is reasonable to anticipate that an approved commercial or community land use will have associated signage. For example, there are four signs associated with and existing place of worship directly over Sir Donald Bradman Drive. Albeit advertisements, without exceptions as outlined in the Procedures to the Residential Zone attract a non-complying form of assessment, the signs proposed for approval at 315 Sir Donald Bradman Drive can be anticipated as a minimum requirement. They assist drivers to identify the correct property for vehicle pick up and drop off to this car hire facility. Users of hire cars are often not familiar with the local environment and the signs as proposed assist to manage the flow of traffic along this arterial road that hosts Adelaide Airport Road.





## 4.2 Siting

Council wide provisions relating to siting of Advertisements advise:

- 1 The location, siting, design, materials, size, and shape of advertisements and/or advertising hoardings should be:
  - (a) consistent with the predominant character of the urban or rural landscape
  - (b) in harmony with any buildings or sites of historic significance or heritage value in the area
  - (c) co-ordinated with and complement the architectural form and design of the building they are to be located on.
- 2 The number of advertisements and/or advertising hoardings associated with a development should be minimised to avoid:
  - (a) clutter
  - (b) disorder
  - (c) untidiness of buildings and their surrounds
  - (d) driver distraction.
- 4 The content of advertisements should be limited to information relating to the legitimate use of the associated land.
- 5 Advertisements and/or advertising hoardings should:
  - (a) be completely contained within the boundaries of the subject allotment
  - (b) be sited to avoid damage to, or pruning or lopping of, on-site landscaping or street trees
  - (c) not obscure views to vistas or objects of high amenity value.
- 7 Advertisements and/or advertising hoardings attached to buildings should not be sited on the roof or higher than the walls of a building.

### Advertising along Arterial Roads

- 22 Advertising and/or advertising hoardings should not be placed along arterial roads that have a speed limit of 80 km/h or more.

The proposed signs are being constructed on private land, and set back from the arterial road boundary. They contain information that relates to the use of the land and assist clients to orientate themselves along a busy arterial road.

The proposed scale and size of the pergola and signs are in keeping with the single storey nature of the associated single storey building and do not dominate the buildings on private land adjacent. Neither the proposed pergola canopy sign or sign at the western boundary fence line are at a point higher than the top of existing wall or fence structures respectively. Therefore the signs appear subservient to the





associated structures. The speed limit in this section of the arterial road is 60 kilometres per hour.

Advertising hoardings and signs can be anticipated in a Zone and Policy Area that anticipates non residential land uses and the proposed signs are a restrained example of reasonable advertising to support a business in South Australia. This is reasonably in accordance with the provisions of the Development Plan in relation to siting.

#### 4.3 Safety

The Council Wide Principles of Development Control relating to Advertisements advises:

- 2 Advertisements and/or advertising hoardings that do not create a hazard.
- 14 Advertisements and/or advertising hoardings should not create a hazard by:
  - (a) being so highly illuminated as to cause discomfort to an approaching driver, or to create difficulty in the driver's perception of the road or persons or objects on the road
  - (b) being liable to interpretation by drivers as an official traffic sign, or convey to drivers information that might be confused with instructions given by traffic signals or other control devices, or impair the conspicuous nature of traffic signs or signals
  - (c) distracting drivers from the primary driving task at a location especially where the demands on driver concentration are high
  - (d) obscuring a driver's view of other road or rail vehicles at/or approaching level crossings, or of pedestrians or of features of the road that are potentially hazardous (eg junctions, bends, changes in width, traffic control devices).

The proposed signs do not create a hazard and assist with driver orientation. They are located away from the arterial road wholly on private land. It is unlikely to result in unreasonable driver distraction or loss of view of the road or other road features on Sir Donald Bradman Drive.

The proposed signage hoarding is located more than 290 metres from the nearest traffic control device (north, corner Sir Donald Bradman Drive and Marion Road). The advertising will not create a hazard at that intersection.

#### 4.4 Form and Character

Council Wide Advertisements provisions of the Development Plan advise:

- 1 Urban and rural landscapes that are not disfigured by advertisements and/or advertising hoardings.
- 3 Advertisements and/or advertising hoardings designed to enhance the appearance of the building and locality.





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- 8 The total advertisement area on the fascias, parapets, gable ends, windows and other surfaces of buildings should not exceed:
  - (a) 20 per cent of the sides of the building
  - (b) in relation to the front wall of a building, 20 per cent of the area above 3.7 metres or above a canopy.
- 9 Advertisements and/or advertising hoardings erected on a veranda or that project from a building wall should:
  - (a) have a clearance over a footway to allow for safe and convenient pedestrian access
  - (b) where erected on the side of a veranda, not exceed the width of the veranda or project from the veranda
  - (c) where erected on the front of a veranda, not exceed the length of the veranda or project from the veranda
  - (d) where projecting from a wall, have the edge of the advertisement or advertising hoarding abutting the surface of the wall.
- 10 Advertisements should be designed to conceal their supporting advertising hoarding from view.
- 11 Advertisements should convey the owner/occupier and/or generic type of business, merchandise or services using simple, clear and concise language, symbols, print style and layout and a small number of colours.
- 12 Advertisements which perform a secondary role in identifying the business, goods or services should only be readable in the immediate vicinity of the site.

Principle of Development Control 3 for the Residential Zone advises that non-residential development should serve the local community, be consistent with the locality's character and not detrimentally impact on resident's amenity.

The total sign area is 10.85m<sup>2</sup>. The sign area of Sign 1 which is attached to the building is 4.37m<sup>2</sup>. This is substantially less than PDC8 of the Advertisement provisions advises.

The building has been painted in white with a sophisticated highlight that matches the sign colour. High quality materials proposed for the pergola and the signs and the restrained advertising graphics on the signs enhance, rather than detract from, the character and amenity of the locality. The proposed sign materials are not highly reflective and the colours and materials are not highly reflective.

There are other signs in the locality including four associated with a place of worship opposite. The use of colour in the proposed advertising is appropriate in the setting in that the two storey medium density residential flat building adjacent has extensive colour on its façade and the place of worship opposite employ multiple blocks of bright colours to highlight their substantial buildings.





The total area of signage is 10.85m<sup>2</sup>. This does not constitute a proliferation of signage.

The proposed advertising hoarding and advertising is considered to be reasonably in context within the immediate locality and will not adversely impact on that amenity.

#### **4.5 Interface Between Land Uses**

Residential land uses are south, east and west of the subject land. The arterial Sir Donald Bradman Drive is to the immediate north. In my opinion advertising signs can be anticipated to support an approved commercial use and will not affect the residential amenity of neighbouring properties which are adjacent the arterial Sir Donald Bradman Drive. The pergola and signs will not be a source of light and cannot be particularly seen from any dwelling in the locality. The signs are not distracting for drivers and indeed provide some guidance as to the location of the property and the access point. The proposal will not jeopardise the continuance of any adjoining authorised land use. The requirements of the Development Plan in relation to Interface Between Land Uses are reasonably met.

#### **4.6 Orderly and Sustainable Development**

The proposal is for a development that will not prejudice the achievement of the Zone's intended purpose. It supports an approved land use and does not prejudice achievement of the provisions of the Development Plan. The proposal is for orderly and economical development that will enhance rather than detract from a safe, pleasant and convenient environment.

#### **4.7 Landscaping and Site Presentation**

The subject land is fenced on three sides and landscaped, offering a well considered balance between building, signage, fencing and landscaping. This is reasonably in accordance with the Development Plan requirements.

#### **5.0 Social, Economic and Environmental Impacts**

The impacts of the development are generally positive. There are opportunities that arise from promoting businesses in South Australia. This business is located on an arterial road and is close to Adelaide Airport.

##### **5.1. Social Impacts**

The proposed pergola and signage are reasonably small scale and well located. They are unlikely to have a negative impact on residential neighbour's in that they are non-illuminated and cannot be particularly viewed from any neighbouring house. The property is adjacent a busy arterial road.





## 5.2 Economic Impacts

The proposed pergola and signs improve the profile of this property and enable navigating to the accessway safe. A healthy car hire business operating close to the airport in a capital city is in the interest of clients as well as the landowner and operator. The more sustainable a business is able to become, the more likely management is to employ staff. This is desirable and necessary in South Australia.

## 6.0 Environmental Impacts

The proposed land use reuses an existing building which preserves embedded energy. There will be no trees removed to achieve the development.

There is a trend towards people hiring cars on an as-needs basis rather than owning one themselves. This is ecologically more responsible than the environmental cost of individual car ownership including in an area where residential density is increasing. Car hire facilities should be available to the public and good signage will assist with navigation along this busy arterial road.

## 7.0 Conclusion

The proposal represents a form of development that is not seriously at variance with the Development Plan in accordance with Section 35(2) of the Development Act 1993. It is considered that the proposal has planning merit, is supportable and reasonably accords with the most relevant provisions of the West Torrens Development Plan. In summary the proposal is worthy of Development Plan Consent and:

- Represents orderly and sustainable development that does not prejudice development of the zone for its intended purpose nor unreasonably affect the conduct of any approved land use.
- The pergola is a reasonable addition that adds character to this commercial building with a hoarding for sign that is appropriately centralised over the building's doorway wholly within the central bay of the building. A second sign highlights the legitimate access and egress point from the arterial road to the property.
- The proposal is unlikely to cause unreasonable safety issues along the arterial road:
  - The signs are not illuminated nor moving in any way.
  - The nearest traffic light is 290 metres to the east.
  - Graphics are not distracting in a manner that may cause risk to safety.







- Provides an advertising hoarding and non-illuminated advertising for an approved land use in a Zone and Policy Area that anticipates a range of land uses.
- Details and any future signs can be managed through the imposition of conditions.

Please contact Angela Davison for further information on 08 8358 5346.

Yours sincerely

A handwritten signature in blue ink that reads 'Angela Davison'.

Angela Davison MBEEnv. MPIA M.AITPM



**6.5 125 & 127 Marion Road, RICHMOND**

Application No 211/41/2017 &amp; 211/996/2017

**DEVELOPMENT APPLICATION DETAILS**

DEVELOPMENT PROPOSAL	Land Division - Torrens Title; SCAP No. 211/D224/16 - To create one (1) additional allotment (125 Marion Road only)	Change of use from display home to residential dwelling and the continuation of the car park use in association with the office use of the land located at 127 Marion Road, Richmond
ADDRESS	125 Marion Road, Richmond	125 and 127 Marion Road, Richmond
APPLICANT	Distinctive Homes Pty Ltd c/- Fyfe Pty Ltd	Distinctive Homes c/- Fyfe Pty Ltd
APPLICATION NO	211/41/2017	211/996/2017
LODGEMENT DATE	22 December 2016	7 September 2017
ZONE	Neighbourhood Centre Zone	
POLICY AREA	Richmond Policy Area 14	
APPLICATION TYPE	Merit	Non-complying
PUBLIC NOTIFICATION	Category 1	Category 1
REFERRALS	External <ul style="list-style-type: none"> <li>SA Water</li> <li>SCAP</li> </ul>	
DEVELOPMENT PLAN VERSION	5 May 2016	30 May 2017
RECOMMENDATION	Support with conditions	
AUTHOR	Sonia Gallarello	

**RECOMMENDATION 1**

The Council Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent, Land Division Consent and Development Approval for Application No. 211/41/2017 by Distinctive Homes to undertake Land Division - Torrens Title SCAP No. 211/D224/16 - To create one additional allotment at 125 Marion Road, Richmond (CT 5413/725) subject to the following conditions of consent:

**Development Plan Consent Conditions**

1. That the development shall be undertaken and completed in accordance with the plans and information detailed in this application except where varied by any condition(s) listed below.  
*Reason: To ensure the proposal is established in accordance with plans and documents lodged with Council.*

**Land Division Consent Conditions****Council Conditions**

Nil

## State Commission Assessment Panel Conditions

2. The alteration of internal drains to the satisfaction of SA Water is required.

On receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non-standard fees.

On approval of the application, all internal water piping that crosses the allotment boundaries must be severed or redirected at the developer's/owner's cost to ensure that the pipework relating to each allotment is contained within its boundaries.

*Reason: To satisfy the requirements of the SA Water Corporation.*

3. Payment of \$6676 into the Planning and Development Fund (1 allotment @ \$6676/allotment).

Payment may be made by credit card via the internet at [www.edala.sa.gov.au](http://www.edala.sa.gov.au) or by phone (7109 7018), by cheque payable to the State Planning Commission marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Level 5, 50 Flinders Street, Adelaide.

*Reason: To satisfy the requirements of the State Commission Assessment Panel.*

4. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the Development Assessment Commission for Land Division Certificate purposes.

*Reason: To satisfy the requirements of the State Commission Assessment Panel.*

## RECOMMENDATION 2

The Council Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent and Development Approval for Application No. 211/996/2017 by Distinctive Homes C/- Fyfe Pty Ltd to undertake a change of use from display home to residential dwelling and the continuation of the car park use in association with the office use of the land located at 125 and 127 Marion Road, Richmond (CT 5413/725 and CT 5207/100) subject to the following conditions of consent and the concurrence of the State Commission Assessment Panel (SCAP):

## Council Conditions

1. The development shall be undertaken and completed in accordance with the following plans and information (except where varied by any condition(s) listed below):
  - Site and Drainage Plan by Ginos Engineers Pty Ltd, Drawing No 22525-1 SR2-1/B including vegetated swale.
  - Ground floor and First floor plan by Distinctive Homes Pty Ltd, Plan No. 8918C, Plan amended 6/7/18.
  - Elevation plan by Distinctive Homes Pty Ltd, Plan No 8918C, Plan amended 18/12/12.
  - Sonus report dated 3 July 2018 including the following two measures:
    1. high density insulation be installed between the roof and Bed 2 and Bed 3 as shown on Plan No 8918C;
    2. north eastern room be converted to a study as shown on Plan No 8918C.
  - Letter from Distinctive Homes dated 9 July 2018.

*Reason: To ensure the proposal is developed in accordance with the plans and documents lodged with Council.*



2. The northernmost space in the carpark shall be designated as 'no parking' and be used as a turning bay.

*Reason: To ensure safe manoeuvring within the carpark and improved ability to exit in a forward direction.*

3. All signage associated within the carpark shall be removed within 1 month from the date of Development approval.

*Reason: To reduce visual clutter.*

4. All stormwater design and construction will be in accordance with Australian Standards and recognised engineering best practices to ensure that stormwater does not adversely affect any adjoining property or public road and, for this purpose, stormwater drainage will not at any time:

- a) Result in the entry of water into a building; or
- b) Affect the stability of a building; or
- c) Create unhealthy or dangerous conditions on the site or within the building; or
- d) Flow or discharge onto the land of an adjoining owner; or
- e) Flow across footpaths or public ways.

*Reason: To ensure that adequate provision is made for the collection and dispersal of stormwater.*

5. All driveways, parking and manoeuvring areas will be formed, surfaced with concrete, bitumen or paving, and be properly drained prior to occupation, and shall be maintained in good condition at all times to the satisfaction of Council.

*Reason: To ensure the ongoing use and safety of vehicle parking and manoeuvring areas.*

6. The vegetated swale as shown on site and drainage plan by Ginos Engineers Pty Ltd, Drawing Number 22525-1, SR2-1/B shall be reinstated for the duration of the use of the car park within 6 months from the date of Development Approval.

*Reason: To improve the appearance of the car park and the quality of stormwater run-off.*

7. Prior to the occupation of the development, the upper storey windows on the northern, eastern and western elevations shall be fitted with fixed obscure glass or raised sills to a minimum height of 1.7 metres above the upper floor level to minimise the potential for overlooking of adjoining properties. The glazing in these windows shall be maintained in good condition at all times to the satisfaction of Council.

*Reason: To maintain the level of privacy for residents of adjoining dwellings.*

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## BACKGROUND

The development proposal is presented to the Council Assessment Panel (CAP) for the following reasons:

- All applications for non-complying forms of development shall be assessed and determined by the CAP.
- Where the Chief Executive Officer or the Assessment Manager form the opinion that the relevant application warrants consideration and determination by the CAP.

The land division application was lodged prior to the land use application. There was reference on the land division plan to a proposed office space. More information was required in terms of what would happen to the existing land uses if the division was approved as the display home and the car park were linked in a previous application. Accordingly, it was considered prudent for the CAP to consider both applications concurrently as they inform each other.

**PREVIOUS OR RELATED APPLICATION(S)**

DA Number	Description of Development	Decision	Decision Date
211/859/2002	Land Division	Refused (lack of information)	11/9/2003
211/636/2006	Construct a two storey office with associated car parking	Approved	20/12/2007 21/9/2010
211/636/2006/A	Variation of two storey office consent - reduction of tenancies	Approved	13/7/2012
211/1442/2009	Demolition of dwelling and outbuildings	Approved	4/1/2010
211/1105/2012	Construction of a display home, advertising signage (x2) and car park with landscaping	Approved	9/4/2013 14/6/2013
211/1105/2012/A	Variation to construction of a display home, advertising signage (x2) and car park with landscaping - addition of balcony & verandah	Approved	13/6/2013 3/7/2013
211/1105/2012/B	Variation to construction of a display home, advertising signage (x2) and car park with landscaping, balcony & verandah - addition of rear verandah / alfresco area	Approved	26/9/2013 11/10/2013

The most relevant previous application is DA 211/1105/2012 which was considered at the City of West Torrens Development Assessment Panel (DAP) meeting of 9 April 2013. The application was granted consent with the following condition imposed:

*The building shall not be used as a dwelling without a prior development approval being issued.*

The application for a change in land use subject to this assessment has been lodged as a result of the above condition.

A copy of the relevant agenda report and minutes of the DAP meeting dated 9 April 2013 is contained in **Attachment 1**.

## **SITE AND LOCALITY**

The subject site comprises two parcels at 125 and 127 Marion Road, Richmond. 125 Marion Road is located on the north-eastern corner of Marion Road and Craig Street. It comprises a car park providing 10 line-marked spaces and associated signage on the western corner of the site. The eastern portion of the site contains a two storey dwelling which has been used by Distinctive Homes as a display home for more than 5 years.

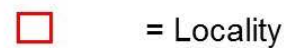
127 Marion Road is located on the south-eastern corner of Marion Road and Craig Street. This site accommodates a two storey building that appears as a two storey tudor dwelling with dormer windows. It is currently used as offices for Distinctive Homes. Car parking is provided in association with this office to the east of the building with access via two crossovers from Craig Street. The building and car parking located at 127 Marion Road is to remain unaltered.

To the rear (north) of 125 Marion Road is a concrete channel that forms part of Keswick Creek. To the north-west is the former Council depot and to the south-west is a fast food outlet, petrol filling station and other commercial businesses along Marion Road. On the eastern side of Marion Road and south of the subject sites is a consulting room, hairdresser and shops together with other commercial uses further south. To the north and east of the subject site and north-west along Ralph Street, development is predominantly residential.

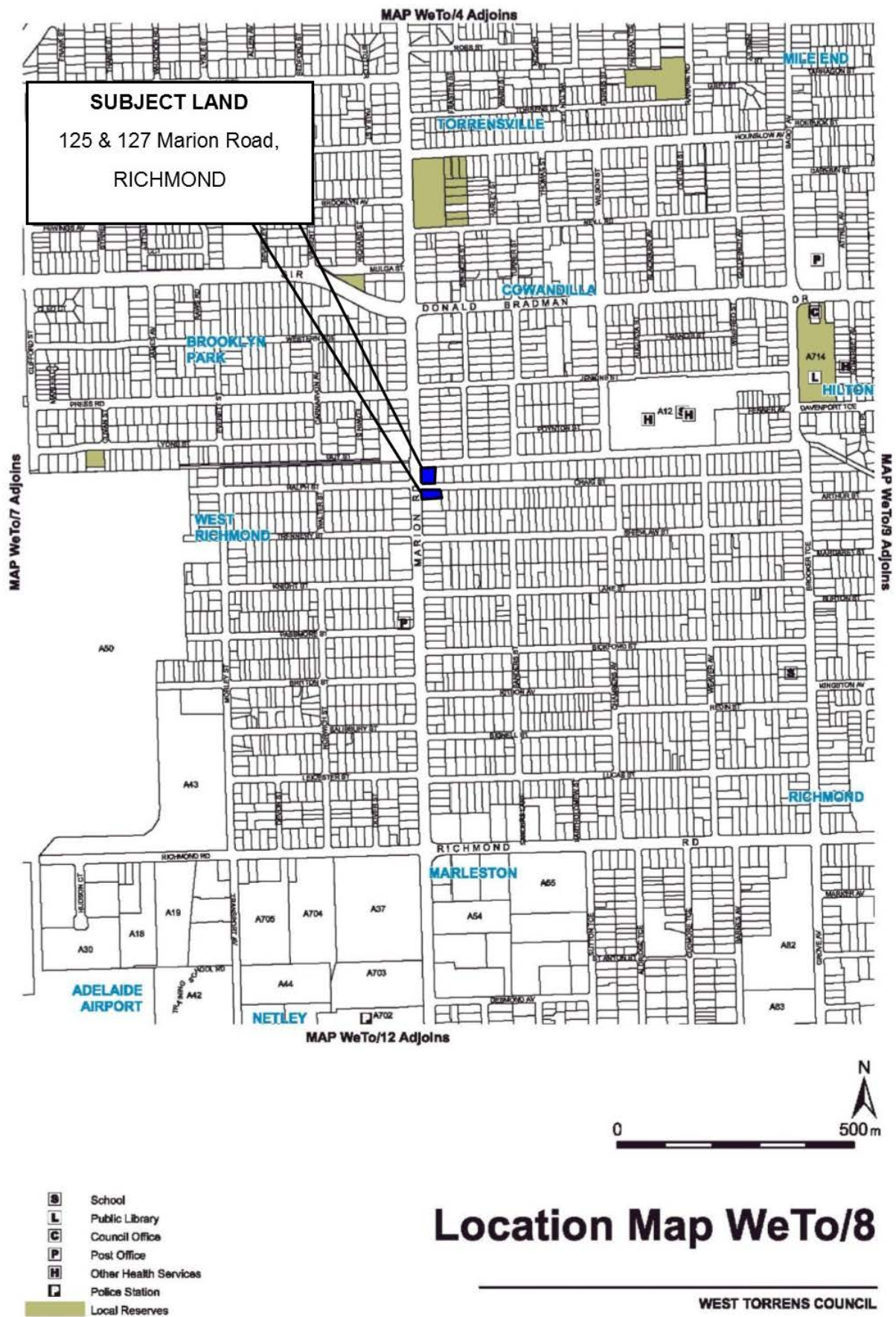
The Australian Noise Exposure Forecast (ANEF) 25 contour cuts through the north-western tip of the existing car park located on 125 Marion Road. As a primary arterial road, Marion Road currently carries around 35,600 vehicles per day.

The site and locality are shown on the following maps and aerial imagery.









## PROPOSAL

### Land Division (211/41/2017)

The applicant proposes a Torrens Title land division with the following allotment dimensions:

Allotment	Allotment Area	Allotment Frontage (to Marion Road)	Allotment Frontage (to Craig Street)
15 (existing car park)	504m <sup>2</sup>	30m	12.3m
16 (existing display home)	435m <sup>2</sup>	N/A	13m

### Land Use (211/996/2017)

The built form application consists of a change of use of a commercial display home to a dwelling, to be used for residential purposes. Minor internal alterations are proposed to improve the acoustic performance of the dwelling including additional insulation in the roof space. Further changes involve the conversion of the office to a garage, study to bedroom 4 on the ground floor and bedroom 4 to study on the first floor. These changes do not constitute building work and will not require building rules consent.

The car park on the western portion of 125 Marion Road is to remain bitumenised and line-marked. Previous approved plans showed a swale on the western and southern edges of this car park. It is suggested that this be re-instated and conditioned accordingly. The car park is to be used in association with the office use at 127 Marion Road and will provide 10 additional car parking spaces (surplus to the needs of the office use at 127 Marion Road). One space on the northern side of the car park is to be adapted into a manoeuvring area.

Access arrangements for proposed allotments 15 and 16 at 125 Marion Road and the proposed dwelling at 127 Marion Road will be via Craig Street as currently exists. There are no access points from Marion Road.

A copy of the plans and supporting documents is contained in **Attachment 2**.

## NON-COMPLYING DEVELOPMENT

The change of use application (DA 211/996/2017) is a non-complying form of development as a *"dwelling...except where it is above a non-residential development"* is listed as non-complying development in the Procedural Matters of the Neighbourhood Centre Zone. The applicant has provided a Statement of Effect pursuant to Regulation 17 of the *Development Regulations 2008* (refer **Attachment 3**). This document highlights a number of social, economic and environmental impacts associated with the proposed development as follows:

- An increase in residential population increases the demand for services and provides an increased economic base for the Neighbourhood Centre.
- The dwelling will provide for an increase in passive surveillance within the locality, important at the interface of two zones.
- The dwelling is modern, well designed and will provide more housing choice for the western suburbs.
- The change from a low intensity commercial use to residential development incorporating high quality landscaping is likely to enhance amenity for adjoining residents.
- The development allows for the retention and re-use of stormwater.

The applicant has not indicated any negative impacts associated with the proposal and, in consideration of the above, there appears to be minimal adverse social, economic or environmental effects arising from the proposed development.



Should the CAP resolve to approve the application, the concurrence of the State Commission Assessment Panel is required. Alternatively, should the CAP refuse the application, no appeal rights are afforded to the applicant. As the Administration resolved, under delegation, to proceed with an assessment of the proposal, the application is now presented to the CAP for a decision.

## REFERRALS

### Land Division (211/41/2017)

#### Internal

Nil

#### External

##### SA Water

SA Water has no concerns other than requesting that all internal water piping that crosses the allotment boundaries be severed or redirected at the developer's/owner's cost to ensure that the pipework relating to each allotment is contained within its boundaries.

##### SCAP

SCAP has no concerns and has included a standard suite of conditions should the application be supported.

The relevant referral responses are contained within **Attachment 4**.

### Land Use (211/996/2017)

No referrals were required as there were no changes to the existing access or stormwater drainage requirements.

