

CITY OF WEST TORRENS



Notice of Panel Meeting

NOTICE IS HEREBY GIVEN in accordance with Section 56A(19) of the *Development Act 1993*, that a meeting of the

DEVELOPMENT ASSESSMENT PANEL

of the

CITY OF WEST TORRENS

will be held in the George Robertson Room, Civic Centre
165 Sir Donald Bradman Drive, Hilton

on

**TUESDAY, 9 MAY 2017
at 5.00pm**

**Terry Buss
Chief Executive Officer**

City of West Torrens Disclaimer

Development Assessment Panel

Please note that the contents of this Development Assessment Panel Agenda have yet to be considered and deliberated by the Development Assessment Panel and officer recommendations may be adjusted or changed by the Development Assessment Panel in the process of making the formal Development Assessment Panel decision.

Note: The plans contained in this Agenda are subject to copyright and should not be copied without authorisation.

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1 MEETING OPENED

1.1 Evacuation Procedures

2 PRESENT

3 APOLOGIES

Panel Members:

C Dunn

4 CONFIRMATION OF MINUTES

RECOMMENDATION

That the Minutes of the meeting of the Development Assessment Panel held on 11 April 2017 be confirmed as a true and correct record.

5 DISCLOSURE STATEMENTS

The following information should be considered by Development Assessment Panel Members prior to a meeting:

Action to be taken prior to consideration of a matter

Sections 2(4)(5) of the Minister's Code of Conduct - Section 21A of the *Development Act 1993* requires that:

"If you consider that you have, or might reasonably be perceived to have an interest in the matter before the panel, you must clearly state the nature of that interest in writing to the presiding member before the matter is considered.

If you consider that you have a personal interest which may be in conflict with your public duty to act impartially and in accordance with the principles of the Act, you must declare a conflict of interest as above."

Action to be taken after making a declaration of interest:

Section 2(6) of the Minister's Code of Conduct - Section 21A of the *Development Act 1993* requires that:

"If you have an interest in a matter, you must not partake in any of the assessment processes involving the matter. You must leave the room at any time in which the matter is discussed by the panel including during the hearing of any representations or during any vote on the matter. You must not vote on the matter and you must not move or second any motion or participate in any discussion through the consensus process."

If an interest has been declared by any member of the panel, the presiding member must record the nature of the interest in the minutes of meeting.

6 REPORTS OF THE CHIEF EXECUTIVE OFFICER

6.1 8 Packard Street, NORTH PLYMPTON

Application No 211/348/2017

Appearing before the Panel will be:

Representors: **K and H Yamamoto** of 1/6 Packard Street, North Plympton wishes to appear in support of the representation.

H and J Candlett of 2/6 Packard Street, North Plympton wishes to appear in support of the representation.

Applicant/s **Anthony Carbone** wishes to appear in response to representations.

DEVELOPMENT APPLICATION DETAILS

DEVELOPMENT PROPOSAL	Retention of existing dwelling with construction of new alfresco and carport and construction of a two-storey residential flat building containing three (3) dwellings each with garage under main roof
APPLICANT	Anthony Carbone
LODGEMENT DATE	29 March 2017
ZONE	Residential Zone
POLICY AREA	Medium Density Policy Area 19
APPLICATION TYPE	Merit
PUBLIC NOTIFICATION	Category 2
REFERRALS	Internal <ul style="list-style-type: none"> City Assets - Engineering
DEVELOPMENT PLAN VERSION	5 May 2016
MEETING DATE	9 May 2017

RECOMMENDATION

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/348/2017 by Mr Anthony Carbone to retain existing dwelling and construct new alfresco and carport, and construction of a two-storey residential flat building containing three (3) dwellings each with garage under main roof at 8 Packard Street, North Plympton (CT 5805/548) subject to the following conditions of consent (and any subsequent or amended condition that may be required as a result of the consideration of reserved matters under Section 33(3) of the Development Act):

Reserved Matters

The following information shall be submitted for further assessment and approval by the City of West Torrens as reserved matters under Section 33(3) of the Development Act 1993:

1. That detailed stormwater management and quality information is submitted to council by way of a 'Civil and Drainage Plan'.