## RELEVANT DEVELOPMENT PLAN PROVISIONS

The subject land is located within the Neighbourhood Centre Zone as described in the West Torrens Council Development Plan. The main provisions of the Development Plan which relate to the proposed developments are as follows:

<u>General Section</u>		
<i>Building near Airfields</i>	<i>Objectives</i>	1
	<i>Principles of Development Control</i>	1, 6, 7
<i>Centres and Retail Development</i>	<i>Objectives</i>	1, 2, 3, 4, 5
	<i>Principles of Development Control</i>	1, 2, 3
<i>Infrastructure</i>	<i>Objectives</i>	1, 2, 3
	<i>Principles of Development Control</i>	1, 2, 3, 4, 8, 9,
<i>Interface between Land Uses</i>	<i>Objectives</i>	1, 2, 3
	<i>Principles of Development Control</i>	1, 2, <b>3</b> , <b>4</b> , 5, 6
<i>Land Division</i>	<i>Objectives</i>	1, 2, 3, 4
	<i>Principles of Development Control</i>	1, 2, 5, 6, 12, 17
<i>Landscaping, Fences and Walls</i>	<i>Objectives</i>	1
	<i>Principles of Development Control</i>	2, 3, 4
<i>Natural Resources</i>	<i>Objectives</i>	2, 3, 5
	<i>Principles of Development Control</i>	1, 2, 3, 12, 38, 39
<i>Orderly and Sustainable Development</i>	<i>Objectives</i>	1, 2, 3, 4, 5
	<i>Principles of Development Control</i>	1, 5, 7, 8
<i>Residential Development</i>	<i>Objectives</i>	1, 2, 4
	<i>Principles of Development Control</i>	1, 3, 5, 6, 18, 19, 27, 31

<i>Zone: Neighbourhood Centre Zone</i>	
<i>Desired Character Statement: N/A</i>	
<i>Objectives</i>	<i>1, 2, 3</i>
<i>Principles of Development Control</i>	<i>1, 2, 3, 4, 6</i>

<i>Policy Area: Richmond Policy Area 14</i>	
<p><i><u>Desired Character Statement:</u></i></p> <p><i>This policy area will function as a neighbourhood centre providing a range of services and facilities to cater for the daily and weekly needs of the surrounding population. Currently, a diverse range of facilities is provided, with the exception of a supermarket. The policy area should have a maximum total gross leasable retail floor space in the order of 2500 square metres.</i></p> <p><i>Retailing will be the predominant activity in the area marked 'Retail Core' on the Concept Plan Map WeTol22 - Richmond Neighbourhood Centre.</i></p> <p><i>The eastern side of Marion Road will accommodate a range of offices, service, commercial, community and entertainment facilities, bulky goods outlets and a limited range of small-scale low traffic generating retail outlets.</i></p> <p><i>New development will have limited setbacks from the Marion Road property boundary and provide a continuous built-edge to the street with unifying features such as verandas and similar façade treatment. Buildings will incorporate verandas along the street frontage for pedestrian comfort. Car parking areas will be provided to the rear of buildings with access from the side streets. Densely planted landscape buffers will be provided along the interface of the centre and adjoining zones.</i></p>	
<i>Objectives</i>	<i>1</i>
<i>Principles of Development Control</i>	<i>1, 4, 5</i>

## QUANTITATIVE STANDARDS

A quantitative assessment for this proposal is not required for the following reasons:

- the potential use of the display home as a future dwelling was previously considered during the assessment of DA 211/1105/2012 by the DAP; and
- the zoning of the subject site is the same as it was for the previous DAP assessment.

## ASSESSMENT

In assessing the merits or otherwise of the application, the proposed development is discussed under the following sub headings:

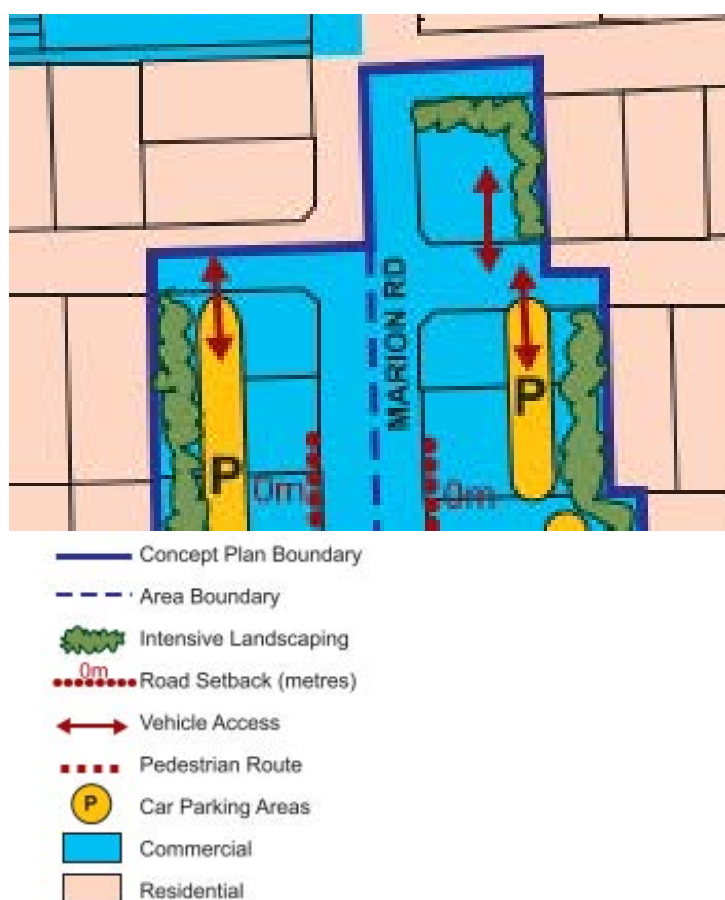
### Land Use and Zoning

Objective 3 of the Neighbourhood Centre Zone seeks a centre that accommodates residential development only in conjunction with non-residential development. In this case, the proposal is for a residential (underlined for emphasis) development at 125 Marion Road and a car park in association with a commercial office use at 127 Marion Road, therefore accommodating both types of use. However PDC 4 of the Neighbourhood Centre Zone is more specific and seeks residential development to be located behind or above non-residential uses on the same allotment. The proposed development will clearly result in a separate residential use on allotment 16 and a separate commercial use on allotment 15 which does not comply with PDC 4. Despite this departure, the proposed development allows for a residential use and potential future commercial use on the car park site which would be in keeping with the intent of PDC 4.

PDC 3 of the Neighbourhood Centre Zone requires development comprising both residential and non-residential uses to only be undertaken if it does not prejudice the operation of existing or future non-residential activity within the zone. The development proposes to convert an existing building to residential on the eastern allotment, immediately adjacent the Residential Zone (Low Density Policy Area 20). It is considered that the displacement of one 435m<sup>2</sup> parcel of land for residential use within the broader Neighbourhood Centre Zone is unlikely to compromise the ongoing functionality or purpose of this zone. In addition, the car park remaining on proposed allotment 15 could be developed for commercial purposes in the future and does not remove this opportunity.

Visually, there will be minimal changes to the streetscape. While the proposed residential use will function differently in terms of traffic movements and time of occupation, it is considered to be a negligible change with little if any impact on adjoining residents or uses. The proposed dwelling has adequate car parking provision, setbacks, private open space, internal storage and landscaping, and will incorporate appropriate window treatments to maintain privacy. Internal alterations to the dwelling are relatively minor and will improve noise attenuation and reduce impacts from aircraft noise.

PDC 5 of the Richmond Policy Area 14 seeks development that complements the Richmond Neighbourhood Centre Zone Concept Plan (Map WeTo/22) shown below. The proposed access arrangements from Craig Street to the subject sites is in line with this concept and the development more generally is not contrary to the concept plan. While the concept shows intensive landscaping on the northern side of proposed allotments 15 and 16 and eastern side of allotment 16, it is not considered to be warranted in this case given the established uses and minimal changes proposed to the existing built form.



**Figure 1: Richmond Neighbourhood Centre Zone Concept Plan Map WeTo/22**

Accordingly, the proposal to convert a display home to a dwelling and maintain an existing car park is supported as it will result in little change to the current situation in terms of built form and use of the site.



## Land Division

PDC 6 of the Neighbourhood Centre Zone seeks land division that is appropriate and provides allotments of a size and configuration to ensure the objectives of the zone can be achieved. This is similar to PDC 5 of the Land Division module which seeks land to be divided to provide suitably sized allotments for the intended use. The proposed rectangular allotment areas of 504m<sup>2</sup> and 435m<sup>2</sup> are considered to be of a suitable size and shape to allow for both residential and future commercial development that accords with the objectives of the zone while satisfying the above-named provisions.

In addition, both proposed allotments have adequate access to infrastructure (provided the sewer is relocated as per SA Water's recommendation) while the proposed dwelling on allotment 16 maintains a northern area of private open space allowing for optimum solar access for energy efficiency, thereby meeting Objective 1 and PDCs 1 and 6 of the Land Division module.

Accordingly, in formalising the existing built form and car park, the proposed land division is considered to be both orderly and economic.

## Aircraft noise

PDCs 6 and 7 of the Building near Airfields module requires development to incorporate noise attenuation measures and be consistent with *Australian Standard AS2021 - Acoustics - Aircraft Noise intrusion - building siting and construction*. Despite the building not being 'new', it will be occupied differently as a dwelling. It is therefore important to consider the amenity of the proposal for future residents. While the existing display home sits outside of the 'areas affected by aircraft noise', it is nonetheless located within the ANEF 25 contour. As a result, Council sought assurance from the applicant that future occupants of the dwelling would have a reasonable internal environment in terms of mitigating the likely impacts from aircraft noise.

An acoustic assessment by Sonus was provided to Council (dated 2 March 2018) which demonstrated the impossibility of achieving acoustic compliance with AS2021 given the construction material ("rendapanel") was lightweight and insufficient to ward off the degree of aircraft noise in this location. A secondary assessment by Sonus (dated 3 July 2018) proposed practical measures to reduce noise impacts, including the re-configuration of bedrooms away from the closest noise source and the provision of added insulation within the roof space. While the building will still not achieve compliance with AS2021, the attenuation measures proposed help mitigate the noise impacts and avoid the onerous requirement of demolishing and re-constructing the building. This is considered to be a reasonable and economic option and is supported accordingly. The measures recommended by Sonus have been included in a condition should the CAP decide to support the application.

## Car parking

The car park on allotment 15 has recently been line-marked and will continue to be used in association with the office use at 127 Marion Road. A condition has been added to the recommendation that requires a swale to be established along the western and southern edges of the car park to comply with the requirements of the approved DA 211/1105/2012. This will improve the quality of stormwater runoff from the car park, soften the appearance of the car park surface while mitigating heat loading.

There impacts of continuing the use of the car park until such time that a new application for that allotment is received are considered to be minimal. The car park will continue to operate in association with the commercial function at 127 Marion Road, providing additional car parking for both staff and customers at that site.

## **SUMMARY**

The land division application will formalise an existing physical arrangement and is considered to have merit in terms of its orderly nature and the functional size and shape of the future land parcels.

The non-complying change of use application will have little impact on the amenity of the locality. It will not change the streetscape and it will allow for the continued use of an existing building with minor internal modifications to improve resident amenity and provide protection against the impact of aircraft noise. The displacement of a commercial use is not considered to be detrimental to the integrity or functionality of the zone given the location of the site immediately adjacent the Residential Zone to the north and east.

Having considered all the relevant Objectives and Principles of the Development Plan, both proposals are not considered to be seriously at variance with the Development Plan.

On balance the proposed land division and change of use sufficiently accord with the relevant provisions contained within the West Torrens Council Development Plan (consolidated 5 May 2016 and 30 May 2017) and warrants Development Plan Consent, Land Division Consent and Development Approval (subject to the concurrence of the SCAP for the change of use application).

## **Attachments**

- 1. Development Assessment Panel meeting agenda report and minutes dated 9 April 2013**
- 2. Proposal plans and details**
- 3. Statement of effect**
- 4. External referrals**

**6.3 125 Marion Road, RICHMOND**

Application No. 211/1105/2012

Appearing before the Panel will be:

Representors: **Loan Dang** of 79 Craig Street, Richmond wishes to appear in support of the representation.Applicant/s **Matthew King** of URPS wishes to appear on behalf of Distinctive Homes to respond to representation.**DEVELOPMENT APPLICATION DETAILS**

DEVELOPMENT PROPOSAL	Construction of a Display Home, advertising signs (x2) and car park with landscaping
APPLICANT	Distinctive Homes Pty Ltd
APPLICATION NO	211/1105/2012
LODGEMENT DATE	24 October 2012
ZONE	Neighbourhood Centre
PRECINCT	N/A
POLICY AREA	Richmond Policy Area 17
APPLICATION TYPE	Merit
PUBLIC NOTIFICATION	Category 3
REFERRALS	Internal <ul style="list-style-type: none"> <li>▪ City Assets</li> </ul> External <ul style="list-style-type: none"> <li>▪ Nil</li> </ul>
ASSESSING OFFICER	Adam Williams
DEVELOPMENT PLAN VERSION	2 February 2012
MEETING DATE	9 April 2013
RECOMMENDATION	<b>CONSENT</b>

**BACKGROUND**

The application is to be decided by the Development Assessment Panel as notice of the application has been given pursuant to Section 38(5) of the Act and a representation has been received, the person who made the representation has indicated an interest in appearing before the authority personally or by a representative in support of the representation.

**PREVIOUS or RELATED APPLICATIONS**

211/859/2002 – Land Division – Refused (lack of information)  
 211/636/2006 – Construct two storey office with associated car parking – Consent  
 211/1442/2009 – Demolition of dwelling and outbuildings - Approved  
 211/636/2006/A – Variation to two storey office consent – reduction of tenancies - Consent



## **SITE AND LOCALITY**

The subject land is described as Allotment 62 Deposited Plan 2633 in the area named Richmond Hundred of Adelaide as contained in Certificate of Title Volume 5413 folio 725. The land is more commonly known as 125 Marion Road, Richmond.

The land is approximately 945 square metres in area, it is a corner allotment and has street frontages to Marion Road and Craig Street and although square like in shape is actually an irregular pentagon by virtue of a corner cut-off. The Marion Road frontage is 30.0 metres long, the Craig Street frontage 25.3 metres long. The corner cut-off is 4.3 metres. The land is relatively flat and currently vacant.

The locality comprises a mix of residential and commercial land uses. The property abutting the land immediately to the east comprises a single storey detached dwelling and associated outbuildings. Immediately abutting the northern boundary is the Keswick Creek drain and as mentioned previously Marion Road and Craig Street abut the western and southern boundaries respectively. On the western side of Marion Road are detached dwellings and on the southern side of Craig Street is the Applicant's head office. There are more commercial properties further south along Marion Road which includes a petrol filling station, take away food outlet, consulting rooms and offices. Residential properties and Council's Works Depot are to the north, and more residential properties are to the east and west of the subject land. The flight path of Adelaide Airport is in close proximity to the subject land.

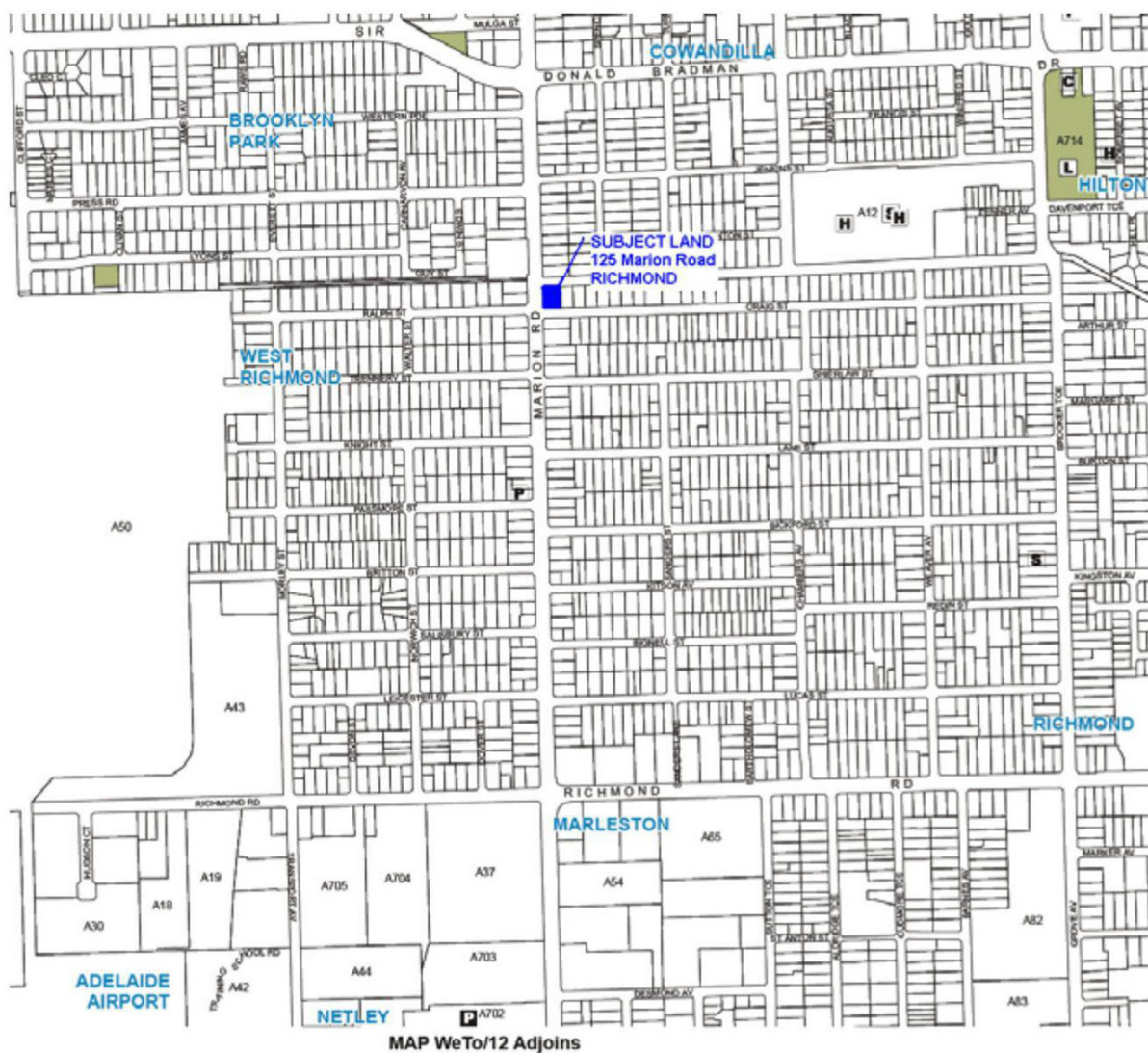
The subject land is located within the Neighbourhood Centre Zone but there are Residential Zones to the north, east and west. The site and locality is shown on the following diagrams:





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- S** School
- L** Public Library
- C** Council Office
- P** Post Office
- H** Other Health Services
- D** Police Station
- Local Reserves**

## Location Map WeTo/8

WEST TORRENS COUNCIL



## PROPOSAL

The proposal seeks consent for the construction of a two storey display home that will have a contemporary “project home” appearance. The Display centre will be open to the public Monday – Friday 9.00am to 5.00pm, and on weekends 1.00pm to 5.00pm.

The display home features include:

- A ground floor office area that can be converted to a double garage at a later date;
- Bedrooms, bathrooms, study, lounge room, meals, kitchen and dining areas, laundry, rumpus room and storage areas;
- A private rear yard; and
- 1.8 metre high colorbond fencing.

The proposal also includes the erection of two free-standing advertising signs, a 2.7 metre high sign which will be positioned in the north-west corner of the property and a smaller, 1.1 metre high sign positioned in the south-west corner.

A nine space car park with landscaping will be established between the building and the Marion Road frontage. Access to the car park will be via Craig Street.

Documentation and plans submitted with the development application are contained within **Attachment 1**.

## PUBLIC NOTIFICATION

The application is a Category 3 form of development pursuant to Section 38 and Schedule 9 of the Development Act and Regulations and the Procedural Matters section of the Neighbourhood Centre Zone.

<b>Properties notified:</b>	A total of fifteen notices were sent to owners and occupiers of properties either abutting or within close proximity of the subject land.
<b>Representations:</b>	Two (2) representations were received. One was received out of time therefore the representation is not valid.
<b>Persons wishing to be heard:</b>	The representor identified that they wish to address the Panel <ul style="list-style-type: none"> <li>• Loan Dang</li> </ul>
<b>Summary of Representations:</b>	Concerns were raised regarding the following matters; <ul style="list-style-type: none"> <li>• Fence along eastern boundary should extend along entire boundary (including the part that that will comprise the wall of the proposed building)</li> <li>• Upper storey windows must be obscured</li> </ul>

The Applicant has provided a response to the representations, as summarised below:

- The siting of the fence against the wall of the proposed building pose potential moisture, fire and vermin traps and is not good practice;
- The wall of the building can be painted to the colour of the representor's choice (within reason);
- The proposed wall on the boundary satisfies Residential Development Principles 24 & 25;
- The previous building on the land was also built to the boundary but was in a more visible position; and
- All upper level windows are to be fitted with obscure glazing to a minimum height of 1.7 metres.

A copy of the representors' concerns and the applicant's response is contained in **Attachment 2**.

## **REFERRALS**

### **Internal**

#### **City Assets**

Council's City Asset staff reviewed the proposed development and provided comments on the following aspects of the proposal:

- Traffic and Parking;
- Finished Floor Level;
- Verge Interaction; and
- Stormwater Quality.

The applicant has made amendments to the proposal to address the comments provided by City Asset staff. These include alterations to the car park design, addition of a swale system, and reduction in the height of an advertising sign. A handful of other minor design matters can be addressed by the use of conditions being attached to the consent.

A full copy of the relevant report is attached, refer **Attachment 3**.

### **External**

Pursuant to Section 37 and Schedule 8 of the *Development Act 1993* and *Development Regulations 2008*, no external agency referrals were required.

**ASSESSMENT**

The subject land is located within the Richmond Policy Area 17 of the Neighbourhood Centre Zone as described in the West Torrens Council Development Plan. The main provisions of the Development Plan which relate to the proposed development are as follows:

<u>General Section</u>		
<b>Advertisements</b>	<b>Objectives</b>	1, 2 & 3
	<b>Principles of Development Control</b>	1, 2, 4, 5, 6, 10, 11, 14, 16, 17 & 22
<b>Centres and Retail Development</b>	<b>Objectives</b>	1, 2, 4, 5 & 6
	<b>Principles of Development Control</b>	1, 2, 3, 4, 7, 8, 9, 10 & 11
<b>Crime Prevention</b>	<b>Objectives</b>	1
	<b>Principles of Development Control</b>	1, 2, 3, 5, 6, 7, 8 & 10
<b>Design and Appearance</b>	<b>Objectives</b>	1
	<b>Principles of Development Control</b>	1, 2, 3, 4, 5, 7, 8, 9, 10, 11, 16 & 18
<b>Energy Efficiency</b>	<b>Objectives</b>	1
	<b>Principles of Development Control</b>	1 & 2
<b>Interface between Land Uses</b>	<b>Objectives</b>	1 & 2
	<b>Principles of Development Control</b>	1, 2, 3, 4, 5, 6, & 7
<b>Landscaping, Fences and Walls</b>	<b>Objectives</b>	1
	<b>Principles of Development Control</b>	1, 2, 3, 4 & 5
<b>Orderly and Sustainable Development</b>	<b>Objectives</b>	1, 3, 4 & 5
	<b>Principles of Development Control</b>	1, 5, 6, 7 & 8
<b>Transportation and Access</b>	<b>Objectives</b>	1, 2 & 5
	<b>Principles of Development Control</b>	1, 2, 8, 9, 10, 11, 13, 23, 24, 26, 27, 29, 39, 40 & 41

<b>Zone: Neighbourhood Centre Zone</b>		
<b>Objectives</b>	1, 2 & 3	
<b>Principles of Development Control</b>	1, 2, 3 and 4	



**Policy Area: Richmond Policy Area 17**

**Desired Character Statement:**

*This policy area will function as a neighbourhood centre providing a range of services and facilities to cater for the daily and weekly needs of the surrounding population. Currently, a diverse range of facilities is provided, with the exception of a supermarket. A gross leasable retail floor space limit of 2500 square metres will apply to this centre.*

*Retailing will be the predominant activity in the area marked 'Retail Core' on the Concept Plan Map WeTo/26 – Richmond Neighbourhood Centre. A supermarket will be located between Trennery and Passmore Streets.*

*The eastern side of Marion Road will accommodate a range of offices, service, commercial, community and entertainment facilities, bulky goods outlets and a limited range of small-scale low traffic generating retail outlets.*

*New development will have limited setbacks from the Marion Road property boundary and provide a continuous built-edge to the street with unifying features such as verandas, and similar facade treatment. Buildings will incorporate verandas along the street frontage for pedestrian comfort. Car parking areas will be provided to the rear of buildings with access from the side streets. Densely planted landscaped buffers will be provided along the interface of the centre and adjoining zones.*

**Objectives**

1

**Principles of Development Control**

1 & 4

In assessing the merits or otherwise of the application, the proposed development satisfies all relevant Development Plan provisions with the exception of the following, as discussed under the following sub headings:

**Land Use and Zoning**

The proposed development is a kind of development traditionally established in new residential land estates and rarely within a Neighbourhood Centre Zone surrounded by established residential areas. The fundamental reason behind this is because most display homes are eventually converted to private dwellings once their function as a display home ceases. The Applicant's Planning Consultant nevertheless suggests that the proposed display home is appropriately located as it will complement the commercial activities that are both current and envisaged within the Zone. In addition it is suggested the proposal will serve the needs of the surrounding population in a manner that will be sympathetic to the sensitivities of surrounding residential developments.

Having considered the uses anticipated for both the Zone and the Policy Area it is accepted that the proposed development, while not obvious, has a function that is comparable to the uses anticipated within the Zone. The nature of the proposed development is unlikely to have a detrimental impact on the surrounding residential land and will contain a building form similar to many residential buildings. To suggest however that the proposal will cater for the daily and weekly needs of the surrounding population is questionable however the applicant's head office is immediately across the road therefore it is reasonable to assume the proposal will at least cater for their daily needs.

The Character Statement for the Richmond Policy Area 17 encourages a range of services being established on the eastern side of Marion Road. The proposal, for the time being, satisfies this outcome however there are many aspects of the character statement that will not be achieved.

For a better appreciation of the statement, Concept Plan Map WeTo/26 – Richmond Neighbourhood Centre provides a visual aid to assist with understanding the expectations of the character statement. It is noted on the Plan that the subject land is not earmarked as a location requiring either continuous built edge to Marion Road or car parking to the rear of buildings. It does however anticipate the land being used for commercial activities with access from Craig Street and landscaping abutting the eastern and northern property boundary. In this instance the proposal is consistent with the Plan with the exception of the landscaping. The sensitive nature of the display home appropriately counters the need for the landscaped buffer.

Finally, during the assessment of the proposal there was a recurring question of whether the proposal maximised the full potential of the site. It was concluded that modifications to the proposal could make the proposed building considerably more adaptable to accommodating a mix of both commercial and residential uses at a later date. As a 'display home' the proposal is a 'merit' assessment however a 'dwelling' is currently listed as "non-complying" development within the Neighbourhood Centre Zone except when it is above a non-residential use.

The proposed building appears to lack the necessary means to be used for anything other than a dwelling once its function as a display home ceases. At that point, and subject to any changes to the Non-Complying table of the Zone, an application to change the use of the building to a dwelling will need to be processed as a non-complying development. The proposal currently meets the critical provisions for residential development and an approval being granted to convert the building to a detached dwelling is possible. Should this scenario occur it is quite likely the change in use of the subject land will detract from the function of the Neighbourhood Centre Zone.

This outcome is generally not preferable however the impact on the function of the overall Zone in general is likely to be minor given the location of the subject land within the context of the Zone and the nature of development adjacent to the subject land.

## **SUMMARY**

The Applicant's Planning Consultant suggests that Display Homes are "somewhat unique and unusual land use". It is agreed that this is definitely the case when seeking to construct a display home within a Neighbourhood Centre Zone of an established area. This aside the proposal is on a site that can suitably accommodate the proposed development without compromising the function of the Neighbourhood Centre Zone or the ongoing enjoyment of surrounding residential activities.

Having considered all the relevant Objectives and Principles of the Development Plan, the proposal is considered to be not seriously at variance with the Development Plan.

On balance the proposed development accords with the relevant provisions contained within the West Torrens Council Development Plan Consolidated 2 February 2012 and warrants Development Plan Consent.

## RECOMMENDATION

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/1105/2012 by Distinctive Homes to undertake the construction of a display home, advertising signage (x2) and car park with landscaping at 125 Marion Road, Richmond (CT 5413/725) subject to the following conditions:

### Council Conditions

1. That the development shall be undertaken and completed in accordance with the plans and information detailed in this application except where varied by any condition(s) listed below.
2. No public vehicle access shall be available to the car park outside of the Display Home's hours of operation.
3. The Hours of Operation for the Display Home shall be as follows:
  - Monday- Friday 9.00am to 5.00pm
  - Weekends and Public Holidays - 1.00pm to 5.00pm
4. That all stormwater design and construction shall be in accordance with Australian standards and recognised engineering best practices to ensure that stormwater does not adversely affect any adjoining property or public road and for this purpose stormwater drainage shall not at any time:-
  - a) Result in the entry of water into a building; or
  - b) Affect the stability of a building; or
  - c) Create unhealthy or dangerous conditions on the site or within the building; or
  - d) Flow or discharge onto the land of an adjoining owner; and not flow across footpaths or public ways.
5. The proposed water quality improvement and storm water detention scheme proposed for the car park shall be supported by Council's City Assets staff prior to Building Rules being issued.
6. That all driveways, parking and manoeuvring areas shall be formed (surfaced with concrete, bitumen or paving) and properly drained, and shall be maintained in a reasonable condition at all times.
7. That all carparking spaces shall be linemarked, in accordance with the approved plans and in accordance with Australian Standards Association Code AS 2890.1, 2004 Parking Facilities, Part 1, Off Street Carparking, prior to the occupation of the proposed development. Linemarking and directional arrows shall be clearly visible at all times.
8. The position of the clear zone space and the disabled space (as shown on the site plan) shall be switched so the disabled space is positioned on the northern side of the clear zone.
9. That the upper level windows of the dwelling's east and north elevations shall be provided with fixed obscure glass to a minimum height of 1.7 metres above the upper floor level to minimise the potential for overlooking of adjoining properties, prior to occupation of the building. The glazing in these windows shall to be maintained in reasonable condition at all times.



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10. That the signs, herein approved, shall not move, flash, blink or rotate in any manner.
11. The building shall not be used as a dwelling without a prior development approval being issued.

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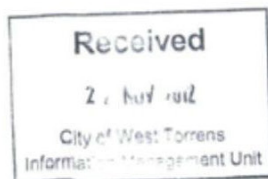
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**ATTACHMENT 1**

File: F4431

22 November 2012

Mr Leon Jaworski  
 Development Officer – Planning  
 City of West Torrens  
 165 Sir Donald Bradman Drive  
 HILTON SA 5033



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Dear Leon

**Display Home, Associated Car Parking and Landscaping at 125 Marion Road, Richmond – DA 211/1105/12**

**Introduction**

Nolan Rumsby Planners has been engaged by Ms Kellie Strachan of Distinctive Homes to provide advice and assist with the planning consent for their application as detailed above.

Following my engagement, I reviewed your letter, the proposal plans prepared by Distinctive Homes, the site and locality, the Development Act 1993 and Development Regulations 2008, and West Torrens Council Development Plan Consolidated 2 February 2012.

Following my assessment I advised Ms Strachan to make various amendments to the plans. Amended plans are enclosed for your assessment. The plans have been amended in respect of the design and layout of the car park in order to fix certain parking spaces widths and to note the use of the garages as offices (not for vehicle storage) and to show sliding doors across their Craig Avenue facade. I also requested further information regarding hours of operation, colours and materials and signage which are detailed in the amended plans herein.

I provide the following planning assessment for your consideration.

**Subject Land and Locality**

The land is situated on the corners of Craig Street and Marion Road in Richmond. The land is vacant and appears generally flat with no appreciable grade. There was previously a building on the land used as an office by Distinctive Homes with associated parking areas.

The locality includes a mix of uses including office, petrol filling, consulting rooms, shops, take away, Council works depot and residential uses fronting Marion Road, with a predominance of residential uses to the east of the land in the Residential Zone. The character of housing in this area is typically single storey and of post war design. To the north of the land lies a stormwater drain. Parts of the locality are affected by flooding as denoted within Council's flood hazards information in the Development Plan.

The high traffic associated with Marion Road is a notable feature of the locality as its location under the flight path for Adelaide Airport. Both elements detract from the quality and amenity of the locality.

F4431 ltr L Jaworski 221112

DEVELOPMENT  
 ENVIRONMENT  
 POLICY

URBAN AND  
 REGIONAL PLANNERS

### Procedural Matters

The application is for a Display Home, with associated car parking and landscaping. Within your letter you have indicated that the proposal is a "Dwelling", primarily due to its built form characteristics, and therefore have indicated the matter is a "non-complying" form of development.

However, I hold a different view regarding the nature of the development and its procedural category. The proposal is not being constructed to provide a building to be used as a self-contained residence. It is to be used as a Display Home as detailed within the proposal plans and in some detail below.

Schedule 1 of the *Development Regulations 2008* defines "dwelling" as follows: **Dwelling** means a building or part of a building used as a self-contained residence.

The appearance of a building is not the determining factor when considering the nature of the proposal. It is the use to which a building is to be put that is the determining factor. This proposal is quite clearly for a Display Home and not a "Dwelling".

As a "Display Home" is neither a "complying" or "Non-complying" form of development under the procedural section of the Zone, the matter should be processed as a Consent or "On-Merit" matter.

### The Proposal

The proposal is for the construction of a two storey Display Home. The Display Home will operate Monday – Friday 9.00am – 5.00pm and on weekends 1.00pm – 5.00pm.

The building will be of a two storey, contemporary, "project home" appearance, and of lightweight construction constructed from air-rated concrete panelling. It will feature 18 degree Colorbond roofing. Colours will include grey roof sheeting and classic cream walls.

There will be a small rear yard area which is part of the display of the home. The double garage will be used as the office area for staff manning the facility when open, to greet visitors and discuss home pricing.

1.8m high Colorbond fencing will surround the building. A car park will be established on the western or Marion Road side of the land.

The car park will be accessed from Craig Street via a new 4.5m crossover which will result in the closure of the existing Marion Road crossover. The car park will have a compacted gravel surface base and will include parking for 10 vehicles.

Landscaping will be established along the Marion Road frontage in the form of pencil pines with a 1.0 – 1.5m planting height.

A sign will be established in the south-western corner of other land adjacent its Marion Road/Craig Avenue frontage. The sign will be freestanding, 2.7m tall and display the "Distinctive Homes" logo on a horizontal steel panel attached to a supporting freestanding steel panel that will display operating hours and other relevant information to the display home.

### Planning Assessment

The land is situated within the Neighbourhood Centre Zone and Richmond Policy Area. The primary considerations in the assessment of this matter are:

- Use of the land;
- Design and Appearance;



- Interface between Land Uses;
- Transportation and Access; and
- Signage.

I address these matters under their respective sub-headings as follows:

#### **Use of the Land**

The most pertinent provisions are this sub-heading are:

##### **Neighbourhood Centre Zone**

**Objective 1:** A centre providing a range of shopping, community, business, and recreational facilities for the surrounding neighbourhood.

**Objective 2:** A centre that provides the main focus of business and community life outside a district centre, and provides for the more frequent and regularly recurring needs of a community.

##### **Richmond Policy Area 17**

This policy area will function as a neighbourhood centre providing a range of services and facilities to cater for the daily and weekly needs of the surrounding population. Currently, a diverse range of facilities is provided, with the exception of a supermarket. A gross leasable retail floor space limit of 2500 square metres will apply to this centre.

Retailing will be the predominant activity in the area marked 'Retail Core' on the *Concept Plan Map WeTo/26 - Richmond Neighbourhood Centre*. A supermarket will be located between Trennery and Passmore Streets.

The eastern side of Marion Road will accommodate a range of offices, service, commercial, community and entertainment facilities, bulky goods outlets and a limited range of small-scale low traffic generating retail outlets.

New development will have limited setbacks from the Marion Road property boundary and provide a continuous built-edge to the street with unifying features such as verandas and similar façade treatment.

Buildings will incorporate verandas along the street frontage for pedestrian comfort. Car parking areas will be provided to the rear of buildings with access from the side streets. Densely planted landscape buffers will be provided along the interface of the centre and adjoining zones.

A Display Home is somewhat of a unique and unusual land use – it does not occur often, or to the point where it warrants insertion within Development Plans, and thus is not a use that is ordinarily listed by any particular Zone.

Notwithstanding, with regards to the nature of the proposal, it is considered an appropriate one within the Zone. The Zone is to provide for a variety or range of shopping, community, business and recreational facilities and the proposed is considered to fall within gamut of uses participated.

It will serve the needs of the surrounding population with respect to building display and home sales on a prominent location along Marion Road and will put an existing vacant site to a use that is both orderly and economic.

External impacts associated with the proposed will be minimal with respect to noise, traffic and hours of operation. The facility will be open 7 days per week however the nature of Display Homes is that they are their busiest on weekends. At all other times visitations are likely quite low. The proposal is therefore considered a suitable form of development and use for this site being on the edge of a Residential Zone, given its low impacting nature.

The proposal will be in general accord with the Concept Plan We/To 26 in that it will provide access from Craig Avenue. Whilst not featuring the intensively landscaped buffer along its northern and eastern boundaries, this is not necessary in this instance given the low scale nature and intensity of the use and hours of operation, which ensure resident amenity will not be impaired to any detrimental degree.

### **Design and Appearance**

The most pertinent provisions are this sub-heading are:

#### **Principles**

- 4 Where a building is sited on or close to a side boundary, the side boundary wall should be sited and limited in length and height to minimise:
  - (a) the visual impact of the building as viewed from adjoining properties
  - (b) overshadowing of adjoining properties and allow adequate sun light to neighbouring buildings.
- 16 The setback of buildings from public roads should:
  - (a) be similar to, or compatible with, setbacks of buildings on adjoining land and other buildings in the locality
  - (b) contribute positively to the streetscape character of the locality
  - (c) not result in or contribute to a detrimental impact upon the function, appearance or character of the locality.
- 17 Non-residential buildings and structures should be set back from side or rear boundaries with the residential zone:
  - (a) a minimum of 3 metres where the vertical wall height (from natural ground level) is 4 metres or less
  - (b) plus an additional 0.6 metres for every metre the vertical wall height (from natural ground level) exceeds 4 metres.

The proposed Display Home will have a typical dwelling appearance which is appropriate within the locality which includes a predominance of residential uses and dwellings of similar, post-war styling.

The building will be setback off the eastern boundary approximately 1m at the ground floor and 3m at the upper floor. The garage will be sited on the boundary for a length of 8.5m and height of 3m.

These setbacks are generally in accord with the Residential Setback guidelines of the Development Plan thus will ensure a high level of amenity for the adjoining property to the east. Whilst non-residential buildings are generally to be setback 3m for walls up to 4m in height, the nature and appearance of the proposed display home is akin to that of an ordinary dwelling thus a satisfying the Residential Setback guidelines is reasonable in this instance as the proposed will not have a unsightly, bulky, commercial-like appearance.

### **Interface Between Land Uses**

The most pertinent provisions are this sub-heading are:

#### **Principles**

- 1 Development should not detrimentally affect the amenity of the locality or cause unreasonable interference through any of the following:
 

...

  - (b) noise



...

(e) light spill

...

 (g) hours of operation  
 (h) traffic impacts.

- 4 Development adjacent to a Residential Zone should be designed to minimise overlooking and overshadowing of nearby residential properties.

The proposed use will not generate any appreciable noise. The only noise associated with the use is the coming and going of patrons and the associated traffic noise however given the proximity of the land to Marion Road, these impacts will be negligible in this locality.

There will be no light spill from the site. The display home will only operate during business hours during the week and on the weekends between early afternoon to early evening. Some sensor lighting will be positioned in various parts surrounding the building to deter criminal activity however this will be low lit sensor lighting typical of a residential dwelling and will not create any appreciable impacts beyond those which might ordinarily occur within the Residential Zone.

The extent of overshadowing from the proposed building will be minimal. Impacts upon the adjoining residential property will occur only during late afternoon periods thereby ensuring the provision of 2 hours of sunlight to north facing windows on 21 June between 9:00am and 3:00pm are met.

Traffic impacts associated with the use will also be minimal. Peak traffic generation will be low as indicated in the traffic section below. The vast majority of patrons will enter and exit the car park via the Marion Road end of Craig Street thus there will be minimal impact upon the traffic conditions of the residential road network.

#### Transportation and Access

The proposal is to include a car park of 10 spaces positioned on the eastern side of the land, screened from the road by landscaping, and accessed via a new crossover from Craig Street. The car park will be of compacted gravel material.

The access location is appropriate in that it minimises impacts on Marion Road's traffic flow and is a marked improvement from the current car park which provides access directly from Marion Road.

The design and layout of the car park generally accords with AS2890.1. All car parking spaces are approximately 2.5m wide and there is a generous aisle width for reversing to ensure vehicles can exit the site in a forward motion. There is also provision of disabled parking.

There are no parking standards in the Development Plan regarding Display Homes. Therefore I have considered a Traffic and Parking report prepared by Mr Phil Weaver in respect of a similar application at 335-351 South Road, Mild End for a residential display village. In his report, Mr Weaver noted that he undertook parking surveys at another display village. He did these surveys on a Sunday because this was the commonly felt peak period for a display home. It was identified in Mr Weaver's report that the peak parking demand associated with that display village was equivalent to 9 parking spaces which included two spaces used by office/sales staff who were located on the site during the period surveyed.

On the basis that a larger display village incurred a peak parking demand of 9 spaces, the 10 spaces provided for the subject facility, which features only 1 display home as opposed to several, is more than adequate to meet the likely anticipated peak parking demands.



### Signage

The proposed signage is of modest height, bulk and scale, and will adequately identify the site to capture passing motorists.

The sign will be of a high quality building material and incorporate the "Distinctive Homes" logo in a manner that is clear and legible to readers.

The position of the sign will not impair vehicle or pedestrian movements at the site or in the locality, nor will it facilitate the removal/lopping of any street trees.

### Conclusions

The proposal is in my opinion an appropriate use of the land for the Zone, wherein a variety of business uses envisaged. There will be no detrimental impacts upon the amenity of any nearby residential land and there is adequate parking for the peak periods of demands associated with the use. The access and parking arrangements are both safe and convenient.

A display home is not "dwelling" by legal definition and the matter therefore is not a non-complying, but rather a Consent "on-merit" matter.

For all of the above reasons, the proposal warrants Development Plan Consent.

Should you wish to discuss any matters herein, please do not hesitate to contact the writer.

Yours faithfully

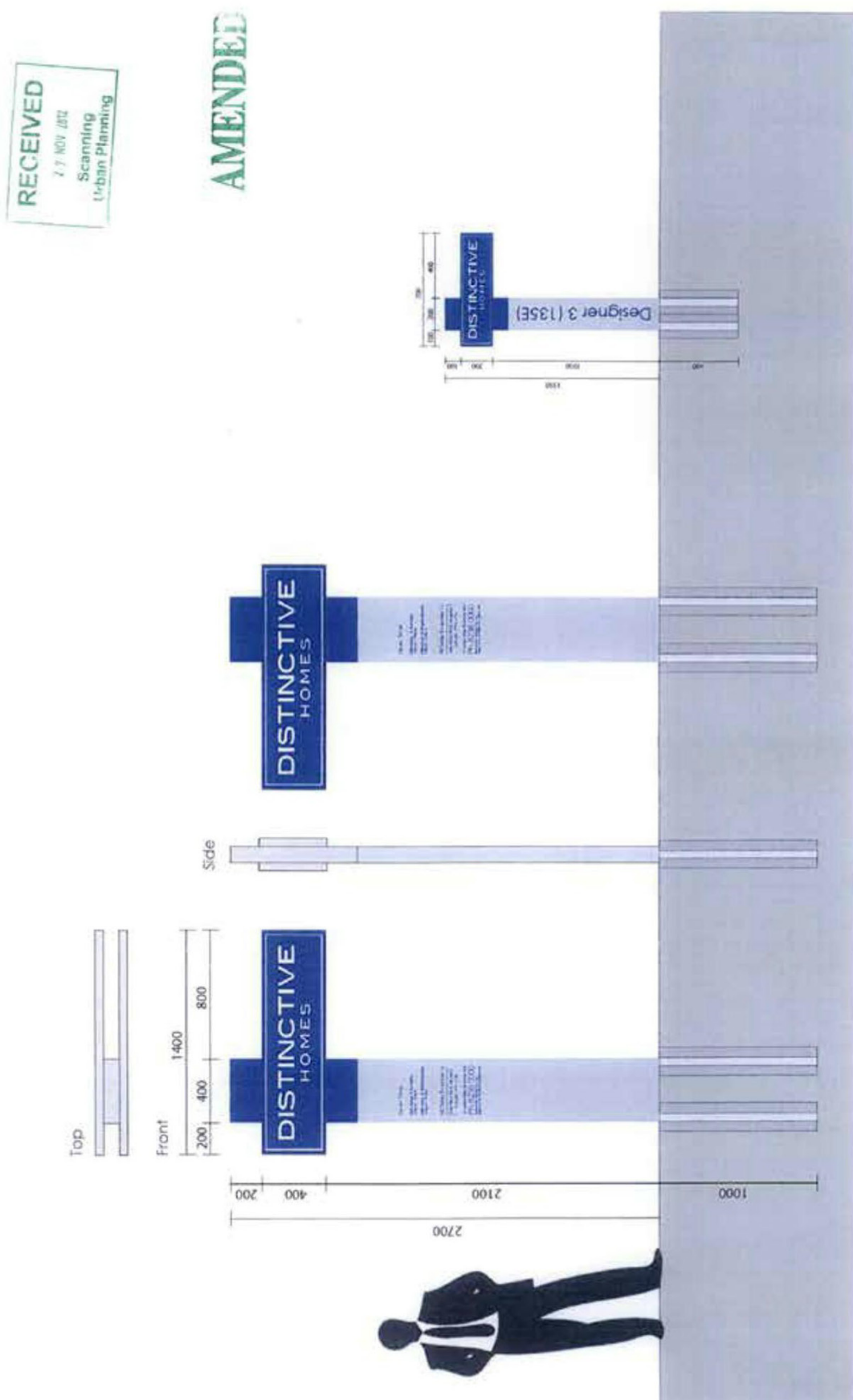
Nolan Rumsby *Planners*

**Matthew King, MPIC CPP**  
[matthew@nolanrumsby.com.au](mailto:matthew@nolanrumsby.com.au)

enc: Amended plans

cc: Kellie Strachan, Distinctive Homes

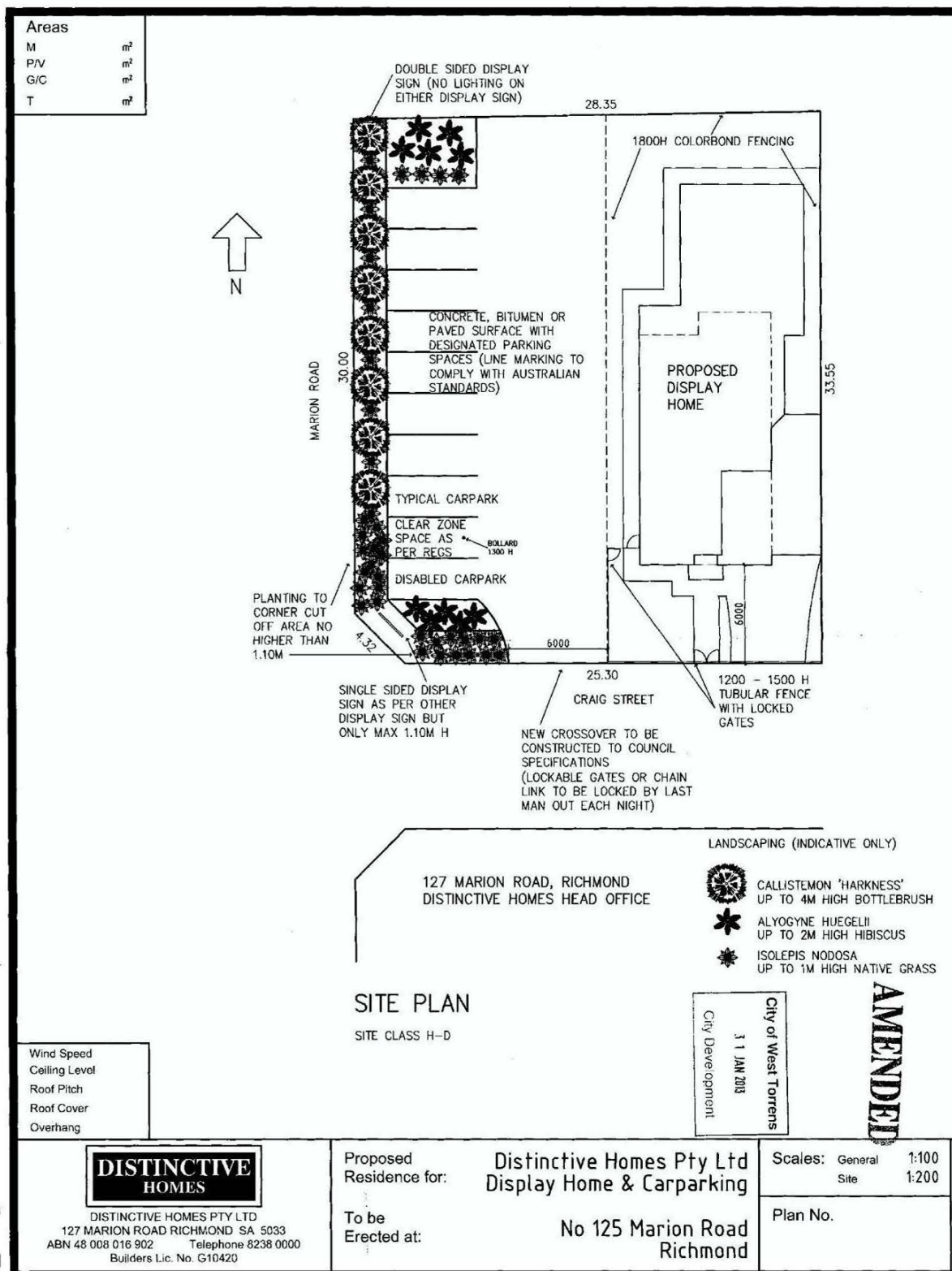






**DEVELOPMENT ASSESSMENT PANEL**  
**9 April 2013**

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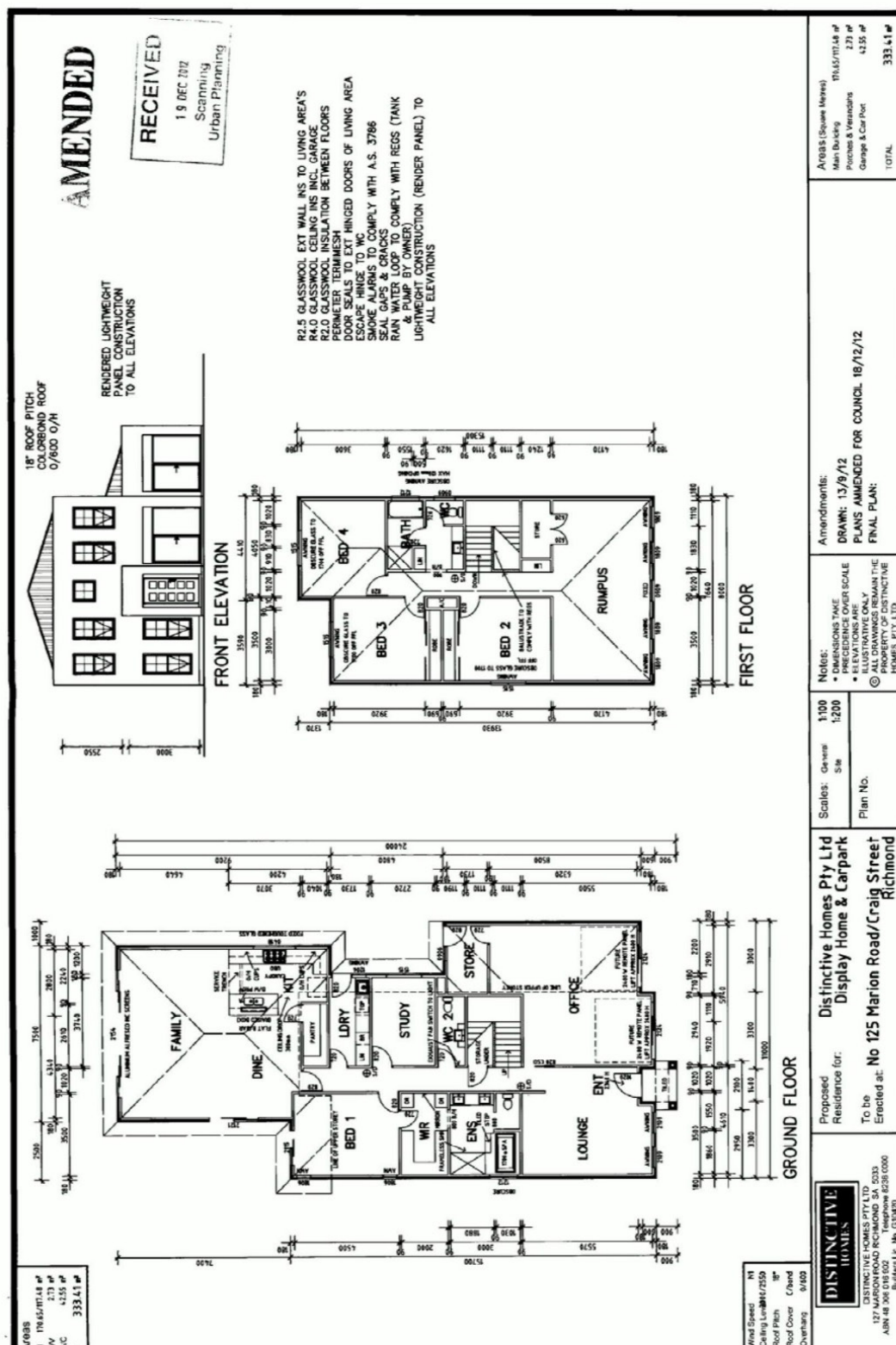
**DEVELOPMENT ASSESSMENT PANEL**  
**9 April 2013**