Council Conditions

1. The development shall be undertaken and completed in accordance with the plans and information detailed in the application except where varied by any condition(s) listed below.
 2. The finished floor level of each dwelling shall be a minimum of 300mm above the highest point of the adjacent water-table.
 3. That all stormwater design and construction will be in accordance with Australian Standards and recognised engineering best practices to ensure that stormwater does not adversely affect any adjoining property or public road and for this purpose stormwater drainage will not at any time:-
 - a. Result in the entry of water into a building; or
 - b. Affect the stability of a building; or
 - c. Create unhealthy or dangerous conditions on the site or within the building; or
 - d. Flow or discharge onto the land of an adjoining owner; and not flow across footpaths or public ways.
 4. That any retaining walls will be designed to accepted engineering standards, and not of timber construction if retaining a difference in ground level exceeding 200mm.
 5. That all driveways, parking and manoeuvring areas will be formed, surfaced with concrete, bitumen or paving, and be properly drained, and shall be maintained in reasonable condition at all times.
 6. That all landscaping will be planted in accordance with the approved plans prior to the occupancy of the development. Any person(s) who have the benefit of this approval will cultivate, tend and nurture the landscaping, and shall replace any landscaping which may become diseased or die.
 7. All upper level windows, other than the east facing windows of 'Residence 1' (street facing), shall be provided with fixed obscure glass to a minimum height of 1.7 metres above the upper floor level, prior to occupation of the building. The glazing in these windows shall be maintained in good condition at all times.
 8. Any lighting on the site shall be directed and screened so that light-spill into the nearby premises is avoided.
 9. Noise emanating from the site shall achieve the relevant Environment Protection (Noise) Policy criteria.
-

BACKGROUND

The development proposal is presented to the Development Assessment Panel (DAP) for the following reason/s:

- At its meeting held 13 December 2016, the Development Assessment Panel resolved to refuse Development Number 211/1500/2015 for the following reasons
 - a) Does not meet minimum site area size
 - b) Does not meet minimum frontage width; and
 - c) Does not provide adequate quality private open space with regard to solar access.
- The decision to refuse Development Number 211/1500/2015 was appealed to the ERD (Environment, Resources and Development) Court
- A preliminary conference was held 13 February 2017 in which the appealants advised they wish to submit amended plans.
- A subsequent preliminary conference was held 28 March 2017 where the ERD Court held that the amendments change the nature of development and warrant a new development application.
- The amended plans are now presented to the Development Assessment Panel in the form of a new development application.