Page 168

		<p><b>RECEIVED</b> 19 DEC 2012 Scanning Urban Planning</p> <p><b>AMENDED</b></p>									
<p>RENDERED LIGHTWEIGHT PANEL CONSTRUCTION TO ALL ELEVATIONS</p> <p>2250 3000</p> <p><b>SIDE ELEVATION</b></p> <p>18° ROOF PITCH COLORBOND ROOF 0/600 O/H</p> <p><b>REAR ELEVATION</b></p> <p><b>SIDE ELEVATION</b></p>		<p><b>Amendments:</b> DRAWN: 13/9/12 PLANS AMENDED 18/12/12</p>									
<p>Notes:</p> <ul style="list-style-type: none"> <li>• DIMENSIONS TAKE PRECEDENCE OVER SCALE</li> <li>• ELEVATIONS ARE TO BE CONSIDERED AS PROPERTY OF DISTINCTIVE HOMES PTY LTD</li> </ul>		<p>Areas (Square Metres)</p> <table border="1"> <tr> <td>Main Building</td> <td>120</td> </tr> <tr> <td>Porches &amp; Verandahs</td> <td>10</td> </tr> <tr> <td>Garage &amp; Car Port</td> <td>10</td> </tr> <tr> <td><b>TOTAL</b></td> <td><b>140</b></td> </tr> </table>		Main Building	120	Porches & Verandahs	10	Garage & Car Port	10	<b>TOTAL</b>	<b>140</b>
Main Building	120										
Porches & Verandahs	10										
Garage & Car Port	10										
<b>TOTAL</b>	<b>140</b>										
<p>Proposed Residence for: To be Erected at: <b>No 125 Marion Road/Craig Street Richmond</b></p>		<p><b>Distinctive Homes Pty Ltd</b> Display Home &amp; carpark</p>									
<p>Wind Speed: 40 Ceiling Lin: 100/2550 Roof Pitch: 18° Roof Cover: Colorbond Overhang: 800</p>		<p>Scales: General Site: 1:100 Plan No: 1200</p>									
<p>Verbs A W W W W W W W W W W W W W W W W W W W</p>		<p>Distinctive Homes Pty Ltd 127 MARION ROAD RICHMOND SA 5033 ABN 48 028 018 802 Telephone 8238 0000 Email: info@distinctivehomes.com.au Website: www.distinctivehomes.com.au</p>									

**DEVELOPMENT ASSESSMENT PANEL**  
**9 April 2013**

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**DEVELOPMENT ASSESSMENT PANEL**  
**9 April 2013**

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**ATTACHMENT 2**

**STATEMENT OF REPRESENTATION**  
**Pursuant to Section 38 of the Development Act, 1993**

TO Chief Executive Officer  
 City of West Torrens  
 165 Sir Donald Bradman Drive  
 HILTON 5033

**Received**

29 JAN 2013

City of West Torrens  
 Information Management Unit

DEVELOPMENT No. 211/1105/2012  
 PROPERTY ADDRESS: 125 Marion Road, RICHMOND SA 5033

NAME OF PERSON(S)  
 MAKING REPRESENTATION  
 ADDRESS

LOAN DANG  
19 CRAIG STREET  
RICHMOND SA 5033

NATURE OF INTEREST \*  
 AFFECTED BY DEVELOPMENT  
 (eg adjoining resident, owner  
 of land in vicinity, or on behalf  
 of an organization or company)

City of West Torrens

30 JAN 2013

City Development

REASONS FOR \*  
 REPRESENTATION

- ① Requesting The Fence to be a  
 continuous fence is not being replaced  
 partly by the neighbour's wall.  
 ② Windows on the 2<sup>nd</sup> storey can't be widely open - All windows  
 must be obscured  
 windows

MY REPRESENTATION \*  
 WOULD BE OVERCOME BY  
 (state action sought)

Please indicate in the appropriate box below whether or not you wish to be heard by Council in respect to this submission: -

I DO NOT WISH TO BE HEARD  
 I DESIRE TO BE HEARD PERSONALLY  
 WILL BE REPRESENTED BY

0  
 ① ✓  
 0

(PLEASE SPECIFY)



SIGNED

[Signature]

DATE

22/01/2013

**SCANNED**

30 JAN 2013

REF No. ....

\* If space insufficient, please attach sheets

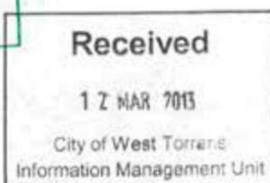
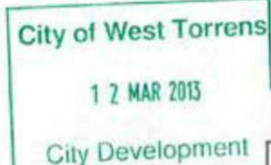
(FORM 3)  
 Responsible Officer: Leon Jaworski  
 Ends: Tuesday 29 January 2013.

Plan - Facilitate - Resolve

Ref: 2013/4431

8 March 2013

Mr Leon Jaworski  
Development Officer – Planning  
City of West Torrens  
165 Sir Donald Bradman Drive  
HILTON SA 5033



Suite 12/154 Fullarton  
(cnr Alexandra Ave)  
Rose Park, SA 5067

Telephone  
(08) 8333 7999

mail@urps.com.au  
www.urps.com.au

Dear Leon,

**RESPONSE TO REPRESENTATION – PROPOSED DISPLAY HOME, ASSOCIATED CAR PARKING AND LANDSCAPING AT 25 MARION ROAD, RICHMOND – DA 211/1105/12**

I provide this response to the representation received in relation to the above proposal, on behalf of the applicant Distinctive Homes.

Only one representation was received within the prescribed time frame during the period of public notification. I understand a representation was provided to Council outside of the prescribed time frame, however this representation is not legally valid hence no response is provided.

**Representation**

The representation was received from Loan Dang of 79 Craig Street, Richmond. The land of the representor adjoins the subject land to the east.

The representor has raised two concerns with the proposed development:

1. Request the proposed fence extend the entire length of the eastern boundary.
2. Windows on the second storey be obscure.

I provide the following response:

- The representor has not stipulated the rationale behind wanting the fencing to continue along the boundary.

My client spoke to the representor and explained that the proposed wall on her boundary was going to be rendered and that it could be painted in a colour of her choosing (within reason). My client has reservations about siting the wall/fence up against one another as it could pose potential water, fire and vermin traps. From my own experience, siting structures up against one another is not good practice and can cause the above issues. It can capture all kinds of matter and lead to the rusting of fences as moisture can build up between the wall and fence.

Following the discussion with the representor, my client put a handwritten letter in her letter box explaining the above the day after speaking with her.

Urban & Regional  
Planning Solutions  
ABN 19 104 348 905

asking her to make contact to discuss. However, despite the applicant's best intentions, no response has been forthcoming.

There is no direct planning issue at hand here. The Development Plan does not stipulate any need to retain fencing when siting structures on boundaries. The Development Plan does contemplate boundary structures at a length of 8 metres and height of 3 metres. The proposed wall will be 8.5 metres and height of 2.7 metres which is 300mm below the maximum height guideline and only be 0.5 metre short of the length guideline. This shortfall is negligible and will not give rise to any unreasonable visual impacts nor overshadowing, and thus satisfies Residential Development Section Principles 24 and 25.

I note also that the land previously had a boundary wall prior to its demolishing, of similar scale to what is proposed, on the same boundary, albeit the previous wall sat adjacent the driveway and was more visible than the proposed which sits adjacent the neighbours carport.



*Photo of previous boundary wall*

- In relation to the windows, as my client advised the representor when meeting with her, all upper level windows, including the eastern elevation, are to be fitted with obscure glazing to a minimum height of 1.7 metres which satisfies Residential Development Section Principle 49 regarding maintaining privacy.

I trust this response addresses the representation in adequate detail for your to proceed with finalising your planning report for the DAP. I confirm I will be available to appear personally at the DAP on behalf of the applicant, should I be required.

If you have any queries, please do not hesitate to contact me.

Yours sincerely,



Matthew King  
Associate



## ATTACHMENT 3

**Memo**

To Leon Jaworski  
From Ming Siow  
Date 4 January 2013  
Subject 211/1105/2012 – 125 Marion Road, RICHMOND 5033

Leon,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

**1.0 Traffic Comments****1.1 The following comments were provided by Council's Traffic Consultant.**

I refer to the above development for a display home on the subject site. The proposal is a single display home with 10 parking spaces shown. To comply with the parking standards, the maximum parking that could be provided on the subject site would only be 8 spaces (see discussion below).

The Council's Development Plan does not include a parking rate for display homes. The *Planning Bulletin – parking for selected land uses* recommends that the parking provision be determined on an "as needs" basis.

The accompanying planning report (Nolan Rumsby Planners) made reference to another display home development at 335-351 South Road, Mile End, which had previously been approved by Council. This particular site had 7 display dwellings with car parking for 14 vehicles.

Compared to the South Road development, it would seem to me that the provision of 8 parking spaces for a single display home would be reasonable. For display homes, the peak traffic and parking generation would tend to occur on weekends when traffic flow on Marion Road is much lower than on weekdays and adjacent parking opportunity on Marion Road would also be available.

On this basis, I am satisfied that adequate parking would be available for the subject development.

To conform to the parking standards, 1 parking space (end space) would need to be amended to a turning bay space (AS 2890.1-2004) and the disabled parking space would require a clear zone space (AS/NZS 2890.6-2009). This would mean that only 8 parking spaces would be possible on the subject site.

To comply with the AS/NZS 2890.1-2004, the proposed driveway would need to be widened to 6m. The proposed 4.5m width would therefore need to be extended by 1.5m eastwards,

I note that there is no direct pedestrian access between the car park and the display home entrance. Instead, patrons are required to walk from the car park along the public footpath to reach the proposed entry gate. I would recommend that a directly accessible gate be provided from the car park into the display home entrance.

To ensure that sight lines are maximised for users of the car park and the intersection, the proposed display board shall not be higher than 1.1m (reference for drive eye height: *Guide to Road Design*). In addition, the proposed landscaping around the corner cut-off (say between the proposed access point and the end of the second space along Marion Road) shall be kept clear of high vegetation (all landscaping in this area shall be less than 1.1m in height).

The proposed car park would occupy a substantial portion of the subject site. I would recommend that the car park be sealed and appropriately line marked to ensure that parking is orderly.

**The car park shall therefore be amended as follows:**

- End space – denote as turning bay space.
- First space from the entrance – denote as clear zone space.
- Second space from the entrance – denote as disabled space.
- ✓ • Driveway width to be widened to 6.0m (extend 1.5m eastwards from the current position).
- Additional pedestrian access to be provided from the car park to the display home.
- Signage and landscaping to be appropriately controlled (as discussed above) and not to be higher than 1.1m.
- ✓ • The car park be sealed and appropriately line marked.

**2.0 FFL Consideration – Finished Floor Level (FFL) Requirement**

- 2.1 In accordance with the provided 'Site & Drainage Plan' (Ginos Engineers – Drawing No. 22525 SR2/1), the FFL of the proposed development (100.40) has been assessed as satisfying minimum requirements (100.35) in consideration of street and flood level information.

---

### **3.0 Verge Interaction**

*In association with new development, driveways and stormwater connections through the road verge need to be located and shaped such that they appropriately interact with and accommodate existing verge features in front of the subject and adjacent properties.*

*New driveways and stormwater connections are required to be located a minimum 1.0 metre offset from other existing or proposed driveways, stormwater connections, stobie poles, street lights, side entry pits and pram ramps, etc. (as measured at the front property boundary).*

*These new features are also desired to be located a minimum of 2.0 metres from existing street trees, although a lesser offset may be acceptable in some circumstances. If an offset less than the desired 2.0 metres is proposed or if it is requested for the street tree to be removed, then assessment for the suitability of such will be necessary from Council's Technical Officer (Amenity).*

- 3.1 The proposed crossover for the display home will need to be offset a minimum of 1.0m from the adjacent crossover. It appears that this has already been considered and will be easily achieved.
- 3.2 It is noted that an existing crossover on Marion Road will be made redundant. This crossover should be reinstated to vertical kerb prior to the completion of any building works at the applicant's expense. It should also be indicated on revised plans that any redundant crossovers will be reinstated.

**It is recommended that revised plans showing the reinstatement of redundant crossovers be provided to Council.**



#### **4.0 Stormwater Quality – Commercial Sites**

- 4.1 Council typically requests that stormwater quality measures within carpark and manoeuvring area to address the collection of oils, grease and sediment from the stormwater flow.

It is noted that a "Preenco Drain Warden" is proposed to treat stormwater from the car park. However, given the size of the car park, a higher level of stormwater treatment is advisable and encouraged.

As indicated in the traffic comments section, it is advised that the car park is appropriately sealed to ensure that parking is optimised and orderly. There is the opportunity to provide more garden beds/space along the eastern boundary of the car park (a width of 2.0m could potentially be achieved). Given that there is a large amount of 'additional' space for garden and landscaping, it is recommended that water sensitive urban design be utilised to also treat the stormwater runoff from the car park. An example of which may be to drain the site to appropriately designed vegetated swales and bio-filtration trenches. Some re-levelling of the site may be required to appropriately drain the runoff to these areas (of WSUD).

**It is recommended that WSUD be incorporated into the stormwater and landscaping design of the car park. If desired, this could be addressed at a later stage as a 'reserved matter'.**

Should you require further information, please contact Ming Siow on the following direct extension number 8416 6296

Regards



**Ming Siow**  
**Civil Engineer**

**6.3 125 Marion Road, RICHMOND**

Application No. 211/1105/2012

Appearing before the Panel:

Representors: **Loan Dang** of 79 Craig Street, Richmond appeared in support of the representation. The Presiding member thanked Ms Dang for her representation.

Applicant/s **Kellie Strachan and Alan Rumsby** of Distinctive Homes and URPS respectively appeared on behalf of Distinctive Homes to respond to representation. The Presiding Member thanked Ms Strachan and Mr King for their response.

**RECOMMENDATION**

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/1105/2012 by Distinctive Homes to undertake the construction of a display home, advertising signage (x2) and car park with landscaping at 125 Marion Road, Richmond (CT 5413/725) subject to the following conditions:

**Council Conditions**

1. That the development shall be undertaken and completed in accordance with the plans and information detailed in this application except where varied by any condition(s) listed below.
2. No public vehicle access shall be available to the car park outside of the Display Home's hours of operation.
3. The Hours of Operation for the Display Home shall be as follows:
  - Monday- Friday 9.00am to 5.00pm
  - Weekends and Public Holidays - 1.00pm to 5.00pm
4. That all stormwater design and construction shall be in accordance with Australian standards and recognised engineering best practices to ensure that stormwater does not adversely affect any adjoining property or public road and for this purpose stormwater drainage shall not at any time:-
  - a) Result in the entry of water into a building; or
  - b) Affect the stability of a building; or
  - c) Create unhealthy or dangerous conditions on the site or within the building; or
  - d) Flow or discharge onto the land of an adjoining owner; and not flow across footpaths or public ways.
5. The proposed water quality improvement and storm water detention scheme proposed for the car park shall be supported by Council's City Assets staff prior to Building Rules being issued.
6. That all driveways, parking and manoeuvring areas shall be formed (surfaced with concrete, bitumen or paving) and properly drained, and shall be maintained in a reasonable condition at all times.

**DEVELOPMENT ASSESSMENT PANEL**  
**9 April 2013**

Page 7

7. That all carparking spaces shall be linemarked, in accordance with the approved plans and in accordance with Australian Standards Association Code AS 2890.1, 2004 Parking Facilities, Part 1, Off Street Carparking, prior to the occupation of the proposed development. Linemarking and directional arrows shall be clearly visible at all times.
8. The position of the clear zone space and the disabled space (as shown on the site plan) shall be switched so the disabled space is positioned on the northern side of the clear zone.
9. That the upper level windows of the dwelling's east and north elevations shall be provided with fixed obscure glass to a minimum height of 1.7 metres above the upper floor level to minimise the potential for overlooking of adjoining properties, prior to occupation of the building. The glazing in these windows shall to be maintained in reasonable condition at all times.
10. That the signs, herein approved, shall not move, flash, blink or rotate in any manner.
11. The building shall not be used as a dwelling without a prior development approval being issued.

**DEVELOPMENT ASSESSMENT PANEL DECISION**

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/1105/2012 by Distinctive Homes to undertake the construction of a display home, advertising signage (x2) and car park with landscaping at 125 Marion Road, Richmond (CT 5413/725) subject to the following conditions:

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3. The Hours of Operation for the Display Home shall be as follows:
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  - a) Result in the entry of water into a building; or
  - b) Affect the stability of a building; or
  - c) Create unhealthy or dangerous conditions on the site or within the building; or
  - d) Flow or discharge onto the land of an adjoining owner; and not flow across footpaths or public ways.
5. The proposed water quality improvement and storm water detention scheme proposed for the car park shall be supported by Council's City Assets staff prior to Building Rules being issued.



6. That all driveways, parking and manoeuvring areas shall be formed (surfaced with concrete, bitumen or paving) and properly drained, and shall be maintained in a reasonable condition at all times.
7. That all carparking spaces shall be linemarked, in accordance with the approved plans and in accordance with Australian Standards Association Code AS 2890.1, 2004 Parking Facilities, Part 1, Off Street Carparking, prior to the occupation of the proposed development. Linemarking and directional arrows shall be clearly visible at all times.
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9. That the upper level windows of the dwelling's east and north elevations shall be provided with fixed obscure glass to a minimum height of 1.7 metres above the upper floor level to minimise the potential for overlooking of adjoining properties, prior to occupation of the building. The glazing in these windows shall to be maintained in reasonable condition at all times.
10. That the signs, herein approved, shall not move, flash, blink or rotate in any manner.
11. The building shall not be used as a dwelling without a prior development approval being issued.
12. That the northern most space in the car park shall be designated as 'no parking' and be used as a turning bay.

## **7. CONFIDENTIAL REPORTS OF MANAGER CITY DEVELOPMENT**

### **7.1 14 & 16 Strathmore Avenue and 15 & 17 Rutland Avenue, LOCKLEYS - Confidential**

Application No. 211/1068/2011

#### **Reason for Confidentiality**

It is recommended that this Report be considered in CONFIDENCE in accordance with Section 56A(12)(a) of the *Development Act 1993*, which permits the meeting to be closed to the public for business relating to the following:

- (vi) information the disclosure of which could reasonably be expected to prejudice the maintenance of law, including by affecting (or potentially affecting) the prevention, detection or investigation of a criminal offence, or the right to a fair trial.
- (viii) legal advice

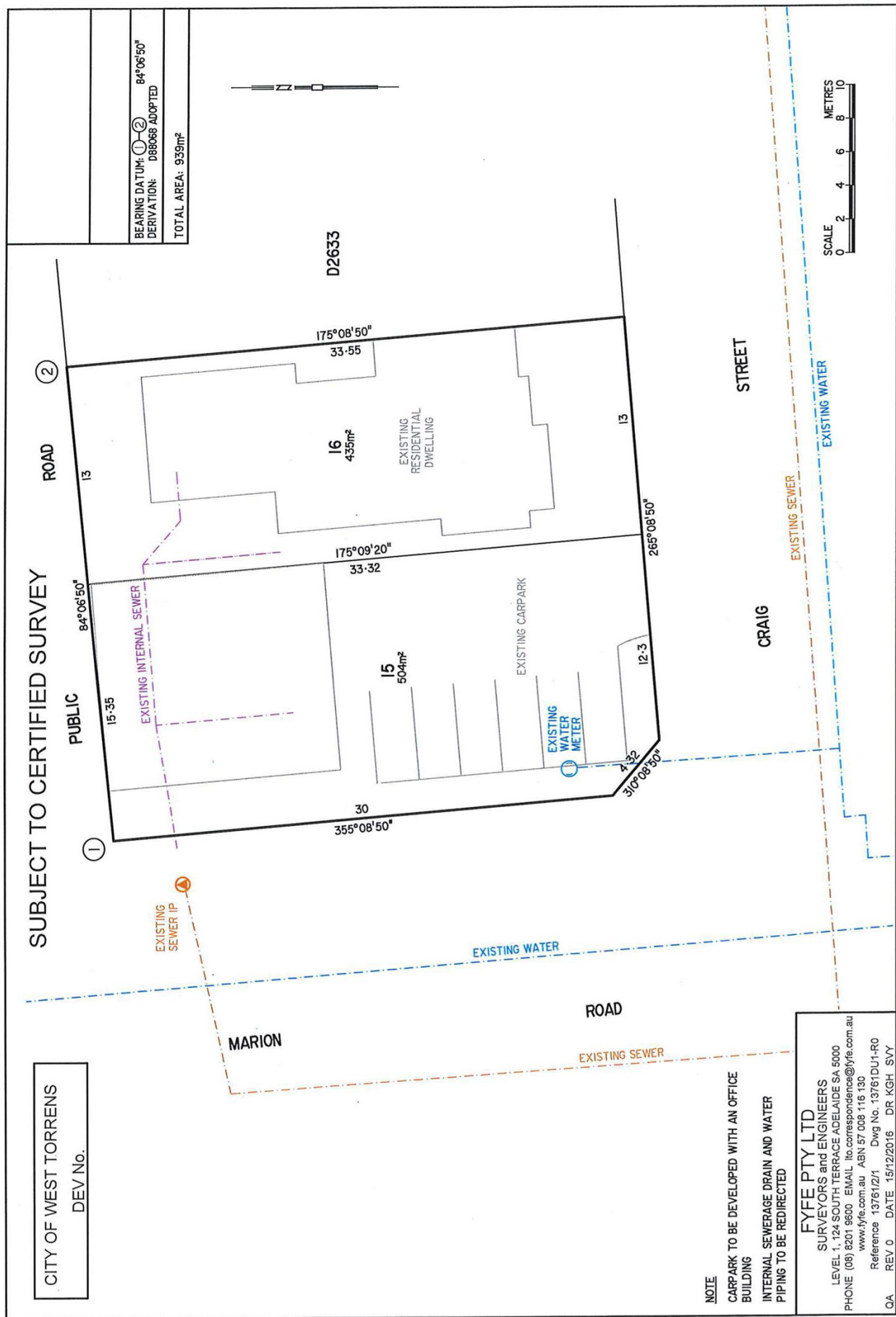
because this matter is before the Environment Resources and Development Court and disclosure would prejudice Council's position in relation to this matter.

## **RECOMMENDATION**

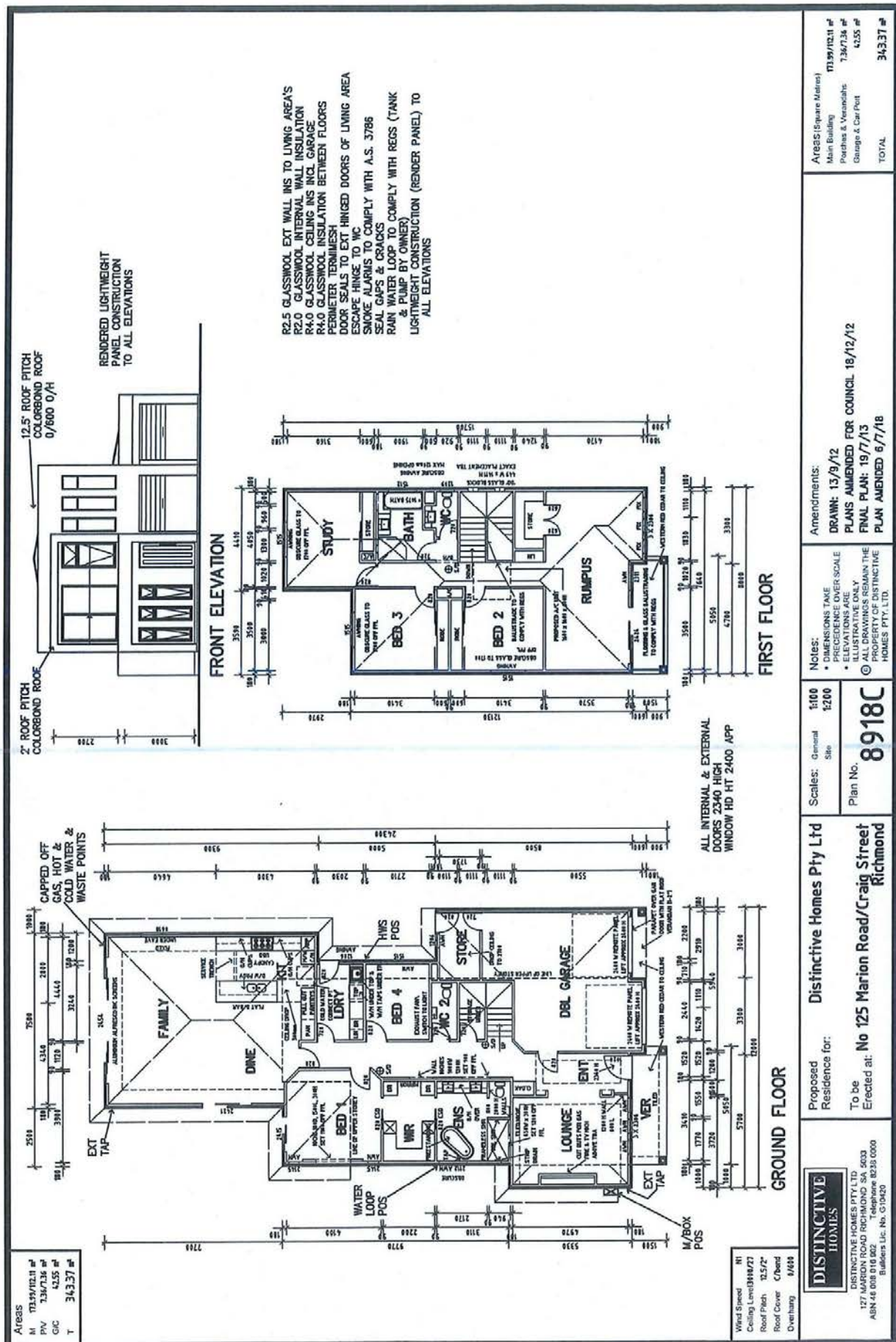
That:

1. On the basis that this matter is before the Environment Resources and Development Court so any disclosure would prejudice the position of Council, the Development Assessment Panel orders pursuant to Section 56A(12)(a) of the *Development Act 1993*, that the public, with the exception of the Manager City Development, Co-ordinator Development,

PURPOSE:	DIVISION	AREA NAME:	RICHMOND	APPROVED:	SHEET 1 OF 2 55837_text_01_v01
MAP REF:	6628/41/L	COUNCIL:	CITY OF WEST TORRENS	DEPOSITED/FILED:	
LAST PLAN:	DEVELOPMENT NO:				
AGENT DETAILS:		SURVEYORS CERTIFICATION:			
FYFE PTY LTD LEVEL 1, 124 SOUTH TERRACE ADELAIDE SA 5000 PH: 82019600 FAX:					
AGENT CODE:		ALRF			
REFERENCE:		13761/2/1 DU1-R0			
SUBJECT TITLE DETAILS:					
PREFIX	VOLUME	FOLIO	OTHER	PARCEL	
CT	5413	725		ALLOTMENT(S)	
OTHER TITLES AFFECTED:					
EASEMENT DETAILS:		IN FAVOUR OF			
STATUS	LAND BURDENED	FORM	CATEGORY	PURPOSE	CREATION
ANNOTATIONS:					

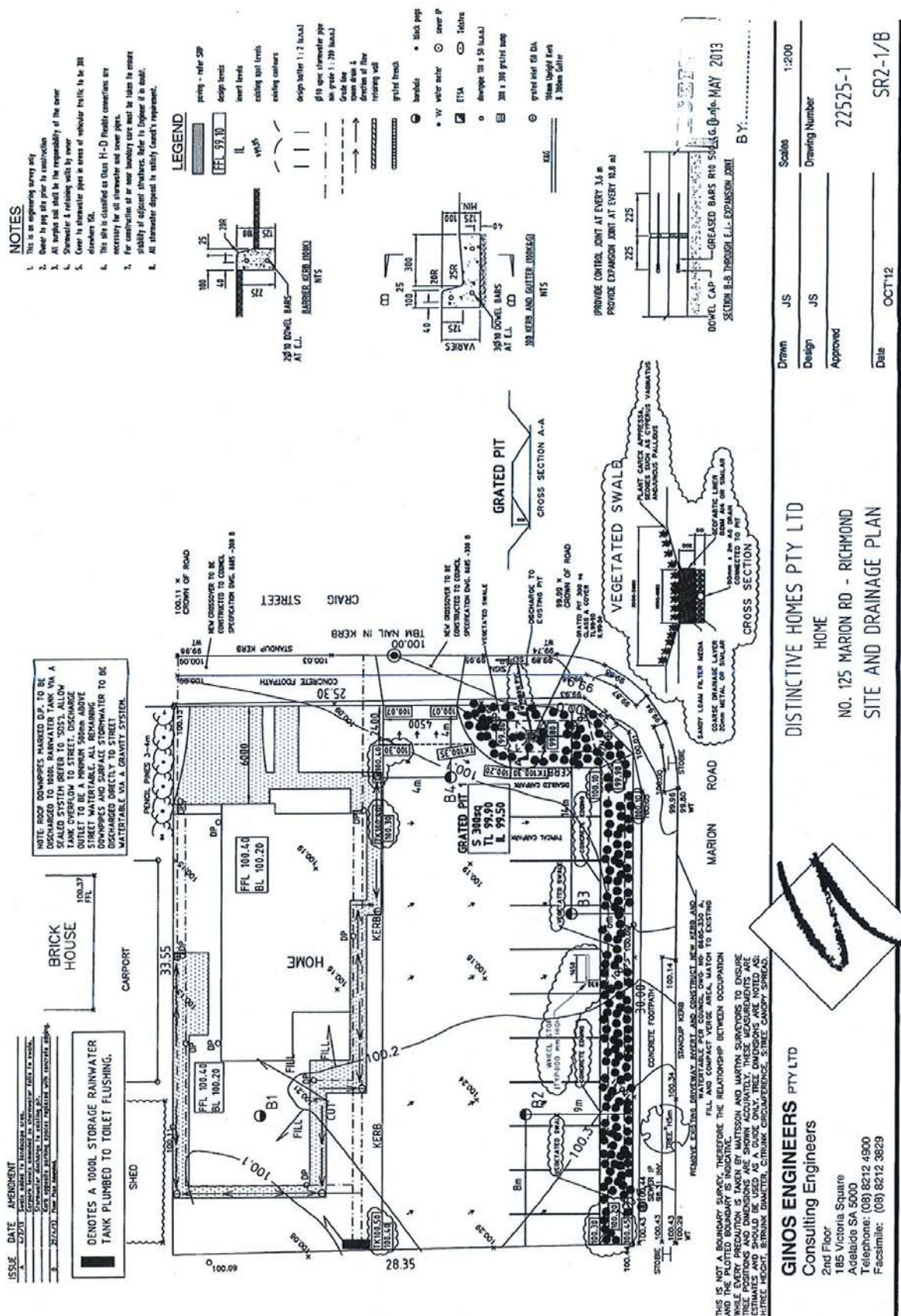






<b>Areas</b> M PV GC T	RENDERED LIGHTWEIGHT PANEL CONSTRUCTION TO ALL ELEVATIONS	<p>2700</p> <p>3000</p>	SIDE ELEVATION	<p>2700</p> <p>3000</p>	REAR ELEVATION	<p>2700</p> <p>3000</p>	SIDE ELEVATION	Wind Speed HT Ceiling Level 3380/27 Roof Pitch 12.5/27 Roof Cover 7/100 Overhang 0/100	<b>DISTINCTIVE HOMES</b> DISTINCTIVE HOMES PTY LTD 127 MARION ROAD RICHMOND SA 5033 ABN 48 003 018 902 Telephone 8238 0000 Builders Lic. No. G10420	Proposed Residence for: To be Erected at No 125 Marion Road/Craig Street Richmond	Scales: General 1:100 Site 1:200 Plan No. <b>8918C</b>	Notes: • DIMENSIONS TAKE TO FACE UNLESS OTHERWISE STATED • ELEVATIONS FOR ILLUSTRATIVE ONLY © ALL DRAWINGS REMAIN THE PROPERTY OF DISTINCTIVE HOMES PTY. LTD.	Amendments: DRAWN: 13/9/12 PLANS AMENDED 18/12/12	Areas (Square Metres) Main Building Porches & Verandahs Garage & Car Port TOTAL
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The logo for sonus. features the word "sonus." in a red, lowercase, sans-serif font. The period is a small dot. The logo is positioned on the right side of a dark grey rectangular header.

Distinctive Homes  
127 Marion Rd  
RICHMOND SA 5063

S5455C4

**Attention:** Kellie Strachan

**3 July 2018**

Dear Kellie,

**125 MARION ROAD RICHMOND  
AIRCRAFT NOISE ASSESSMENT**

As requested, an assessment has been made of measures, which could be practically implemented, to minimise the potential impact of aircraft noise at 125 Marion Road, Richmond.

The building was constructed as a display home and is now proposed to be used as a residence. The general construction of the building consists of "Rendapanel" (a rendered polystyrene facade system), well-sealed double glazed windows and a sheet steel roof incorporating insulation.

Two measures have been identified to minimise the impact of aircraft noise for the proposed use as a residence:

- To reduce the noise transfer through the roof, high density insulation could be installed below the roof in the area above bedrooms. A suitable product is 100mm thick "Rockwool Fibretex 350". With the insulation installed, the noise transfer via the roof will be reduced by approximately 7 dB(A) but the overall noise reduction will be limited by the noise transfer via the Rendapanel.
- Another method of minimising the impact on future residents is to locate less sensitive uses in the higher noise areas. This could be achieved by using a room on the upper level, which is currently indicated as a bedroom, as a study. The room should be one of the rooms directly facing the flightpath.

A further reduction in aircraft noise would require modification to the Rendapanel system. The system would need to be removed and either replaced with a material with a higher density (such as masonry), or multiple layers of plasterboard would need to be installed before reinstalling the Rendapanel system. The practicality of these options would need to be considered.

125 MARION ROAD RICHMOND  
AIRCRAFT NOISE ASSESSMENT  
3 July 2018  
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sonus.

Given the existing double glazing and the influence of the Rendapanel facade, a replacement of windows will not provide any noticeable reduction in aircraft noise, without a change to the Rendapanel as noted above.

Ultimately, to achieve the recommended indoor noise levels of the Australian Standard AS2021, would require:

- An upgrade to the roof insulation;
- Replacement of the Rendapanel system with a higher density product; and,
- A further upgrade to glazing and doors.

Please let me know if you would like to discuss.

Yours faithfully  
Sonus Pty Ltd



Chris Turnbull  
Principal

+61 417 845 720  
ct@sonus.com.au



BUILDERS LICENCE NO. G10420

DISTINCTIVE HOMES PTY LTD  
DISTINCTIVE HOMES SALES PTY LTD  
DISTINCTIVE LIFESTYLE

ABN 48 008 016 902  
ABN 85 093 238 496

9<sup>th</sup> July, 2018

City of West Torrens  
165 Sir Donald Bradman Drive  
HILTON SA 5033

**RE: DA211/996/2017 - 125 Marion Road, Richmond**

To whom it may concern

In response to the Aircraft noise assessment, conducted by Sonus, as requested by council, as to the measurements that could be practically implemented, Distinctive Homes Pty Ltd have considered the following:

- Locating less sensitive areas to higher noise areas (please see plan attached) with bedroom 4 being considered the most exposed, the study has been relocated upstairs with bedroom 4 now being downstairs.
- Upgrading roof insulation. An upgrade to the roof insulation by adding to or replacing the existing is a practical option. We are happy to use the recommended product or something equal to achieve this.

As noted by Sonus the major element in bringing the building upto, or as close as possible to, code is by replacing or adding to the exterior render panel façade. The current overall wall thickness is 180mm. To replace render panel with masonry would bring the walls out to 240mm.

There are numerous structural problems associated with this. The main one is that the footings have not been designed to accommodate the additional weight of the masonry. There is also the issue of the brickwork having no rebate to support it.

127 MARION ROAD, RICHMOND SA 5033 PO BOX 208, MARLESTON SA 5033

PHONE: (08) 8238 0000

FREECALL: 1800 880 250 (COUNTRY CALLERS ONLY)

CONSTRUCTION FAX: (08) 8234 0485 - SALES FAX: (08) 8443 3220

INTERNET: WWW.DISTINCTIVEHOMES.COM.AU



**QUALITY AFFORDABLE HOMES**





As noted by Sonus all the external glazing is, already, double glazed so without changing the exterior cladding, any possible upgrade to the glazing would be ineffective.

In conclusion the client is prepared to:

- Re purpose Bedroom 4 upstairs & study downstairs.
- Upgrade or add to the roof insulation as recommended.
- Replacement of the exterior cladding is not considered practical or cost effective.
- Prepared to look at any other practical recommendations that come to light.

If you have any queries please contact Kellie on 8238 0000.

Yours sincerely



Kellie Strachan  
*Per George Flourentzou*  
*CEO of Distinctive Homes Pty Ltd*



**STATEMENT OF EFFECT**  
**CHANGE OF USE – 125-127 MARION ROAD RICHMOND**  
Final

**PREPARED FOR** | Distinctive Homes

**PREPARED BY** | Fyfe Pty Ltd

**ABN** | 57 008 116 130

**ADDRESS** | L1, 124 Level 1 South Terrace, Adelaide

**CONTACT** | David Bills

**TELEPHONE** | office 61 8 8407 9448

**FACSIMILE** | 61 8 8201 9650

**EMAIL** | james.szabo@fyfe.com.au

**DATE** | 23/10/2018

**REFERENCE** | 65137-1

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**Proprietary Information Statement**

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CHANGE OF USE – 125-127 MARION ROAD RICHMOND  
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## APPENDICES

Appendix A	Proposal Plans
Appendix B	Sonus Reports
Appendix C	Distinctive Homes Letter
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CHANGE OF USE – 125-127 MARION ROAD RICHMOND  
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## 1. INTRODUCTION

Fyfe has been engaged Distinctive Homes to prepare a Statement of Effect in relation to the proposed change of land use at 125-127 Marion Road, Richmond.

The subject site is located within West Torrens LGA and is assigned to the Council for this area as the decision making authority.

The allotment is contained within the Neighbourhood Centre Zone, where a change of land use for a dwelling is a Non-Complying form of development.

This statement seeks to provide relevant information about the subject land, the locality and the nature of the proposed development in order to assist Council in its decision-making process.

As required by Regulation 17(5) of the *Development Regulations 2008*, this Statement of Effect provides:

- (a) a description of the nature of the development and the nature of its locality;*
  - (b) a statement as to the provisions of the Development Plan which are relevant to the assessment of the proposed development;*
  - (c) an assessment of the extent to which the proposed development complies with the provisions of the Development Plan;*
  - (d) an assessment of the expected social, economic and environmental effects of the development on its locality; and*
  - (e) any other information specified by the relevant authority when it resolves to proceed with an assessment of the application (being information which the relevant authority reasonably requires in the circumstances of the particular case),*
- together with other relevant material.*

The proposed change of land use is considered straightforward in nature, with the intention to convert an existing display home into a residential dwelling. The balance of the land will continue to be used in association with the Distinctive Homes office at 127 Marion Road.

It is noted that Land Division DA-211/41/2017 (DAC 211/D224/16) has been lodged with Council to divide the subject site to create an allotment to contain the dwelling and its curtilage in its entirety. This application is understood to be on hold pending the outcome of this land use application.

Based on our assessment of the change of use we have formed the opinion that the proposal satisfies the key provisions of the West Torrens Council Development Plan, to the extent that it would be appropriate for Council to support the proposal.



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CHANGE OF USE – 125-127 MARION ROAD RICHMOND  
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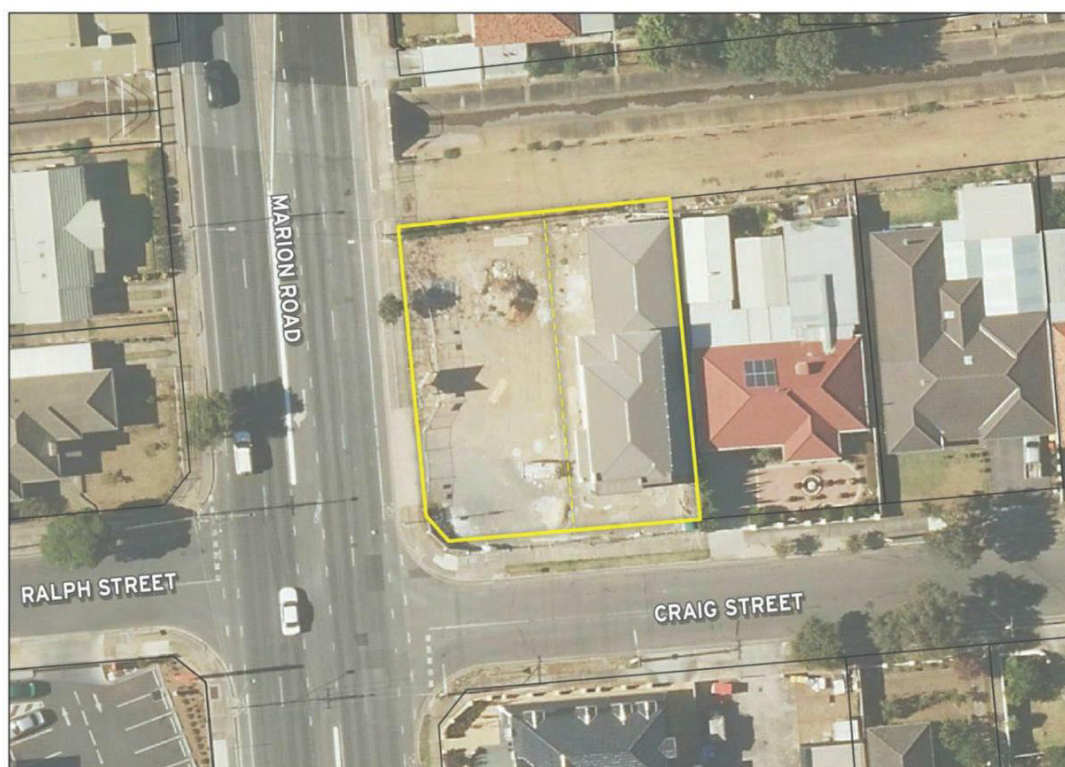
## 2. SUBJECT LAND AND LOCALITY

### 2.1 The Subject Land

The subject land is described as Allotment 53 Marion Road, Richmond, contained within Certificate of Title Volume 5413 Folio 725. The subject land will also include 127 Marion Road upon which the Distinctive Homes office is located and will continue to benefit from the existing car parking at 125 Marion Road. No physical works or change of use is proposed at 127 Marion Road.

As shown in Figure 1 below, the subject land at 125 Marion Road is an allotment containing:

- The established display home Figure 2.2;
- Associated car parking (associated with the display home);
- Primary access to Marion Road; and
- Secondary access to Craig Street.



 SUBJECT SITE



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**Figure 2.1** Subject Site



**Figure 2.2** Subject Site and Dwelling

## 2.2 The Locality

The locality is characterised by mix of residential and commercial development, on allotments of a regular shape. Residential development within the locality is typically low density and exhibits a low scale. The prominence of Marion Road and its high traffic volumes has a large influence on the amenity of the locality.

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### 3. DESCRIPTION OF THE PROPOSAL

The application seeks to change the use of an approved display home to a dwelling, to be used for residential purposes, a revised set of proposal plans are provided as **Appendix A**.

Minor internal alterations are required to ensure that the acoustic performance of the dwelling is improved. This includes additional insulation and internal room reconfiguration. A report from Sonus Acoustic Engineers is provided in support of these adaptations (**Appendix B**) and this is supported by correspondence from Distinctive Homes (**Appendix C**).

The associated land division application (**Appendix D**) has been proposed having regard to the existing display home and its curtilage, and will ensure that the dwelling is contained within one exclusive allotment. The proposed allotment site area will equate to 435m<sup>2</sup> and will have a frontage to Craig Street of 13 metres.

The use of the car park in association with the display home will cease. The applicant proposes that the use of the car park be retained to serve Distinctive Homes Commercial Office located adjacent at 127 Marion Road.

Signage relating to the display home will be removed from the car parking area.



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## **4. PROCEDURAL MATTERS**

### **4.1 Nature of Development**

The subject land is located within the Richmond Policy Area (14) of the Neighbourhood Centre Zone, as identified by Map WeTo/8 of the West Torrens Council Development Plan (Consolidated 30 May 2017). Any change of land use for the purposes of a dwelling is designated as a Non-Complying form of development.

### **4.2 Relevant Authority and Concurrence**

The relevant planning authority for this development application is the City of West Torrens.

Pursuant to Section 35 of the *Development Act 1993*, the City of West Torrens cannot approve the application without obtaining concurrence from the State Commission Assessment Panel (SCAP).

### **4.4 Referrals**

No referrals under Schedule 8 of the *Development Regulations, 2008* are triggered by the proposal.

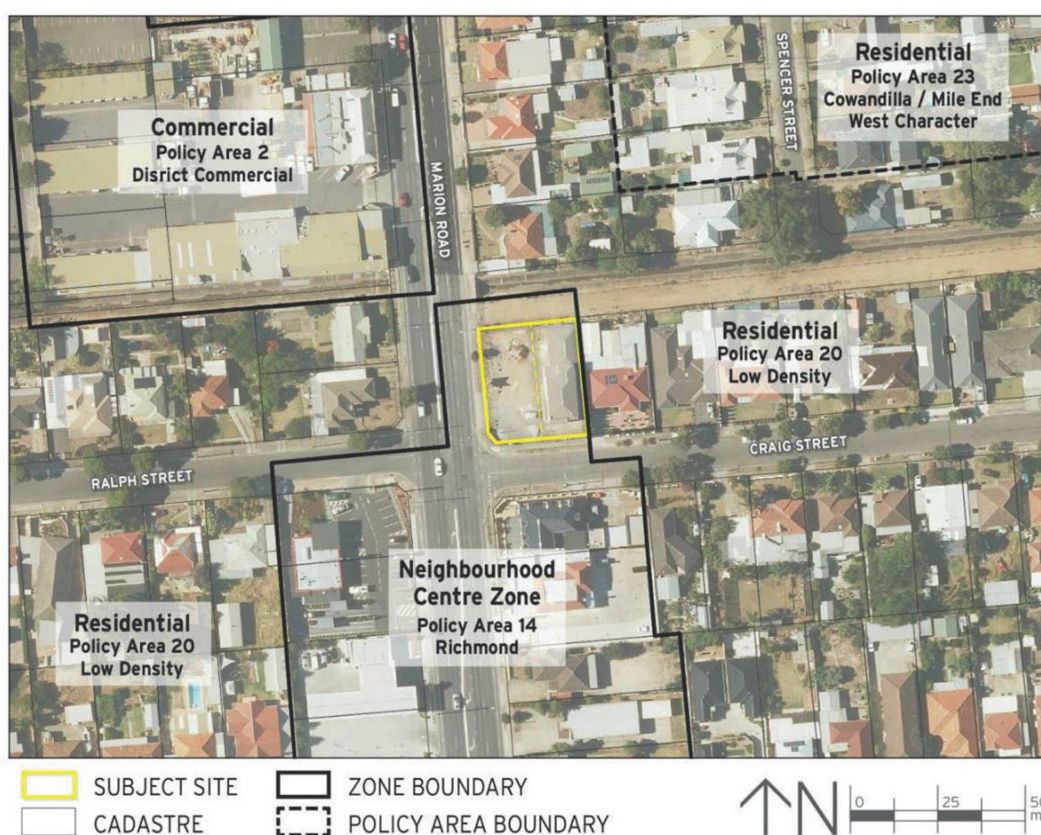
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## 5. DEVELOPMENT PLAN CONSIDERATIONS

The subject land is located within the Richmond Policy Area (14) of the Neighbourhood Centre Zone, as identified by Map WeTo/8 of the West Torrens Council Development Plan (Consolidated – 30 May 2017).

Figure 2 below depicts the zoning context with respect to the subject site and surrounds.



**Figure 5.1 Zoning**

The following Objectives and Principles of Development Control are considered to be most relevant to the proposal:

### NEIGHBOURHOOD CENTRE ZONE

Objectives:	3
Principles of Development Control:	1, 3, 4

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#### **Richmond Policy Area 14**

Objectives:	1
Principles of Development Control:	1

#### **COUNCIL WIDE**

##### **Building near Airfields**

Objectives:	
Principles of Development Control:	6

##### **Design and Appearance**

Objectives:	1
-------------	---

##### **Infrastructure**

Principles of Development Control:	1
------------------------------------	---

## **5.1 Neighbourhood Centre Zone**

Although, the proposed change of use triggers the Non-Complying process, it should be noted that a land use of this nature is contemplated in the zone, evidenced by Objective 3:

**Objective 3**     *A centre accommodating residential development in conjunction with non-residential development.*

Although the change of use severs the non-residential aspect of the existing building, it is noted that the display home has reached the end of its useful occupation in this regard. As such the applicant proposes to convert the building to a dwelling through adaptive reuse.

The impact of this conversion is unlikely to threaten the function of existing and future non-residential activity alluded to by PDC 3 of the Zone, this is due to the site being located on the northern fringe of the Zone, where it is fragmented from the core areas by Craig Street. As such meaningful non-residential development is inherently limited in this portion of the Zone.

In addition, the dwelling is located to the rear of the existing allotment and the land division will allow future commercial development on the western block, fronting Marion Road. In the interim, the car park allotment will be utilised for car parking in association with the Distinctive Homes Office at 127 Marion Road, ensuring that the proposal generally conforms to PDC 4 of the Zone.

### **5.1.1 Richmond Policy Area 14**

Although not explicitly described in the Policy Area section the proposed residential conversion of a display home should be considered a logical evolution of the use of the existing building.



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The subject land is fragmented from the core areas of the Policy Area and the dwelling integrates seamlessly with adjoining residential development, this diminishes the weight of the Policy Areas aspirations in a practical land use sense.

As such, Council should be assured that the proposed use is unlikely to have a material impact on the retail/commercial outcomes of the Policy Area as this portion of land is inherently limited and any meaningful redevelopment of the site for retail/commercial purposes could actually limit future retail development in the core areas, due to the effect of the retail 'cap' (PDC 2).

As such in this context, the subtle conversion of a display home to a dwelling is considered a minor departure from the land use aspirations of the Policy Area and is unlikely to set unfavourable precedence for future development.

In addition, flexibility is provided with respect to the future development of the car park lot fronting Marion Road, where the opportunity will freely exist for any future development to achieve consistency with the Policy Area aspirations.

## 5.2 Council Wide

The following section provides an assessment of the proposal against the most relevant Objectives and Principles of Development Control in the West Torrens Council Development Plan.

### 5.2.1 Building near Airfields

Council staff have raised concern regarding the impact of aircraft noise on the future amenity of residents of the proposed dwelling. In particular, there has been a focus on ensuring that Principle 6 under the Building near Airports Council-wide section is reasonably complied with:

**PDC 6** *Development within areas affected by aircraft noise should be consistent with Australian Standard AS2021 - Acoustics - Aircraft Noise Intrusion - Building Siting and Construction.*

To assist Council with its assessment Sonus Acoustic Engineers have been engaged to measure noise impacts on the dwelling and recommend appropriate adaptations to achieve better consistency with PDC 6 (**Appendix B**).

Sonus's findings provide insight into the current construction, most notably:

*'The construction of the dwelling includes double glazing, window seals and insulation in the ceiling space, which all contribute to reducing aircraft noise'.*

On account of this, the noise measurements undertaken by Sonus indicated that the reduction in noise from outside to inside bedrooms was approximately 28 dB(A), with a reduction of approximately 24 dB(A) to an upstairs living area and 33 dB(A) to a downstairs living area.

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These reductions result in the internal criteria of AS2021 being exceeded on the upper level by 10DBA and achieve the criterion for the lower level living areas for typical aircraft flyovers.