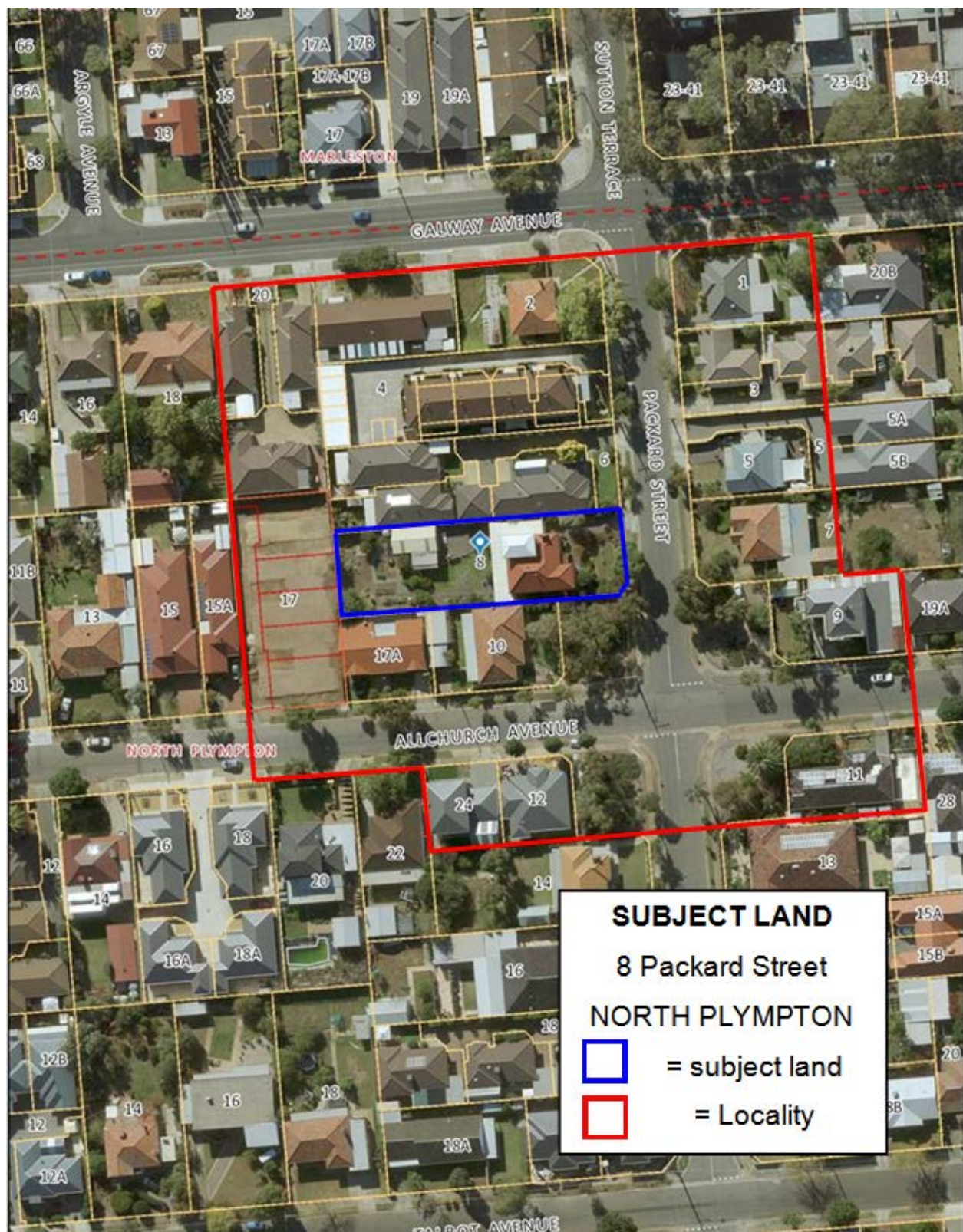
PREVIOUS OR RELATED APPLICATION(S)

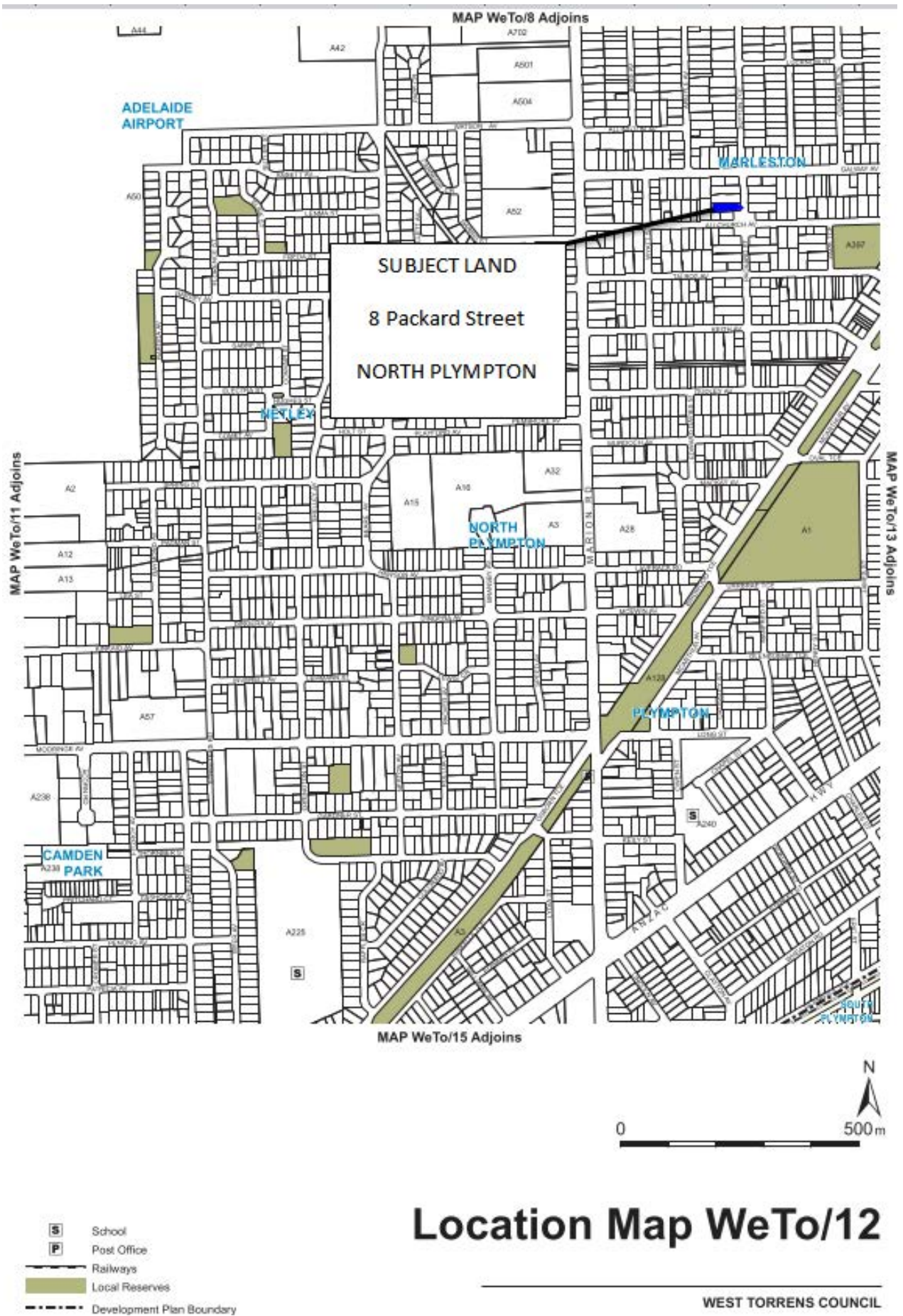
DA 211/1500/2015 - Construction of a two-storey residential flat building comprising six (6) dwellings - Refused.