To further improve internal noise reductions to the upper levels Sonus have suggested the following adaptations:

- Higher density insulation should be installed below the roof, above the upper level bedrooms; and
- Sensitive uses such as bedrooms 4 should be moved away from the higher noise areas.

Notably a combination of these measures will further reduce internal noise transfer from aircraft flyovers by 7DBA, bringing the noise measurements within 3DBA of the internal criteria of AS2021.

The Client has confirmed that they will adopt both of the measures proposed by Sonus (**Appendix C**). This will be achieved by additional roof insulation and relocating bedroom 4 (the most exposed bedroom) downstairs with the study relocated upstairs.

In addition, the Client has provided a rationale and justification as to why it is not practical to replace the render panelling.

A combination of the above measures and investigations are considered sufficient to satisfy the expectations of Council with respect to the impacts of aircraft noise.

### 5.2.2 Design and Appearance

The following Council-wide provisions under the heading Design and Appearance are relevant to the application.

**Objective 1** *Development of a high architectural standard and appearance that responds to and reinforces positive aspects of the local environment and built form.*

The building as constructed is of a contemporary appearance and utilises a range of materials and colours to ensure it exemplifies good residential design in isolation and also integrates with existing buildings in the locality seamlessly.

It is noted that no external alterations are proposed as part of this application and the dwelling in its current form complies with the majority of Residential Development provisions.

### 5.2.3 Infrastructure

The following Council-wide Principle under the heading Infrastructure is relevant to the application.

**PDC 1** *Development should only occur where it has access to adequate utilities and services, including:*

- (a) *electricity supply*

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CHANGE OF USE – 125-127 MARION ROAD RICHMOND  
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- (b) water supply*
- (c) drainage and stormwater systems*
- (d) garbage disposal and recycling collection*
- (e) effluent disposal systems*
- (f) formed all-weather public roads*
- (g) telecommunications services*
- (h) gas services.*

The subject land is connected to all essential services.

The primary infrastructure considerations arising from the proposed development relate to the sewer connection. Notably the Applicant is electing to relocate the sewer connection from Marion Road to Craig Street, so as to contain sewer connection within the dwelling allotment.



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CHANGE OF USE – 125-127 MARION ROAD RICHMOND  
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## **6. ASSESSMENT OF EFFECTS**

### **6.1 Economic Effects**

The proposed development will provide more housing choice for the western suburbs and provide an increased economic base for the Neighbourhood Centre.

As such it is likely that some businesses will experience a sales increase associated with the conversion of the display home to a dwelling.

Further, additional economic impact are likely to be felt on surrounding dwellings, with an increase in value on account of the relatively new dwelling improving amenity in the locality.

It is also worth noting that the subject land presently forms low intensity commercial use and the proposed loss of this land to residential development is unlikely to have negative economic impacts on the Policy Area.

### **6.2 Environmental Effects**

The principal environmental effects of the proposal can be summarised as follows:

- enhanced amenity for adjoining residents;
- modern well-designed and constructed premises;
- provision of extensive and high-quality landscaping participating to embellishing the public realm; and
- retention and re-use of stormwater.

It is therefore our opinion that the proposal will contribute to positive environmental effects.

### **6.3 Social Effects**

An increase in the residential population increases demand for services. In addition, the dwelling will provide for an increase in passive surveillance within the locality, which is considered important at the interface of two zones.

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CHANGE OF USE – 125-127 MARION ROAD RICHMOND  
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## 7. CONCLUSION

The proposed development of the land for a residential use is not specifically envisaged in the Policy Area. Notwithstanding, the Development Plan does anticipate residential development within Neighbourhood Centre Zones.

With regard to the context of this proposal the conversion of the display home is considered to be appropriate development for the following reasons:

- The conversion supports adaptive reuse of an existing building;
- The site being located at the fringe of the Neighbourhood Centre Zone and it is our opinion that there will be no significant strategic planning disadvantage from the loss of retail/commercial land.
- The existing built form built form is consistent with the overall expectations of the Development Plan for residential development;
- The impacts of noise from aircrafts will be reasonably mitigated; and
- The car park will continue to be used in association with a commercial use.

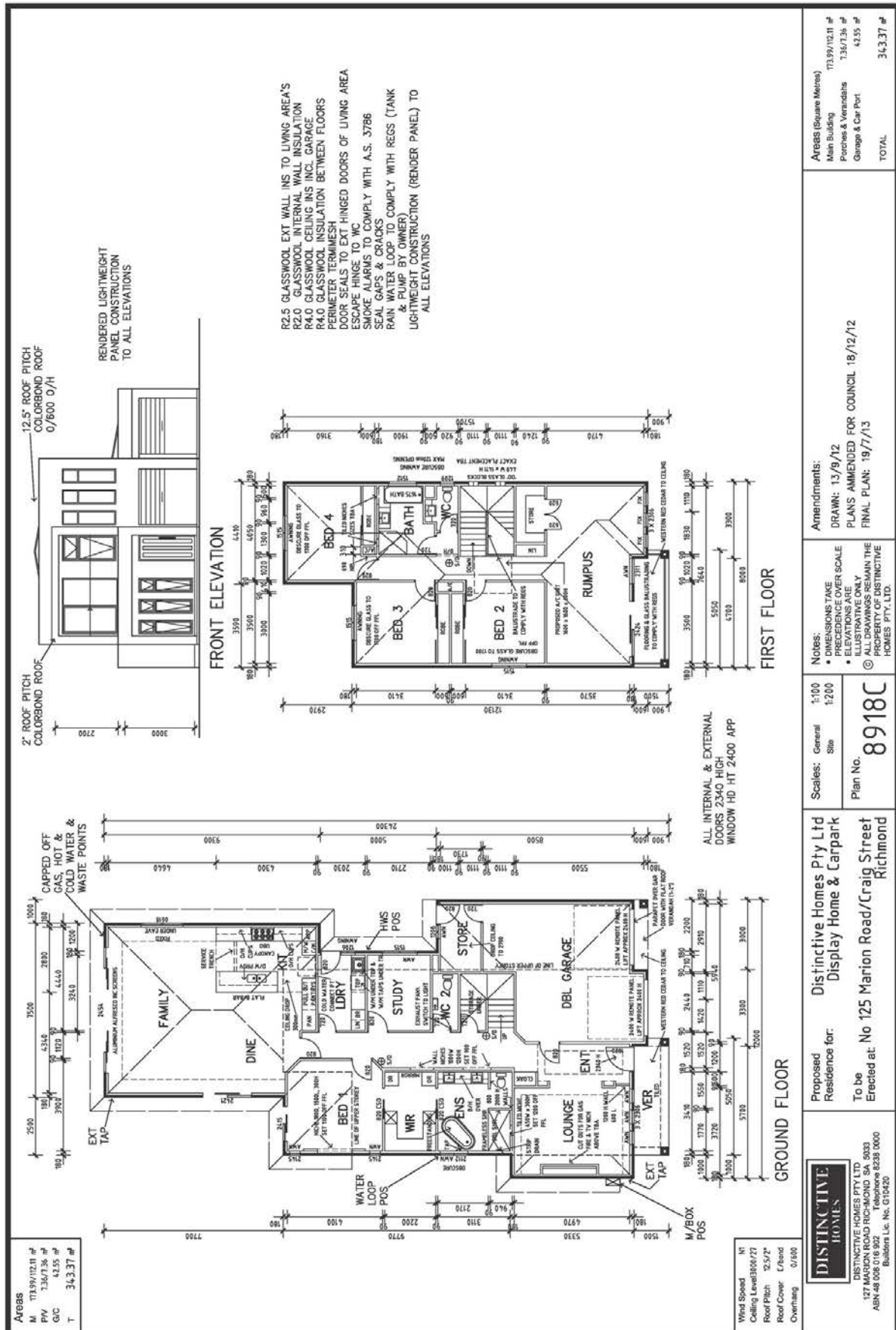
Overall, notwithstanding the non-complying nature of the proposal, we are of the opinion that the proposed development is not seriously at variance with the Development Plan and displays sufficient merit to warrant Development Plan Consent.



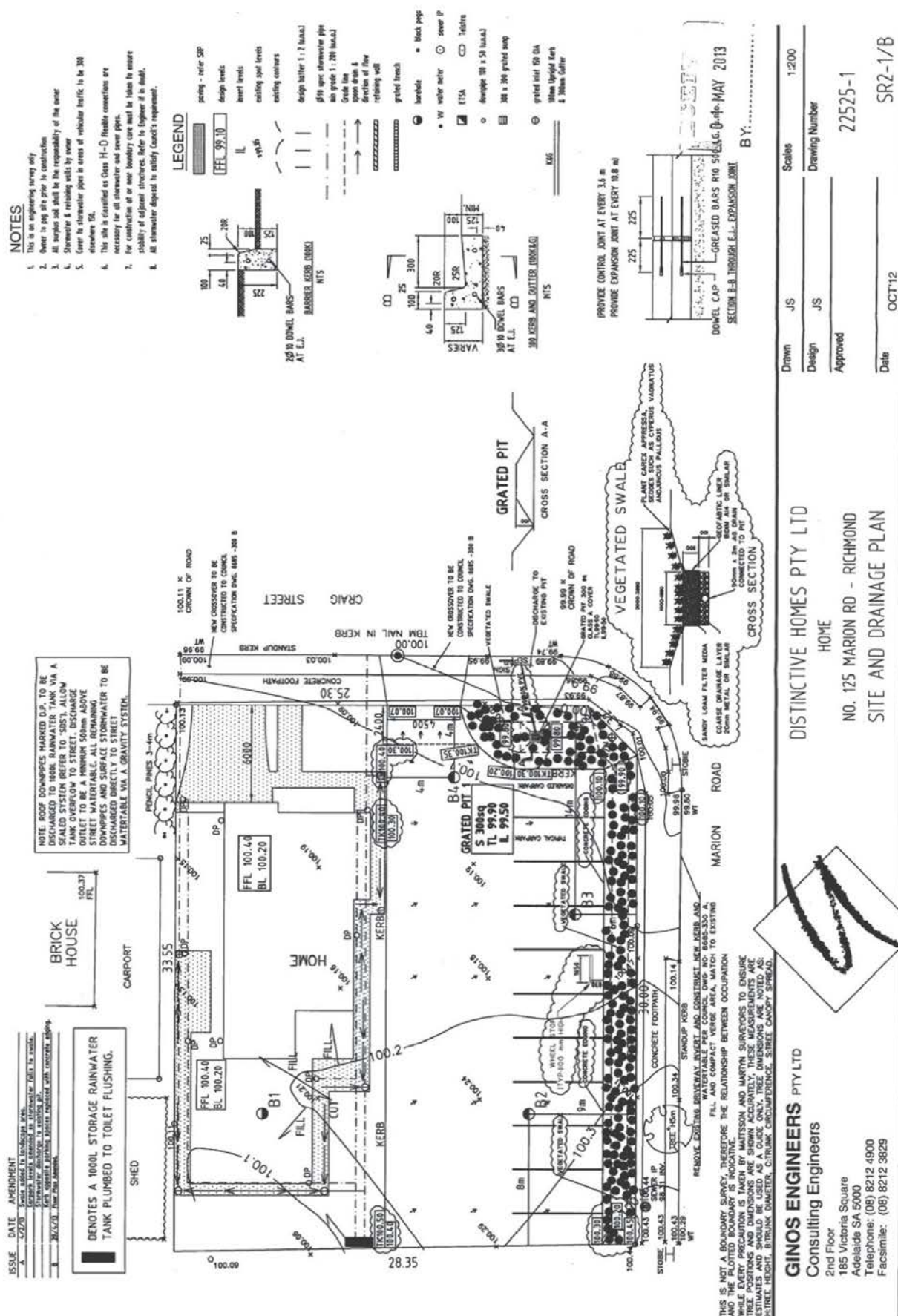
## **APPENDIX A**

### **PROPOSAL PLANS**





<p>Areas</p> <p>M</p> <p>P/V</p> <p>G/C</p> <p>T</p>	<p>SIDE ELEVATION</p>	<p>REAR ELEVATION</p>	<p>SIDE ELEVATION</p>	<p>Wind Speed M</p> <p>Ceiling Level 30/37/21</p> <p>Roof Pitch 12.5°</p> <p>Roof Cover 0/Hand</p> <p>Overhang 0/600</p>	<table border="1"> <tr> <td data-bbox="1262 163 1326 383"> <p>Proposed Residence for:</p> <p>To be Erected at:</p> </td> <td data-bbox="1262 383 1326 1227"> <p>Distinctive Homes Pty Ltd</p> <p>Display Home &amp; carpark</p> <p>No 125 Marion Road/Craig Street Richmond</p> </td> <td data-bbox="1262 1227 1326 1637"> <p>Scales: General 1:100</p> <p>Site 1:200</p> <p>Plan No. 8918C</p> </td> <td data-bbox="1262 1637 1326 1924"> <p>Notes:</p> <ul style="list-style-type: none"> <li>DIMENSIONS TAKE PRECEDENCE OVER SCALE</li> <li>ILLUSTRATIVE ONLY</li> <li>ALL DRAWINGS REMAIN THE PROPERTY OF DISTINCTIVE HOMES PTY. LTD.</li> </ul> </td> <td data-bbox="1262 1924 1326 2040"> <p>Amendments:</p> <p>DRAWN: 13/9/12</p> <p>PLANS AMENDED 18/12/12</p> </td> <td data-bbox="1262 2040 1326 2152"> <p>Areas (Square Metres)</p> <p>Main Building</p> <p>Porches &amp; Verandahs</p> <p>Garage &amp; Car Port</p> <p>TOTAL</p> </td> </tr> </table>	<p>Proposed Residence for:</p> <p>To be Erected at:</p>	<p>Distinctive Homes Pty Ltd</p> <p>Display Home &amp; carpark</p> <p>No 125 Marion Road/Craig Street Richmond</p>	<p>Scales: General 1:100</p> <p>Site 1:200</p> <p>Plan No. 8918C</p>	<p>Notes:</p> <ul style="list-style-type: none"> <li>DIMENSIONS TAKE PRECEDENCE OVER SCALE</li> <li>ILLUSTRATIVE ONLY</li> <li>ALL DRAWINGS REMAIN THE PROPERTY OF DISTINCTIVE HOMES PTY. LTD.</li> </ul>	<p>Amendments:</p> <p>DRAWN: 13/9/12</p> <p>PLANS AMENDED 18/12/12</p>	<p>Areas (Square Metres)</p> <p>Main Building</p> <p>Porches &amp; Verandahs</p> <p>Garage &amp; Car Port</p> <p>TOTAL</p>
<p>Proposed Residence for:</p> <p>To be Erected at:</p>	<p>Distinctive Homes Pty Ltd</p> <p>Display Home &amp; carpark</p> <p>No 125 Marion Road/Craig Street Richmond</p>	<p>Scales: General 1:100</p> <p>Site 1:200</p> <p>Plan No. 8918C</p>	<p>Notes:</p> <ul style="list-style-type: none"> <li>DIMENSIONS TAKE PRECEDENCE OVER SCALE</li> <li>ILLUSTRATIVE ONLY</li> <li>ALL DRAWINGS REMAIN THE PROPERTY OF DISTINCTIVE HOMES PTY. LTD.</li> </ul>	<p>Amendments:</p> <p>DRAWN: 13/9/12</p> <p>PLANS AMENDED 18/12/12</p>	<p>Areas (Square Metres)</p> <p>Main Building</p> <p>Porches &amp; Verandahs</p> <p>Garage &amp; Car Port</p> <p>TOTAL</p>						







## **APPENDIX B**

### **SONUS REPORTS**

The logo for Sonus Pty Ltd, featuring the word "sonus." in a lowercase, red, sans-serif font.

Distinctive Homes  
127 Marion Rd  
RICHMOND SA 5063

**S5455C3**

**Attention: Kellie Strachan**

**2 March 2018**

Dear Kellie,

**125 MARION ROAD RICHMOND  
AIRCRAFT NOISE ASSESSMENT**

Sonus has conducted an assessment of the aircraft noise within the display home at 125 Marion Road Richmond. The assessment included measurements of aircraft noise and determination of the main noise paths into the dwelling.

The construction of the dwelling includes double glazing, window seals and insulation in the ceiling space, which all contribute to reducing aircraft noise. However, the facade is constructed from "RendaPanel", which is a rendered polystyrene system and is not a very effective barrier to noise.

The noise measurements indicated that the reduction in noise from outside to inside bedrooms was approximately 28 dB(A), with a reduction of approximately 24 dB(A) to an upstairs living area and 33 dB(A) to a downstairs living area. These reductions result in the internal criteria of AS2021 being exceeded by approximately 10 dB(A) on the upper level for typical aircraft flyovers and achieving the criterion for the lower level living area.

Consideration has been given to measures which could be installed to reduce the noise, such as an upgraded ceiling and window construction. However, no noticeable improvement will be achieved without a change to the facade construction. It is understood that it is impractical to replace the RendaPanel as this would effectively require rebuilding the dwelling.

If you have any questions or require clarification, please call me.

Yours faithfully  
**Sonus Pty Ltd**

A handwritten signature in black ink, appearing to read "Chris Turnbull".

**Chris Turnbull  
Principal**

+61 417 845 720  
ct@sonus.com.au

---

**Sonus Pty Ltd**

**17 Ruthven Avenue ADELAIDE SA 5000**

**www.sonus.com.au**

The logo for sonus. is displayed in a red, lowercase, sans-serif font. The letter 's' is significantly larger than the other letters, and the period at the end is a small dot.

Distinctive Homes  
127 Marion Rd  
RICHMOND SA 5063

S5455C4

**Attention: Kellie Strachan**

**3 July 2018**

Dear Kellie,

**125 MARION ROAD RICHMOND  
AIRCRAFT NOISE ASSESSMENT**

As requested, an assessment has been made of measures, which could be practically implemented, to minimise the potential impact of aircraft noise at 125 Marion Road, Richmond.

The building was constructed as a display home and is now proposed to be used as a residence. The general construction of the building consists of "Rendapanel" (a rendered polystyrene facade system), well-sealed double glazed windows and a sheet steel roof incorporating insulation.

Two measures have been identified to minimise the impact of aircraft noise for the proposed use as a residence:

- To reduce the noise transfer through the roof, high density insulation could be installed below the roof in the area above bedrooms. A suitable product is 100mm thick "Rockwool Fibretex 350". With the insulation installed, the noise transfer via the roof will be reduced by approximately 7 dB(A) but the overall noise reduction will be limited by the noise transfer via the Rendapanel.
- Another method of minimising the impact on future residents is to locate less sensitive uses in the higher noise areas. This could be achieved by using a room on the upper level, which is currently indicated as a bedroom, as a study. The room should be one of the rooms directly facing the flightpath.

A further reduction in aircraft noise would require modification to the Rendapanel system. The system would need to be removed and either replaced with a material with a higher density (such as masonry), or multiple layers of plasterboard would need to be installed before reinstalling the Rendapanel system. The practicality of these options would need to be considered.



125 MARION ROAD RICHMOND  
AIRCRAFT NOISE ASSESSMENT  
3 July 2018  
Page 2 of 2

sonus.

Given the existing double glazing and the influence of the Rendapanel facade, a replacement of windows will not provide any noticeable reduction in aircraft noise, without a change to the Rendapanel as noted above.

Ultimately, to achieve the recommended indoor noise levels of the Australian Standard AS2021, would require:

- An upgrade to the roof insulation;
- Replacement of the Rendapanel system with a higher density product; and,
- A further upgrade to glazing and doors.

Please let me know if you would like to discuss.

Yours faithfully  
Sonus Pty Ltd



Chris Turnbull  
Principal

+61 417 845 720  
ct@sonus.com.au



## **APPENDIX C**

### **DISTINCTIVE HOMES LETTER**



BUILDERS LICENCE NO. G10420

DISTINCTIVE HOMES PTY LTD  
DISTINCTIVE HOMES SALES PTY LTD  
DISTINCTIVE LIFESTYLE

ABN 48 008 016 902  
ABN 85 093 238 496

9<sup>th</sup> July, 2018

City of West Torrens  
165 Sir Donald Bradman Drive  
HILTON SA 5033

**RE: DA211/996/2017 - 125 Marion Road, Richmond**

To whom it may concern

In response to the Aircraft noise assessment, conducted by Sonus, as requested by council, as to the measurements that could be practically implemented, Distinctive Homes Pty Ltd have considered the following:

- Locating less sensitive areas to higher noise areas (please see plan attached) with bedroom 4 being considered the most exposed, the study has been relocated upstairs with bedroom 4 now being downstairs.
- Upgrading roof insulation. An upgrade to the roof insulation by adding to or replacing the existing is a practical option. We are happy to use the recommended product or something equal to achieve this.

As noted by Sonus the major element in bringing the building upto, or as close as possible to, code is by replacing or adding to the exterior render panel façade. The current overall wall thickness is 180mm. To replace render panel with masonry would bring the walls out to 240mm.

There are numerous structural problems associated with this. The main one is that the footings have not been designed to accommodate the additional weight of the masonry. There is also the issue of the brickwork having no rebate to support it.

127 MARION ROAD, RICHMOND SA 5033 PO BOX 208, MARLESTON SA 5033

PHONE: (08) 8238 0000

FREECALL: 1800 880 250 (COUNTRY CALLERS ONLY)

CONSTRUCTION FAX: (08) 8234 0485 - SALES FAX: (08) 8443 3220

INTERNET: [WWW.DISTINCTIVEHOMES.COM.AU](http://WWW.DISTINCTIVEHOMES.COM.AU)



**QUALITY AFFORDABLE HOMES**



As noted by Sonus all the external glazing is, already, double glazed so without changing the exterior cladding, any possible upgrade to the glazing would be ineffective.

In conclusion the client is prepared to:

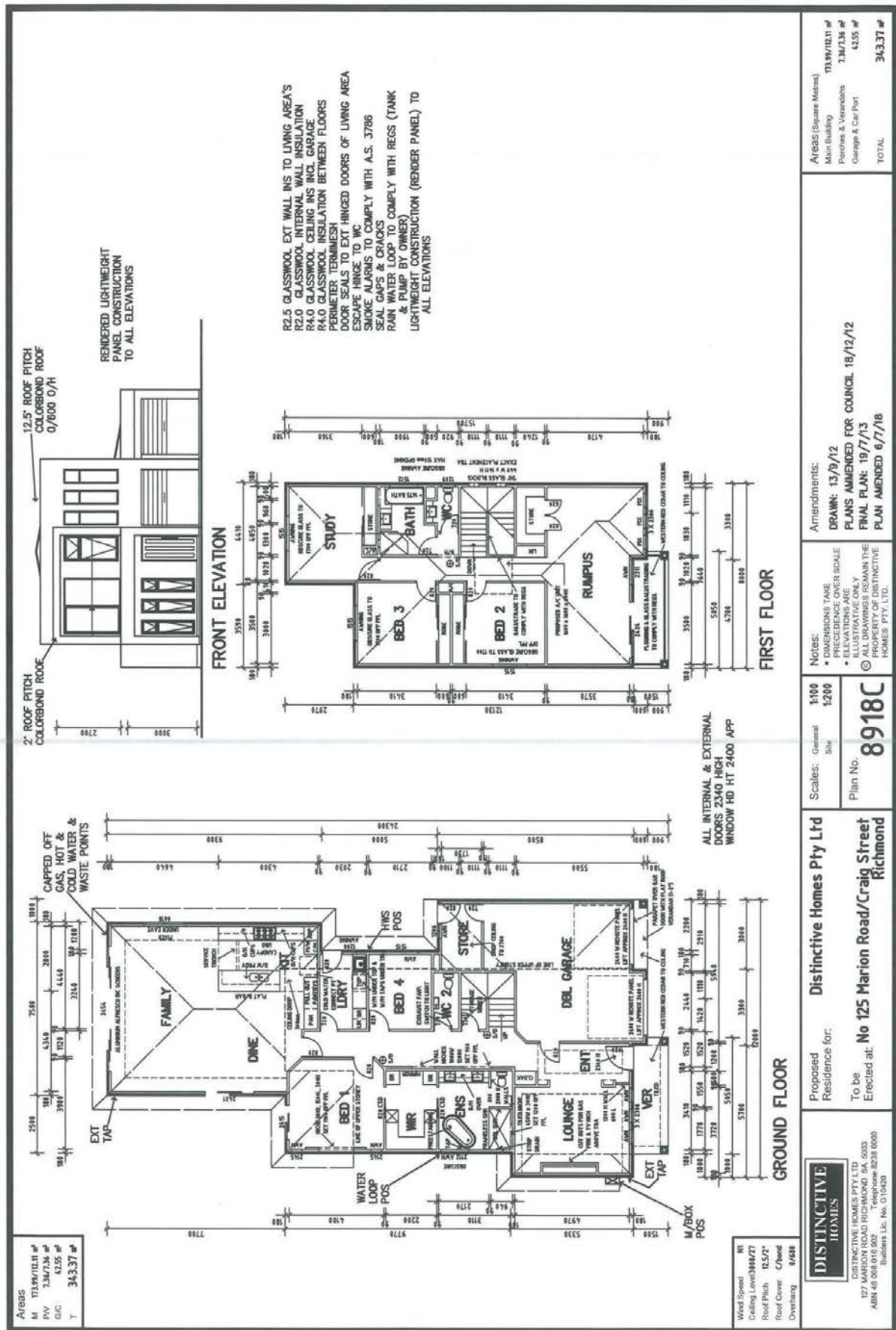
- Re purpose Bedroom 4 upstairs & study downstairs.
- Upgrade or add to the roof insulation as recommended.
- Replacement of the exterior cladding is not considered practical or cost effective.
- Prepared to look at any other practical recommendations that come to light.

If you have any queries please contact Kellie on 8238 0000.

Yours sincerely



Kellie Strachan  
*Per George Flourentzou*  
*CEO of Distinctive Homes Pty Ltd*



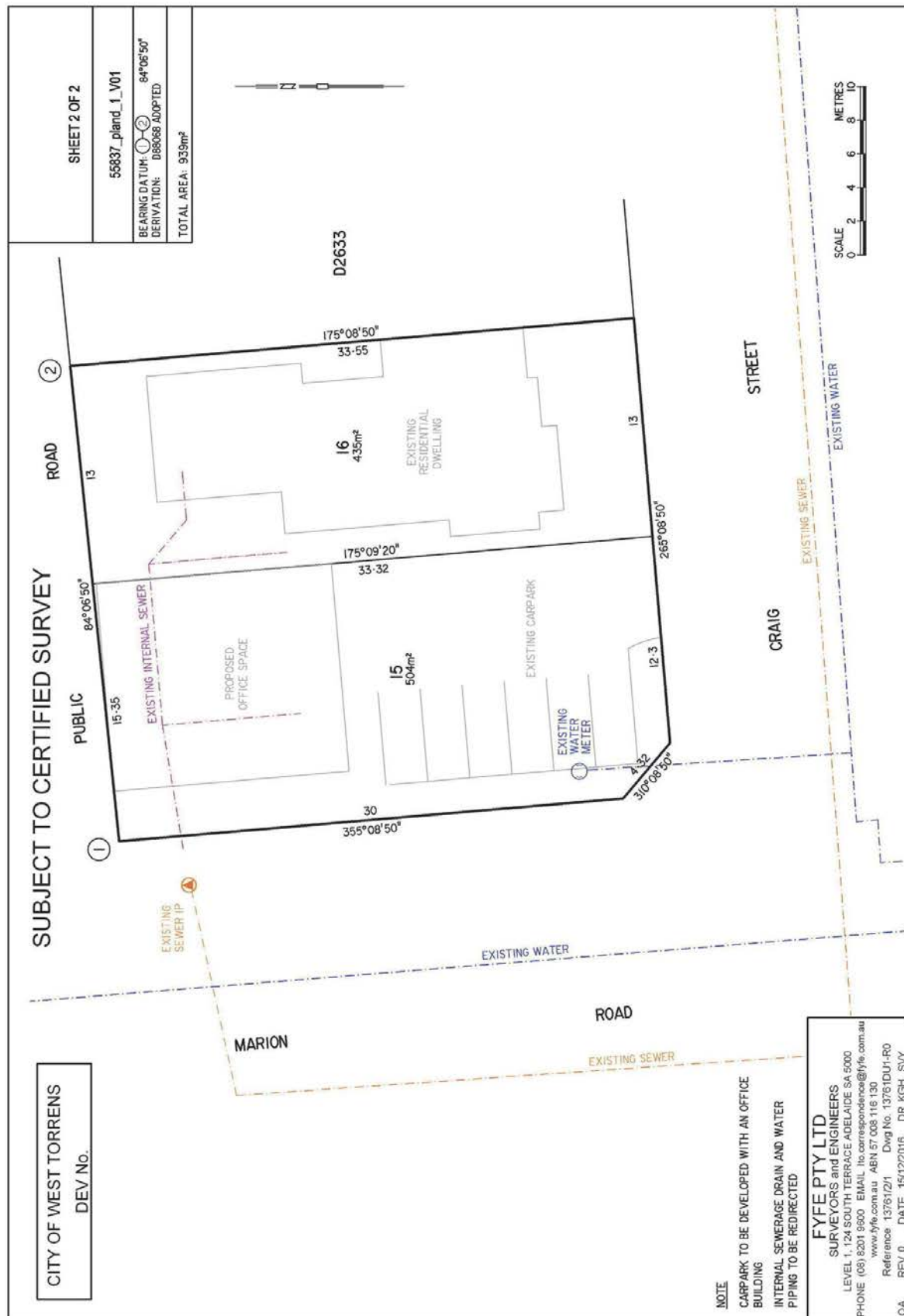


## **APPENDIX D**

### **PLAN OF DIVISION**



PURPOSE:	DIVISION	AREA NAME:	RICHMOND	APPROVED:	SHEET 1 OF 2 55837_text_01_v01
MAP REF:	6628/41/L	COUNCIL:	CITY OF WEST TORRENS	DEPOSITED/FILED:	
LAST PLAN:		DEVELOPMENT NO:			
AGENT DETAILS:		SURVEYORS CERTIFICATION:			
FYFE PTY LTD LEVEL 1, 124 SOUTH TERRACE ADELAIDE SA 5000 PH: 82019600 FAX:					
AGENT CODE:		ALRF			
REFERENCE:		13761/2/1 DU1-R0			
SUBJECT TITLE DETAILS:					
PREFIX	VOLUME	FOLIO	OTHER	PARCEL	
CT	5413	725		ALLOTMENT(S)	
OTHER TITLES AFFECTED:					
EASEMENT DETAILS:					
STATUS	LAND BURDENED	FORM	CATEGORY	IDENTIFIER	PURPOSE
				IN FAVOUR OF	CREATION
ANNOTATIONS:					





01 February 2017

Our Ref: H0054539

The Chairman  
Development Assessment Commission  
136 North Terrace  
ADELAIDE SA 5000

Dear Sir/Madam

**PROPOSED LAND DIVISION APPLICATION NO: 211/D224/16 AT RICHMOND**

In response to the abovementioned proposal, I advise that pursuant to Section 33 of the Development Act it is necessary for the developer to satisfy this Corporation's requirements, which are listed below.

The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.

The alteration of internal drains to the satisfaction of SA Water is required.

On receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non -standard fees.

On approval of the application, all internal water piping that crosses the allotment boundaries must be severed or redirected at the developers/owners cost to ensure that the pipework relating to each allotment is contained within its boundaries.

Yours faithfully

CAROL CARY

**for MANAGER LAND DEVELOPMENT & CONNECTIONS**

SA Water  
Level 6, 250 Victoria Square  
ADELAIDE SA 5000  
Ph (08) 7424 1119  
Inquiries CAROL CARY  
Telephone 7424 1119



Contact Lands Titles Office  
Telephone 7109 7016



01 February 2017

The Chief Executive Officer  
City of West Torrens

Dear Sir/Madam

**Re: Proposed Application No.** 211/D224/16 (ID 56774)  
**for Land Division by** Distinctive Homes Pty Ltd

In accordance with Section 33 of the Development Act 1993 and Regulation 29 (1) of the Development Regulations 2008, and further to my advice dated 04 January 2017, I advise that the Development Assessment Commission has consulted with SA Water Corporation (only) regarding this land division application. A copy of their response has been uploaded in EDALA for your consideration. The Commission has no further comment to make on this application, however there may be local planning issues which Council should consider prior to making its decision.

I further advise that the Development Assessment Commission has the following requirements under Section 33(1)(c) of the Development Act 1993 which must be included as conditions of land division approval on Council's Decision Notification (should such approval be granted).

1. The alteration of internal drains to the satisfaction of SA Water is required.  
On receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non -standard fees. On approval of the application, all internal water piping that crosses the allotment boundaries must be severed or redirected at the developers/owners cost to ensure that the pipework relating to each allotment is contained within its boundaries.
2. Payment of \$6676 into the Planning and Development Fund (1 allotment(s) @ \$6676/allotment).  
Payment may be made by credit card via the internet at [www.edala.sa.gov.au](http://www.edala.sa.gov.au) or by phone (7109 7018), by cheque payable to the Development Assessment Commission marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Ground Floor, 101 Grenfell Street, Adelaide.
3. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the Development Assessment Commission for Land Division Certificate purposes.

The SA Water Corporation will, in due course, correspond directly with the applicant/agent regarding this land division proposal.

**PLEASE UPLOAD THE DECISION NOTIFICATION FORM (VIA EDALA) FOLLOWING COUNCIL'S DECISION.**

A handwritten signature in black ink, appearing to read "P. Hodgson", with a long, sweeping underline.

Phil Hodgson  
**Unit Manager**  
**Lands Titles Office**  
as delegate of  
**DEVELOPMENT ASSESSMENT COMMISSION**

**6.6 48 Clifton Street, CAMDEN PARK**

Application No 211/443/2018

**DEVELOPMENT APPLICATION DETAILS**

DESCRIPTION OF DEVELOPMENT	Removal of a Significant <i>Eucalyptus camaldulensis</i> (River Red Gum)
APPLICANT	Strata Corporation 926
LODGEMENT DATE	8 May 2018
ZONE	Residential
POLICY AREA	Low Density Policy Area 21
APPLICATION TYPE	Merit
PUBLIC NOTIFICATION	Category 1
REFERRALS	Internal <ul style="list-style-type: none"> <li>Consulting arboriculture advisor</li> </ul>
DEVELOPMENT PLAN VERSION	Consolidated 6 February 2018
DELEGATION	<ul style="list-style-type: none"> <li>The relevant application proposes a merit form of development and, in the opinion of the delegate, should be refused, except where the application is to be refused for a failure to provide information pursuant to section 39 of the Act or where a referral agency directs that the application is refused pursuant to section 37 of the Act.</li> </ul>
RECOMMENDATION	Refuse
AUTHOR	Josh Banks

**RECOMMENDATION**

The Council Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to REFUSE Development Approval for Application No. 211/443/2018 by Strata Corporation 926 to remove a significant *Eucalyptus camaldulensis* (River Red Gum) at 48 Clifton Street, Camden Park (CT 5272/771) for the following reason:

1. The application is hypothetical as the owner of the tree does not consent to its removal.

**Note:**

The owner is strongly encouraged to investigate ways of managing the structural health and integrity of the tree in order to ensure its ongoing stability.

## BACKGROUND

This development application has been lodged by one of the adjoining owners of the strata units on behalf of the strata corporation at 46 Clifton Street, Camden Park. Approval is being sought to remove a Significant Tree located near the common side boundary between the two properties that partially overhangs the boundary.

The tree has been the subject of previous applications lodged by former tenants of the adjacent strata units in an effort to effectively manage the tree. However, both historic applications were refused due to information not being provided within legislative timeframes.

### Related Applications

DA Number	Description of Development	Decision	Decision Date
211/299/2014	Prune Significant tree - one <i>Eucalyptus camaldulensis</i> (River red gum)	Refused	Aug 25 2014
211/102/2010	Remove a significant tree - one <i>Eucalyptus camaldulensis</i> (River red gum)	Refused	Jun 23 2011

## SUBJECT LAND AND LOCALITY

The subject land is formally described as Allotment 202 in Deposited Plan 13498 in the area named Camden Park, Hundred of Adelaide, Volume 5272 Folio 771, more commonly known as 48 Clifton Street, Camden Park. The subject site is rectangular in shape with a 19.81 metre (m) wide frontage to Clifton Street and a site area of 664 square metres (m<sup>2</sup>).

It is noted that there are no encumbrances or Land Management Agreements on the Certificate of Title.

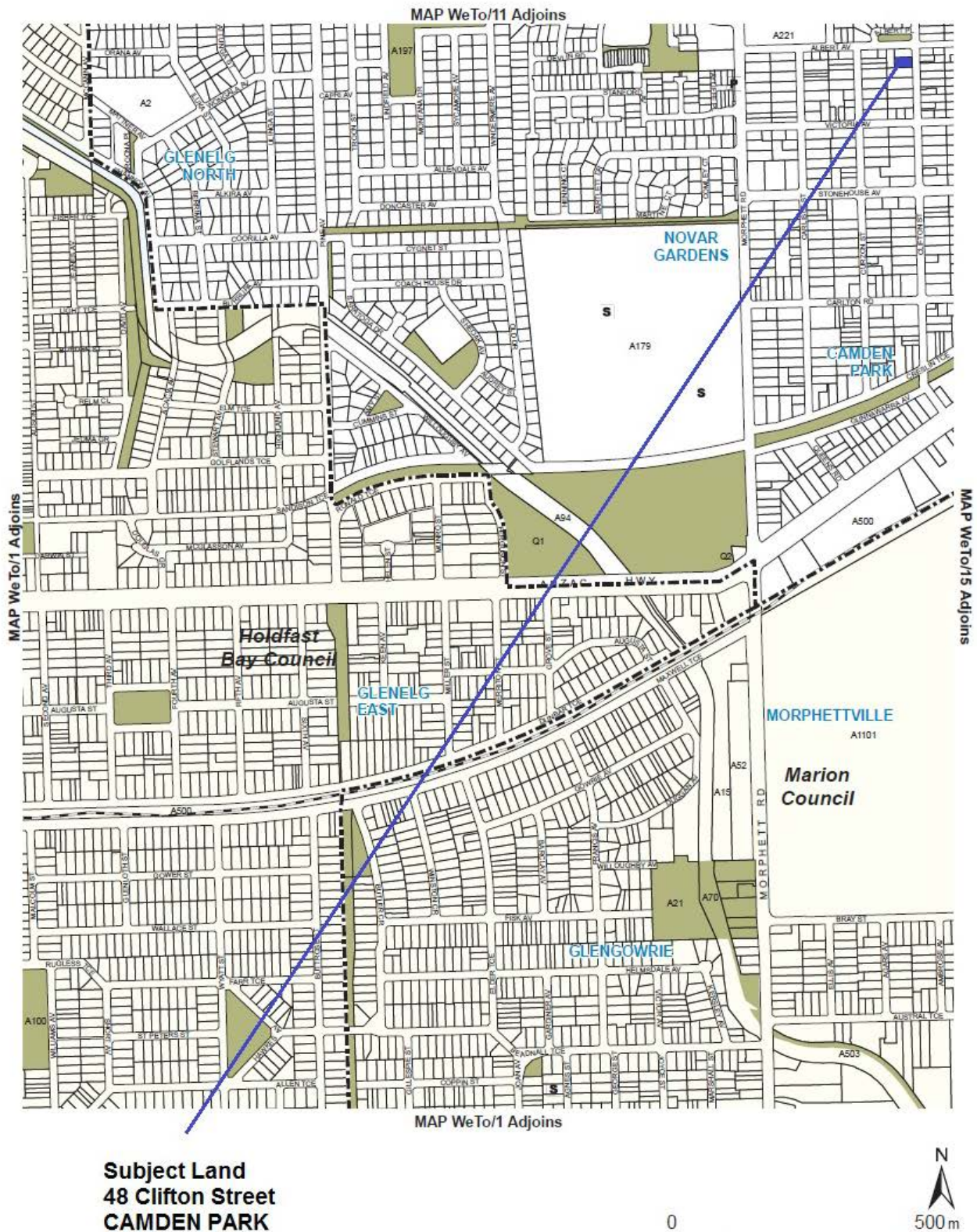
The site currently contains a single storey dwelling and ancillary domestic structures including verandahs and outbuildings. The site is relatively flat.

The subject *Eucalyptus camaldulensis* (River red gum) tree is located towards the south-western corner of the allotment. The tree has a trunk circumference of 4.2m when measured at 1m above natural ground level and is therefore considered to be a Significant Tree pursuant to Regulation 6A(1)(2) of the *Development Regulations 2008*.

The subject tree is visible from the street, adjoining properties and within the immediate locality.

The site and locality are shown on the aerial imagery and map below.









## PROPOSAL

The application has been lodged by an adjoining landowner and seeks to remove the Significant Tree from the land. The applicant has cited numerous reasons for seeking removal of the tree, including alleged debris that attracts vermin, termites, blockage of gutters and pipes, roots damaging sewer pipes and branches threatening building structural damage.

A copy of the supporting information submitted by the applicant is contained in **Attachment 1**.

As the proposal relates to tree-damaging activity located at 48 Clifton Street, the owner of that land was notified of the application pursuant to Regulation 18 of the *Development Regulations 2008*. The owner has indicated that the removal of the tree is not supported (refer **Attachment 2**).

## PUBLIC NOTIFICATION

Tree-damaging activity is a Category 1 form of development pursuant to Section 38 and Schedule 9 of the *Development Regulations 2008*. As the proposal is Category 1, public notification was not required to be undertaken.

## INTERNAL REFERRALS

Department	Comments
<b>Consulting Arboriculture Advisor</b>	<ul style="list-style-type: none"> <li>The arboriculture advisor determined that the tree warranted preservation as it makes a significant contribution to the amenity and character of the locality, does not present an unreasonable risk to private or public safety and is in good health and structure. The advice indicates that any risks associated with the tree could be addressed with appropriate maintenance pruning.</li> </ul>

A copy of the relevant report is contained in **Attachment 3**.

## RELEVANT DEVELOPMENT PLAN PROVISIONS

The provisions of the Development Plan which relate to the proposed development are as follows.

<u>General Section</u>		
Regulated Trees	Objectives	1 & 2
	Principles of Development Control	1, 2 & 3
Significant Trees	Objectives	1 & 2
	Principles of Development Control	1, 2, 3, 4 & 5



## ASSESSMENT

In assessing the merits or otherwise of the application, the proposed development is discussed under the following sub headings as follows:

### Case Law

In *A & J Sheppard v Kangaroo Island Council* [2002] SAERDC 76, Judge Trenorden considered the effect of the decision in *Hackney Hotel Pty Ltd v St Peters TC* (1983). Her Honour stated (at [12]):

"...the judgment contemplates that an applicant who is neither an owner nor acting with the owner's consent can have an application for development consent considered by the relevant authority, and on appeal, by the appeal body....According to the authority of *Hackney Hotel* (above), the crux is whether, should consent be granted, the proposed development has a reasonable prospect of being implemented."

This case is of relevance in that there is no prospect of the removal being implemented, should the CAP be minded to support its removal, as the owner has not consented to the removal.

On this basis refusal of the application is warranted as the proposal is considered to be hypothetical. The merits of the tree removal do not need to be considered any further.

## SUMMARY

The applicants do not have the lawful right to implement a consent to undertake development on adjoining land and, on this basis, the application is considered to be hypothetical and should be refused.

### Attachments

1. Plans and supporting information
2. Owner of tree not consenting to removal
3. Arboricultural advisor report



## TREE ADVISORY SERVICES

Mr and Mrs J Hooper  
Strata Corporation 926 Inc  
Unit 2  
46 Clifton Street  
Camden Park SA 5038

10<sup>th</sup> November 2009

Dear Mr and Mrs Hooper

I confirm I attended the property on Friday 5<sup>th</sup> November to inspect the tree growing next door and to discuss the corporation's ongoing problems in relation to the tree. We also had a discussion with the owner of the tree.

The tree is a large specimen of *Eucalyptus camaldulensis* River Red Gum. The tree has two trunks from close to the ground and the circumferences of these measured at 1 metre above ground are 1.7 and 1.95 metres. Total circumference 3.65 metres, average 1.82 metres. The tree is therefore a Significant Tree under current legislation. The canopy spreads to the north 9.3 metres, to the east 8.7 metres, to the south 5 metres and to the west 4.8 metres. The height of the tree is about 18 metres. I estimate its age to be about 30-50 years. The southern trunk has some minor staining from minor Borer presence. My visual inspection indicates that the tree is making vigorous growth and is in good health.

The tree is situated about 1.5 metres from the boundary fence and the back wall of the unit block about 4.5 metres from the fence. The canopy of the tree overhangs the unit complex.

I understand for a long period there have been problems with tree roots entering the corporations sewer system which runs along the back of the units. The sewer appears to be under the concrete apron adjacent to the rear wall. Records from scientific research published in 1978 showed River Red Gum roots had been measured travelling long

TREE ADVISORY SERVICES  
ABN 64 621 563 548

J.A.E. (Tony) Whitehill

40 Maxwell Terrace  
GLENOWRIE SA 5044

Telephone: (08) 8294 0076  
FAX: (08) 8294 0105

distances and entering a sewer as far away as 25 metres. It is therefore not surprising the next door tree is causing problems.

With older earthenware sewers the roots usually enter through the collar joints of the pipes. Another way of entering is for the roots to wrap themselves around the pipes having been attracted by condensation and then crush them. Experience shows that even the pressure of roots pressing against them can distort PVC piping. That can cause constrictions so that solids cannot pass freely.

From our discussions it appears that roots enter at various places and therefore as this is already known there appears to be no point in having a camera survey undertaken. Experience indicates that even if the sewers were renewed that roots from a River Red gum so close by could still damage the PVC piping and cause problems particularly as the tree is not yet fully grown.

The owner of the tree asked about the possibility of installing a root barrier. This would involve cutting major roots to a depth of about 1.5 metres on the south side within the Tree Protection Zone. This roughly is considered to be the area contained within the drip line of the canopy. Such root cutting is not acceptable for a Significant Tree. It could affect the health and life expectancy of the tree and possibly destabilize it.

Part of the discussion focussed on the likelihood of branches dropping. There have been some small branches which have fallen. The tree owner explained some years ago she had had a branch removed from the south side and other from the west side. It was noted that the dwelling on the west side is very close to the boundary. At this stage the tree has no history of major branch dropping. However it is a well known fact that River Red Gums can drop branches.

In considering the relevant principles in the Development Act relating to Significant Trees I have formed the following opinions:-

- (a) The tree makes an important contribution to the character or amenity of the local area.
- (b) The tree is not indigenous to the local area and listed under the National Parks and Wildlife Act as rare or endangered.
- (c) The tree does represent an important habitat for native fauna.
- (d) The tree is not part of a wildlife corridor or a remnant area of native vegetation.
- (e) The tree is important to the maintenance of biodiversity in the local environment.
- (f) The tree does not form a notable visual element in the landscape of the local area. The tree is of poor form.

In considering other criteria:

1. The tree is not diseased nor is its life expectancy limited.



2. The tree does not represent an unacceptable risk to private or public safety.
3. The tree is causing substantial damage to a substantial structure ie the sewerage system. This has been ongoing for many years and appears to be getting worse. Because the sewer appears to be under the concrete apron it is not possible to easily access it. Even if the sewer were to be replaced (the owner of a tree whose roots cause damage may be liable for the repairs or replacement) the roots could damage the new PVC by exerting pressure on them. As previous discussed installing a root barrier is not a practical opinion.

I am of the opinion that the only long term solution to the problem is to remove the tree.

Yours sincerely

A handwritten signature in black ink that reads "Jony Whitehill". The signature is written in a cursive, flowing style.

J.A.E. Whitehill







Author: Duncan McGregor  
Phone: 0416929717  
Address: 9 Armiger Court Holden Hill SA 5088  
E-mail: consultant@treevision.com.au



## Arboricultural Assessment

---



Prepared for: Strata Corporation 926 – Mr Shane Hunt  
Issue Location: 46/48 Clifton Street, Camden Park, SA 5038  
Council Area: City of West Torrens

Tuesday, 5th May 2015

Author: Duncan McGregor  
Phone: 0416929717  
Address: 9 Armiger Court Holden Hill SA 5088  
E-mail: consultant@treevision.com.au



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Tuesday, 5th May 2015

Author: Duncan McGregor  
Phone: 0416929717  
Address: 9 Armiger Court Holden Hill SA 5088  
E-mail: consultant@treevision.com.au



## Summary & Recommendations:

This report describes and provides qualified arboricultural recommendations following a visual arboricultural inspection of a 'Significant' Tree located in the rear garden of 48 Clifton Street, Camden Park. Mr Shane Hunt on behalf of Strata Corporation 926 requested a visual arboricultural inspection be carried out and professional recommendations be made in the interests of best managing the tree in question.

The tree in question has been identified as a *Eucalyptus camaldulensis* (River Red Gum), and further as an average representative of the species. This document and the information contained within supports the on-going retention of this tree, and recommendations are made for remedial arboricultural works.

The following deductions and recommendations are made following the above-mentioned assessment of the tree in question:

- i. The *Eucalyptus camaldulensis* in this instance is in average health in terms of physiological and structural condition.
- ii. The tree is located within the rear garden of 48 Clifton Street, Camden Park but is partly overhanging the four units located at 46 Clifton Street. Residents of the units require some of the overhanging branches to be pruned to reduce the overhang.
- iii. The tree has been the subject of previous pruning works to cut back the overhanging branches into 46 Clifton Street, some six years ago. The new growth in that time is now beginning to overhang the units again by some 5 metres.
- iv. The tree displays co-dominant stems from ground level with a slight lean and crown bias to the north, towards the light. The extending lateral branches to the north-east and north-west are overhanging and touching the roofs of both the owner's property and the neighbours to the west.
- v. From speaking with the Strata Corporation it is understood that there has been a long standing problem with tree roots entering the existing sewer main that services the units. Periodically minor root pruning has been carried out to alleviate any blockages in the sewer.
- vi. It is recommended the tree be the subject of maintenance pruning to reduction prune those branches that are overhanging the units at 46 Clifton Street, back to suitable growth points to maintain clearance. It is recommended that a minor crown lift is completed to clear those branches that touching the roofs of the owners and neighbours properties. It is also recommended that the large diameter (greater than 25mm) deadwood be removed.

Finally, the recommended works do not require a development application under the terms of the SA Development Act 1993.

Tuesday, 5th May 2015



Author: Duncan McGregor  
 Phone: 0416929717  
 Address: 9 Armiger Court Holden Hill SA 5088  
 E-mail: consultant@treevision.com.au



### Caveat:

This report makes recommendations based on information provided and recommendations made are limited to the day (29 April 2015) on which the inspection was carried out.

When trees are subject to inspection it is important to note that all arboricultural species are living organisms and can therefore be highly unpredictable by nature. Thus an attempt is made in all circumstances to minimise the risk associated with all trees to a manageable or "acceptable" level, which is highly variable depending on the scenario.

### Issue Location:

Figure 1 – Showing geographical location of the *Eucalyptus camaldulensis* within the rear garden of 48 Clifton Street, Camden Park in relation to buildings and surrounding vegetation.

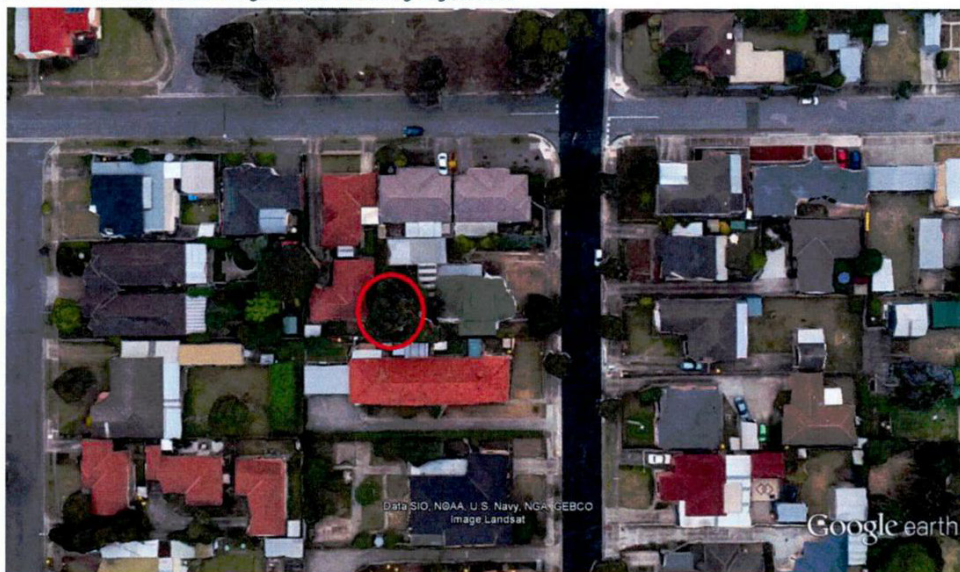
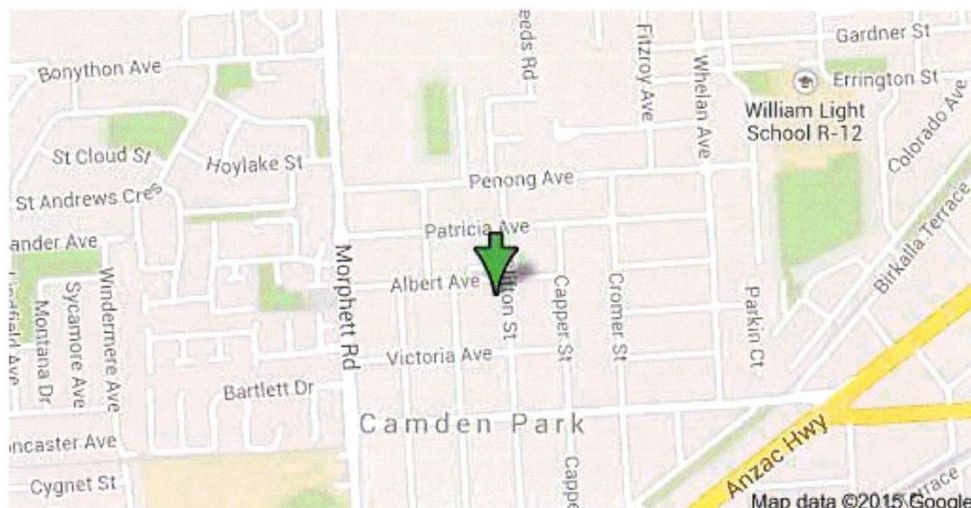


Figure 2 – showing site location in relation to major arterial, residential roads.



Tuesday, 5th May 2015



Author: Duncan McGregor  
Phone: 0416929717  
Address: 9 Armiger Court Holden Hill SA 5088  
E-mail: consultant@treevision.com.au



### Tree Inspection: *Eucalyptus camaldulensis*

The tree in question has been identified as a *Eucalyptus camaldulensis* (River Red Gum). It is a co-dominant stemmed specimen with a combined stem circumference of 4.39 metres at 1m above natural ground level making it a 'Significant Tree' under terms and definitions set by SA Development Act 1993. It has an estimated height of 14m and a spread at its widest point of 14m.



The images above show the tree in its location in the rear garden of 48 Clifton Street, Camden Park. The image on the right above is taken from within 46 Clifton Street, Camden Park.



The images show above the extent of the overhanging parts of the tree into the units at 46 Clifton Street. The tree is located approximately 1.5m from the boundary fence between the two properties. The units are located some 4.5metres from the boundary fence. The base of the tree is therefore within 6 metres of the units and the crown spread in this direct is 5 metres and overhanging the rear of the units.

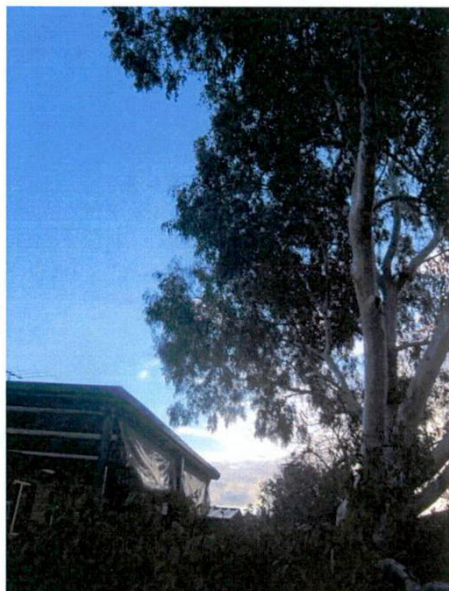
Tuesday, 5th May 2015



Author: Duncan McGregor  
Phone: 0416929717  
Address: 9 Armiger Court Holden Hill SA 5088  
E-mail: consultant@treevision.com.au



The image above further shows the extent of the overhanging branches. It is recommended that these are the subject of a reduction prune to remove those branches at a lower that are overhanging the rear of the units. Typically this reduction pruning will be back to suitable growth and should be completed in line with Australian Standard 4373:2007 – Pruning of Amenity Trees.



The images above show the lower section of the tree as viewed from the rear garden of 48 Clifton Street, Camden Park. The image on the right above shows the lower bole of the tree and the co-dominant stems can be seen here. The crown bias is partly evident here with extending lateral limbs to the right of this image.

Tuesday, 5th May 2015



Author: Duncan McGregor  
Phone: 0416929717  
Address: 9 Armiger Court Holden Hill SA 5088  
E-mail: consultant@treevision.com.au



## Final Recommendations:

Given the nature and overall condition of tree in question, it is recommended that the tree is the subject to a maintenance prune. In this instance, it is recommended to reduction prune those branches overhanging the rear of the units at 46 Clifton Street, back to more or less the fence line and to suitable growth points. Typically, this will be to allow for crown lifting the tree for clearance over the rear of the units. Those branches higher in the canopy will be pruned to reduce their extension and to crown thin by approximately 15%

It is further recommended that the existing large diameter (greater than 25mm) deadwood is removed. Those branches that are starting to touch the neighbouring property to the west and the tree owner's property are crown lifted to give clearance over the roofs and to prevent damage to the fabric of the building.

Although the tree is considered a 'Significant Tree' under terms and definitions set by SA Development Act 1993 the works recommended do not require the submission of a development application to the City of West Torrens and are not considered to be damaging to the tree.

Finally, the tree should be the subject of regular inspections every 12-14 months is recommended and after severe storm events. These inspections should be carried out by a suitable qualified and experienced consulting Arborist.

*Thank you very much for the opportunity of preparing this assessment, and I hope it meets your requirements. Please feel free to contact me with any questions you may have or issues you need clarified.*

*Sincerely,*

A handwritten signature in blue ink, appearing to read "Duncan McGregor".

*Duncan McGregor*

Tuesday, 5th May 2015

Pursuant to the Council Wide Principle of Development Control 320, significant trees should be preserved and tree damaging activity should not be undertaken unless one of the following four categories applies and all other reasonable remedial treatments and measures have been determined to be ineffective:

1. Tree is diseased and its life expectancy is short
2. **Tree represents an unacceptable risk to public or private safety**
3. **Tree presents a bushfire risk**
4. **Tree is causing or threatening to cause substantial damage**

The significant tree in question qualifies for three of the above four categories. As detailed above the tree in question has already caused risk to public or private safety on at least three occasions, is causing substantial structural damage to our pipes and guttering, & due to the amount of debris the owner has failed to maintain, it also represents a fire risk. Our strata sent letters to Pam as far back as July 2010 advising of our concerns with the tree however she failed to reply. She has not taken any steps to maintain the tree nor has she contributed toward any costs thus far. Furthermore.....the Environmental Health Department has recently inspected the property of Pam Parkin @ 48 Clifton Street, Camden Park and determined she is unable to maintain her garden which is of grave concern to all adjoining residents.

The Strata has paid in excess of \$6,000 (six thousand dollars) in 7 years for plumbing of blocked pipes due to excess debris and root damaged pipes....at which time tree roots were removed from the pipes and scientifically tested by the Australian Water Quality Centre and proven to have originated from the said tree. We have also paid to have the tree pruned two years ago however this has only encouraged the tree to grow back more aggressively as the pruning has promoted new growth. Our strata can no longer afford to bear these significant ongoing costs.

A report in November 2009 by Tree Advisory Services Arborist Tony Whitehill advised that the tree was in **good health**, however in an Arboricultural Assessment Report conducted in 2015 the tree was reported to be in **average health**. This is of great concern during stormy weather and summer periods when River Red Gums are known to drop significantly large branches due to stress.

Furthermore, I believe the dwelling of the tree owner is in extremely (!) poor condition & any limbs falling onto her home could have catastrophic consequences as well.

We have exhausted all avenues and the ongoing costs are prohibitive due to: a) the refusal of the owner to contribute anything towards the cost of maintaining the tree and clearing falling debris, b) pruning does not solve the issue of both maintenance expenses or safety concerns because to protect the structure of the tree it is advised that no more than 15% be pruned and c) during stormy weather branches would still be blown into neighbouring properties posing a serious and continued risk to resident safety.



We have been advised by Tony Whitehill (arborist) that a root barrier would involve cutting major roots to a depth of 1.5 metres within the Tree Protection Zone which is considered to be the area contained within the drip line of the canopy. Such root cutting is **NOT** acceptable for a significant tree & could affect the health and life expectancy of the tree and possibly destabilize it. Furthermore, Arboricultural Consultant Duncan McGregor (arboricultural consultant) advised us that he would not carry out a root barrier to more than a depth of 1 metre yet Tony Whitehill (arborist) states a depth of 1.5 metres is required.

Just as the installation of a root barrier appears to be futile, so too would repairs to our sewer pipes as Tony Whitehill states that "experience shows that even the pressure of roots pressing against them can distort PVC piping. That can cause constrictions so that solids cannot pass freely." He went on to say that "experience indicates that even if the sewers were renewed, roots from a River Red Gum so close by could still damage the PVC piping and cause problems". In light of this expert advice, this leaves the only possible solution to our ongoing sewer issues being the removal of the tree.

Falling debris built up in the owner's yard is an attraction to white ants, snakes and other vermin & pests which is a concern not only to safety but structural damage to all properties within the area.

There is a lot to consider regarding this tree however our primary and immediate concern is for the safety of all residents living within close proximity of the tree in question.

Hoping you can assist with this ongoing situation. Please do not hesitate to contact me if any further information is required.

Kind Regards

Denia Neindorf

Strata Corp 926  
Units 1-4, 46 Clifton Street  
CAMDEN PARK  
SA 5038



# Significant Tree Proposal

**To:**

City of West Torrens, 165 Sir Donald Bradman Drive, Hilton SA 5033

**From:**

Strata Corporation #926: Units 1-4, 46 Clifton Street, Camden Park SA 5038

Contact: Jane Downs (secretary and owner of unit 3), 27 Hoylake Street, Novar Gardens SA 5040, Ph: 0412 188 205

**Relating to the Significant Tree located at:**

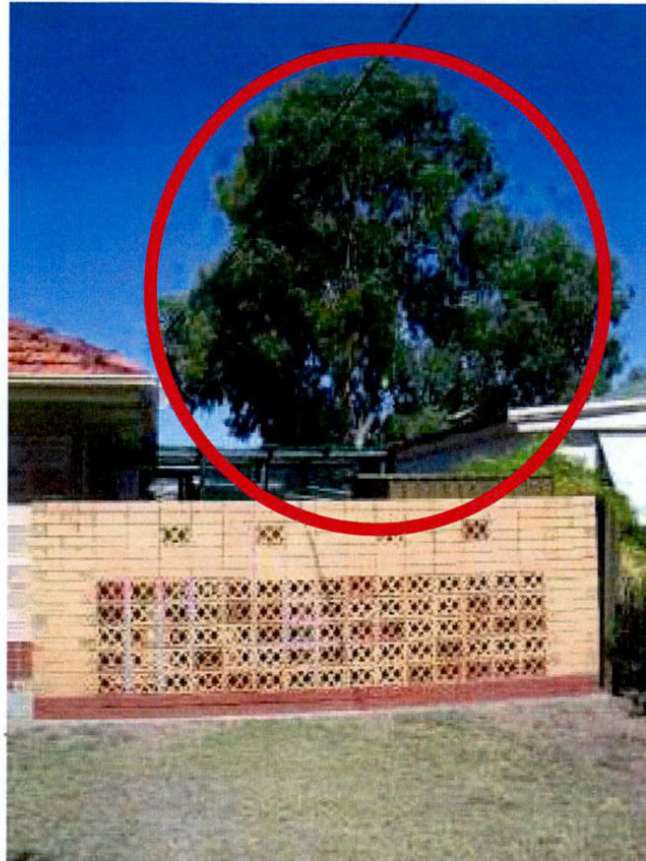
48 Clifton Street, Camden Park SA 5038 owned by Pam Parkin, Ph: 8295 3268

**Contacts in support of this application:**

1. J.A.E Whitehill  
Arborist  
Tree Advisory Services  
Ph: 8294 0076
2. Alex Baxter  
Plumber  
Baxters Plumbing Services  
Ph: 0408 803 401

**Attachments:**

- Arborist Report.
- Assessment of tree roots by the 'Australia Water Quality Centre'.
- Site Plan.
- Photographs of the Significant Tree.
- Quotation for the removal of the Significant Tree.
- Copy of all plumbing bills for repeated blockages and sewerage system damage caused by the Significant Trees' roots.
- Quotation for new storm water piping due to structural damage by tree roots.



- 1. Details of tree** \* For further information please refer to the Arborist Report attached.
- **Girth/Circumference of trunk 1M above ground level:** The tree has two trunks from close to the ground and the circumferences of these measured at one meter above ground are 1.7 and 1.95 meters respectively. Total circumference 3.65 meters, average 1.82 meters.
  - **Height of tree:** Approximately 18 meters.
  - **Spread of tree:** The canopy spreads to the north 9.3 meters, to the east 8.7 meters, to the south 5 meters and to the west 4.8 meters.
  - **Type or species of tree:** Eucalyptus Camaldulensis River Red Gum.





**2. Site Plan**

Please refer to the attached site plan illustrating the location of the tree.

**3. Photographs**

Please refer to the photographs attached.

**4. Details of the proposed activity you want to undertake affecting a significant tree:**

Removal of the tree in its entirety due to:

- a) Overhanging branches posing an unacceptable safety threat to residents, neighbors and visitors. The tree is very close to the boundary and it is a well known fact that River Red Gums can drop branches. There is already a history of small branches falling and a visitor to our property narrowly escaped injury last year.
- b) Overhanging branches posing potential structural damage to neighboring properties.
- c) Substantial and ongoing structural damage to the sewerage system at units 1 to 4, 46 Clifton Street, Camden Park. Our plumbing bills have amounted to \$1,816.94 in an 18 month period (similar costs have been incurred by the Strata Corporation prior to this and over many years) directly attributable to root damage that is proven to have originated from this tree as verified by an assessment of tree roots retrieved from our pipes by the Australian Water Quality Centre. Even if the sewerage system was renewed, the tree roots could damage PVC pipes by exerting pressure on them, especially as the tree is so close by and is not yet fully grown.
- d) The tree is also causing ongoing structural damage to our storm water system (in addition to our sewerage system).



- e) The tree does not form a notable visual element in the local landscape and is of poor form.
- f) The tree is very close to our property (ie approx 1.5 meters from the boundary fence) and is not yet fully grown so problems caused by the tree will be exacerbated in the future.

**5. Is the tree, or does the tree appear to be diseased?**

No. Please refer to the attached Arborist Report which states that the tree appears to be in good health.



**6. Does the tree represent an unacceptable risk to public or private safety?**

Yes. The trees' overhanging branches pose a threat to private safety which is compounded by the trees extremely close proximity to neighboring properties (ie approx 1.5 meters from the boundary fence which is approx 4.5 meters from our unit block). The tree is very close to the boundary and it is a well known fact that River Red Gums can drop branches and there have already been some small branches falling. This is evidenced by the fact that a visiting plumber was narrowly missed by falling branches on a stormy day (June 30<sup>th</sup> 2009) last year whilst working to fix yet another sewerage blockage on our property. Furthermore the tree is not pruned or maintained exacerbating the risk of falling branches on residents and neighboring properties.



**7. If you answer yes to 6, 7 or 8, have all other remedial steps been determined ineffective by a suitably qualified professional?**

Yes. Please refer to the accompanying Arborists Report expertly complied by 'Tree Advisory Services' which states that the potential installation of root barrier as a solution to this issue would be ineffective for this significant tree and "could affect the health and life expectancy of the tree and possibly destabilize it". Therefore, the recommendation of this expert assessment is that "the only long term solution to the problem is to remove the tree".

**8. Is the tree causing or threatening to cause substantial damage to a building or structure of value?**

The trees' overhanging branches have the potential to cause significant structural damage to our units' sewerage system and storm water system due to the trees' extremely close proximity to our units (ie approx 1.5 meters from the boundary fence which is approx 4.5 meters from our unit block). Our arborist reports that "even if the sewers were renewed, roots from a River Red Gum so close by could still damage the PVC piping and cause problems, particularly as the tree is not yet fully grown".

The tree is also poses a significant threat to private safety. It is a well known fact that River Red Gums can drop branches and we have already experienced a near miss whereby our plumber narrowly escaped injury from falling branches on a stormy day last June. We are gravely concerned that a similar incident may occur and be of more dire consequences.





Furthermore, significant and ongoing plumbing issues have been caused by the trees roots which have been expertly and formally tested by the Australian Water Quality Centre and identified as belonging to the tree (refer to attached report). A plumber has been necessary on **8** occasions over an 18 month period at a cost of **\$1,816.94** to the strata to address blockages to our sewerage system caused by the trees roots (refer to the attached summary of plumbing bills supporting this). This is just one example of the many costs incurred by the Strata Corporation over a period of many years. The frequency at which sewerage blockages occur is alarming, the discomfort and unrest to residents caused by these issues is significant, the time we have invested in addressing these issues is considerable and the financial cost is crippling.



Our units have also recently been treated for termites because evidence of termite infestation has been found in the fence posts between our unit block and the significant tree (these fence posts are located on the property at 48 Clifton Street). The presence of termites on the property at 48 Clifton Street increases the risk posed by the tree should it become infested.

**9. Has specialist advice been obtained (from a qualified arboriculturalist, botanist or horticulturalist)?**

Yes. Please refer to the comprehensive Arborist Report we have attached for your reference.

**10. If your application involves the division of land, is it likely that the application will result in substantial "tree-damaging" activity to a significant tree(s)?**

Not applicable.





c) Additional pictures of the significant tree.





10 December 2018

48 Clifton St.  
Camden Park SA 5038

Mr. Josh Banks  
Senior Development Officer  
City Development  
City of WEST TORRENS.  
HILTON SA 5033.

Dear Mr Banks,

I am writing to acknowledge receipt of your Letter dated 28 November 2018, advising me of my neighbour's Development Application number 211/443/2018 - to remove the significant River Red Gum tree in the rear of my property.

I object to the tree being removed. The Gum tree has previously been permitted to be trimmed.

The tree is characteristic of the area, and important for Local wildlife.

Additionally, I note your Letter did not state any reasons for the removal of the Gum tree.

I would appreciate being provided any reasons put forward by STRATA Corporation 926, for the removal of the River Red Gum tree.

Yours sincerely,

*P. Brandejsky*

Pam Brandejsky. (nee Parkin).

∞

... I would like to consider other options to manage the Gum tree.



## Arboricultural Assessment of Non-Council Owned Significant Tree/s

Development Application No: 211/443/2018

**Referral Due Date:** 29 May 2018

Assessing Officer: **Claudio Barone**  
 Site Address: **48 Clifton Street, CAMDEN PARK SA 5038**  
 Certificate of Title: **CT-CT-5272/771**  
 Description of Development **Removal of a significant tree (Eucalyptus Camaldulensis River Red Gum)**

*To be completed by:* **TECHNICAL OFFICER ARBORICULTURE – CITY WORKS**

**SPECIES & COMMON NAME:** *Eucalyptus camaldulensis* (River Red Gum)

**TOTAL CIRCUMFERENCE:** 4200mm

**MULTI-TRUNK:** Yes **AVERAGE CIRCUMFERENCE:** 2100mm

The following comments are provided with regards to the relevant Objectives and Principles of Development Control of the General Section, Significant Tree Section of the West Torrens Council Development Plan:

### OBJECTIVE 1

*The conservation of significant trees, in Metropolitan Adelaide, that provide important aesthetic and environmental benefit.*

### OBJECTIVE 2:

*The conservation of significant trees in balance with achieving appropriate development.*

### PDC 1:

*Development should preserve the following attributes where a significant tree demonstrates at least one of the following attributes:*

- |   |            |
|---|------------|
| (a) Makes an important contribution to the character or amenity of the local area; or   | <b>Yes</b> |
| (b) Is indigenous to the local area and its species is listed under the National Parks and Wildlife Act 1972 as a rare or endangered native species | <b>No</b>  |
| (c) Represents an important habitat for native fauna  | <b>Yes</b> |
| (d) Is part of a wildlife corridor or a remnant area of native vegetation   | <b>No</b>  |
| (e) Is important to the maintenance of biodiversity in the local environment  | <b>Yes</b> |
| (f) Forms a notable visual element to the landscape of the local area   | <b>Yes</b> |

### PDC 2:

*Development should be undertaken so that it has a minimum adverse effect on the health of a significant tree.*

### PDC 3:

*Significant trees should be preserved, and tree-damaging activity should not be undertaken, unless:*

- (a) In the case of tree removal, where at least one of the following apply:
- (i) The tree is diseased and its life expectancy is short **No**
  - (ii) The tree represents an unacceptable risk to public or private safety **No**
  - (iii) The tree is within 20 metres of a residential, tourist accommodation or habitable building and is a bushfire hazard within a Bushfire Prone Area **No**
- (b) The tree is shown to be causing or threatening to cause substantial damage to a substantial building or structure of value **No**
- (c) All other reasonable remedial treatments and measures have been determined to be ineffective **No**
- (d) It is demonstrated that all reasonable alternative development options and design solutions have been considered to prevent substantial tree-damaging activity occurring. **Yes**
- (e) In any other case, and of the following circumstances apply:
- (i) The work is required for the removal of dead wood, treatment of disease, or is in the general interest of the health of the tree **No**
  - (ii) The work is required due to unacceptable risk to public or private safety **No**
  - (iii) The tree is shown to be causing or threatening to cause damage to a substantial building or structure of value **No**
  - (iv) The aesthetic appearance and structural integrity of the tree is maintained **No**
  - (v) It is demonstrated that all reasonable alternative development options and design solutions have been considered to prevent substantial tree-damaging activity occurring **Yes**

**PDC 4:**

*Development involving ground work activities such as excavation, filling, and sealing of surrounding surfaces (whether such work takes place on the site of a significant tree or otherwise) should only be undertaken where the aesthetic appearance, health and integrity of a significant tree, including its root system, will not be adversely affected.*

**PDC 5**

*Land should not be divided or developed where the division or development would be likely to result in a substantial tree-damaging activity occurring to a significant tree.*

**ADDITIONAL COMMENTS:**

As requested, a site inspection was carried out to assess one significant *Eucalyptus camaldulensis* located in the rear yard of 48 Clifton Street, Camden Park.

This tree is a good representative of its species due to its visual amenity, good overall health/structure and long safe life expectancy. Mature indigenous species such as this are especially important for biological reasons as they provide conditions suitable for a wide range of animals, plants and invertebrates, many of which require the unique environment provided by an older tree.

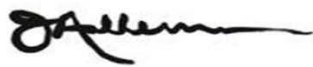
The subject tree shows little evidence of pruning work and a small amount of deadwood is located within the canopy. However, major branch junctions throughout the tree appear sound and well structured and there is no evidence of major limb failure.

Due to the robust, broad-spreading canopy, the *E. camaldulensis* contains some slightly over extended limbs where foliage is located mostly at branch extremities. This is a typical characteristic of a healthy, vigorous *E. camaldulensis* and pruning in accordance with AS 4373- 07 'Pruning of Amenity Trees' can rectify this problem. As the rear yard, directly beneath the subject tree, rarely gets used, remedial work is not required. However, reduction work can be undertaken throughout the southern canopy, away from the strata complex, to reduce leaf debris and prevent further branch extension.

There were no visible signs of fungal fruiting bodies and/ or active pests and diseases noted. Foliage colour is good and foliage density is typical of this species. If site conditions remain conducive to tree health, its useful life expectancy is estimated to be in excess of 50 years. The risk posed by this tree is considered broadly acceptable.

Having given consideration to the plans provided, and observations made of the trees, I conclude that the desired outcome of 'tree removal' is unjustified, as the applicant has not provided sufficient evidence that can be considered as satisfying the criteria required. I believe medium to long- term management is sustainable and therefore, retention is warranted and recommended.

**RECOMMENDATION:      RETAIN**



Jarrad Allen  
Calypso Tree Co

DATE: 22/05/18



**PHOTO's ATTACHED:**

**Figure 1 (above): Subject tree when viewed from the east, showing its well balanced, symmetrical canopy and minimal overhang into the strata complex.**

## 7 CONFIDENTIAL REPORTS OF THE ASSESSMENT MANAGER

Nil

## 8 SUMMARY OF COURT APPEALS

### 8.1 Summary of ERD Court matters, items determined by SCAP/Minister/Governor and deferred CAP items - January 2019

#### Brief

This report presents information in relation to:

1. any planning appeals before the Environment, Resources and Development (ERD) Court;
2. any matters being determined by the State Commission Assessment Panel (SCAP);
3. any matters determined by the Minister of Planning (Section 49);
4. any matters determined by the Governor of South Australia (Section 46); and
5. any deferred items previously considered by the Council Assessment Panel.

#### Development Application appeals before the ERD Court

Nil

#### Matters pending determination by SCAP

Reason for referral	DA number	Address	Description of development
Schedule 10	211/740/2017 (211/M013/17)	192 ANZAC Highway GLANDORE	Eight-storey building, 36 dwellings - WITHDRAWN
Schedule 10	211/M029/18	81 Anzac Highway ASHFORD	5 storey residential flat building & car parking
Schedule 10	211/L025/18	2 May Terrace LOCKLEYS	Construction of Telecommunications Tower

#### Matters pending determination by the Minister of Planning

Reason for referral	DA number	Address	Description of development
Section 49	211/V018/18	145 Railway Terrace MILE END SOUTH	Replace lighting towers at SA Athletics Stadium
Section 49	211/V017/18	1 Barcoo Road WEST BEACH	Function room in association with mini golf facility
Section 49	211/V007/12 V3	Lot 2 in FP 1000, West Beach Road WEST BEACH	Variation - removal of east-west internal road

**Matters pending determination by the Governor of South Australia**

Reason for referral	Address	Description of development
Section 46	292-304 Anzac Highway PLYMPTON	Variation to Highway Inn major project - reduced Stage 2 - with reduced retail footprint, removal of first floor car park & basement storage, addition of new townhouse design (28 apartments)

**Deferred CAP Items**

DA number	DAP/CAP Meeting	Address	Description of development	Reason for deferral
211/796/2016	9 August 2016	22 Lindsay Street, CAMDEN PARK	Create 2 additional allotments and construct 3 two-storey dwellings within a residential flat building	Acoustic report, tree assessment report

**Conclusion**

This report is current as at 10 January 2019.

**RECOMMENDATION**

The Council Assessment Panel receive and note the information.

**Attachments**

Nil

**9 OTHER BUSINESS**

Nil

**10 MEETING CLOSE**