SITE AND LOCALITY

The site includes 8 Packard Street, a rectangular allotment of approximately 1140 square metres. The site currently comprises a detached dwelling with two-storey component and associated verandahs and outbuilding.

The wider locality is predominantly residential in nature and comprises a mixture of dwelling types, including detached dwellings, group dwellings and residential flat buildings. A Local Centre Zone and Industry Zone are located within 400 metres of the site.





PROPOSAL

The proposal is for

- Retention of the existing dwelling and construction of alfresco and carport.
- Construction of a two-storey residential flat building containing three dwellings each with garage under main roof.

Relevant plans form **Attachment 1**.

PUBLIC NOTIFICATION

The application is a Category 2 form of development pursuant to Section 38 and Schedule 9 of the Development Act and Regulations.

Properties notified:	13 properties were notified during the public notification process.
Representations:	2 representations were received.
Persons wishing to be heard:	2 representors identified that they wish to address the Panel. <ul style="list-style-type: none"> • Kyoko Yamamoto and Hiroyuki Yamamoto • John and Helen Candlett
Summary of Representations:	Concerns were raised regarding the following matters; <ul style="list-style-type: none"> • Do not build two-storey • Privacy • Fencing • Air-conditioning units • Lighting • Overhanging plants • Construction times • Noise • Property de-valuation

A copy of the representor's concerns and the applicant's response are contained in **Attachment 2**.

REFERRALS

Internal

- City Assets - Engineering

The relevant feedback forms **Attachment 3** by way of email correspondence with the applicant.

ASSESSMENT

The subject land is located within the Residential Zone and more particularly Medium Density Policy Area 19 as described in the West Torrens Council Development Plan. The main provisions of the Development Plan which relate to the proposed development are as follows:

<u>General Section</u>		
<i>Crime Prevention</i>	<i>Objectives</i>	1
	<i>Principles of Development Control</i>	1, 2, 3, 5, 6, 7, 8, & 10
<i>Design and Appearance</i>	<i>Objectives</i>	1 & 2
	<i>Principles of Development Control</i>	1, 2, 3, 4, 5, 6, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 20, 21, 22, 23 & 24
<i>Energy Efficiency</i>	<i>Objectives</i>	1 & 2
	<i>Principles of Development Control</i>	1, 2, 3 & 4
<i>Hazards</i>	<i>Objectives</i>	1, 2, 4, 7, 8, 9 & 10
	<i>Principles of Development Control</i>	1, 2, 3, 4, 5, 6, 7, & 13
<i>Infrastructure</i>	<i>Objectives</i>	1, 2 & 3
	<i>Principles of Development Control</i>	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 & 13
<i>Interface between Land Uses</i>	<i>Objectives</i>	1, 2 & 3
	<i>Principles of Development Control</i>	1, 2, 3, 4 & 5
<i>Land Division</i>	<i>Objectives</i>	1, 2, 3 & 4
	<i>Principles of Development Control</i>	1, 2, 3, 4, 5, 6, 7, 8, 13 & 15
<i>Landscaping, Fences and Walls</i>	<i>Objectives</i>	1 & 2
	<i>Principles of Development Control</i>	1, 2, 3, 4 & 6
<i>Natural Resources</i>	<i>Objectives</i>	1, 2, 3, 5, 6 & 7
	<i>Principles of Development Control</i>	1, 2, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14 & 16
<i>Orderly and Sustainable Development</i>	<i>Objectives</i>	1, 2, 3, 4 & 5
	<i>Principles of Development Control</i>	1, 3 & 5
<i>Residential Development</i>	<i>Objectives</i>	1, 2, 3 & 4
	<i>Principles of Development Control</i>	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30 & 31
<i>Transportation and Access</i>	<i>Objectives</i>	1, 2 & 4
	<i>Principles of Development Control</i>	1, 8, 9, 10, 11, 20, 21, 22, 23, 24, 30, 34, 35, 36, 37, 39, 40, 41, 42, 43, 44 & 45

Zone: Residential Zone	
<p>Desired Character Statement:</p> <p>This zone will contain predominantly residential development. There may also be some small-scale non-residential activities such as offices, shops, consulting rooms and educational establishments in certain locations. Non-residential activities will be complementary to surrounding dwellings.</p> <p>Allotments will be at very low, low and medium densities to provide a diversity of housing options in different parts of the zone. The range of allotment sizes will support the desired dwelling types anticipated in each policy area, and the minimum allotment sizes shall be treated as such in order to achieve the Desired Character for each policy area and, in turn, reinforce distinction between policy areas. Row dwellings and residential flat buildings will be common near centres and in policy areas where the desired density is higher, in contrast to the predominance of detached dwellings in policy areas where the distinct established character is identified for protection and enhancement. There will also be potential for semi-detached dwellings and group dwellings in other policy areas.</p> <p>Residential development in the form of a multiple dwelling, residential flat building or group dwelling will not be undertaken in a Historic Conservation Area.</p> <p>Landscaping will be provided throughout the zone to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.</p>	
<i>Objectives</i>	1, 2, 3 & 4
<i>Principles of Development Control</i>	1, 5, 6, 7, 8, 9, 10, 11, 12, 13 & 14

Policy Area: Medium Density Policy Area 19	
<p>Desired Character Statement:</p> <p>Allotments in this policy area will be at medium density, accommodating a range of dwelling types including semi-detached, row and group dwellings, as well as some residential flat buildings and some detached dwellings on small allotments. There will be a denser allotment pattern close to centre zones where it is desirable for more residents to live and take advantage of the variety of facilities focused on centre zones.</p> <p>New buildings will contribute to a highly varied streetscape. Buildings will be up to 2 storeys, except for allotments fronting Brooker Terrace, Marion Road and Henley Beach Road, and overlooking the Westside Bikeway, where buildings will be up to 3 storeys in height and provide a strong presence to streets. Garages and carports will be located behind the front facade of buildings.</p> <p>Development will be interspersed with landscaping, particularly behind the main road frontage, to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.</p>	
<i>Objectives</i>	1
<i>Principles of Development Control</i>	1, 2, 3, 5 & 7

QUANTITATIVE ASSESSMENT

The proposal is assessed for consistency with the prescriptive requirements of the Development Plan as outlined in the table below:

DEVELOPMENT PLAN PROVISIONS	STANDARD	ASSESSMENT
SITE AREA Medium Density Policy Area 19 PDC 5	150m ² (average)	Residence 1 = 426m ² Residence 2 = 117m ² Residence 3 = 117m ² Residence 4 = 210m ² 217.5m ² (average) 148m ² (excluding Residence 1) Satisfies
SITE FRONTAGE Medium Density Policy Area 19 PDC 5	15m (for complete building)	12.5m (excluding common property) 18.29m (including common property) Does Not Satisfy
SITE COVERAGE Medium Density Policy Area 19 PDC 3	60%	Residence 1 = 35.6% Residence 2 = 50.1% Residence 3 = 50.1% Residence 4 = 28.6% Total Site Coverage = 29.2% Satisfies
MAXIMUM BUILDING HEIGHT Medium Density Policy Area 19 PDC 3	Two stories or 8.5m	Two-stories, 7.6m to apex of roof Satisfies
STREET SETBACK Medium Density Policy Area 19 PDC 3	3m	10.7m Satisfies

SIDE SETBACKS Residential Zone PDC 11	Side 1m where the vertical side wall is 3m or less	2.3m and 4.5m for dwelling 1.1m for garage Satisfies
	2m where the vertical side wall measures between 3m and 6m	3.51m and 5.3m Satisfies
REAR SETBACKS Medium Density Policy Area 19 PDC 3	Rear 6m	5m setback Does Not Satisfy
PRIVATE OPEN SPACE Residential Development PDC 19	24m ² with a minimum dimension of 3m for allotments up to 300m ² 60m ² with a minimum dimension of 4m for allotments between 300-500m ²	Residence 1 = 69.3m ² Residence 2 = 28m ² Residence 3 = 28m ² Residence 4 = 119.5m ² Satisfies
LANDSCAPING Module: Landscaping, Fences & Walls PDC: 4	10%	Satisfies
CARPARKING SPACES Transportation and Access PDC 34	2 car-parking spaces per dwelling, one of which is covered + and additional 0.25 car parking spaces per dwelling.	9 provided, 4 covered Satisfies
GARAGE MAXIMUM FLOOR AREA Residential Development PDC 16	60m ²	Residence 1 = 18.8m ² Residence 2 = 17.6m ² Residence 3 = 17.6m ² Residence 4 = 17.6m ² Satisfies

GARAGE MAXIMUM WALL HEIGHT Residential Development PDC 16	3m	Residence 1 = 2.7m Residence 2 = 2.7m Residence 3 = 2.7m Residence 4 = 2.7m Satisfies
GARAGE MINIMUM SETBACK FROM PRIMARY ROAD FRONTAGE Residential Development PDC 16	No closer to the primary road than any part of its associated dwelling	Satisfies
GARAGE MAXIMUM LENGTH ALONG BOUNDARY Residential Development PDC 16	8m or 50% of the length along that boundary, whichever is less	Residence 1 = 5.7m Residence 2 = 5.7m Residence 3 = 5.7m Residence 4 = 5.7m Satisfies
SITE FACILITIES AND STORAGE Residential Development PDC 31	8m ³	Residence 1 = 60.1m ³ (including retreat) Residence 2 = 31.3m ³ (including retreat) Residence 3 = 31.3m ³ (including retreat) Residence 4 = 60.1m ³ (including retreat) Satisfies

QUALITATIVE ASSESSMENT

In assessing the merits or otherwise of the application, the following matters must be considered:

Land Use and Zoning

The Residential Zone envisages dwellings and Medium Density Policy Area 19 specifically envisages residential flat buildings. The proposed land use is therefore appropriate.

The desired character statement within Medium Density Policy Area 19 seeks allotments at medium density, accommodating a range of dwelling types including residential flat buildings on small allotments. In addition, it seeks denser allotment patterns close (within 400 metres) to centres zones where it is more desirable for more residents to live. The desired character of Medium Density Policy Area 19 states "buildings will be up to two-storeys".

Bulk and Scale

Development should be compatible with the desired character statement of the relevant zone and policy area in terms of building height, mass, proportion, external materials, ground floor height above natural ground level, roof form, roof pitch and façade articulation. These design elements contribute to the overall bulk and scale of a building.

In accordance with the desired character statement within Medium Density Policy Area 19 and PDC 3, the proposed buildings do not exceed two-storeys or 8.5 metres in total height. The height is appropriate in the context of the Development Plan.

Proposed roof pitches are low to reduce overall height and proposed external materials and finishes are typical of modern residential development. Contrasting materials, windows, portico's and veranda's provide articulation.

The policy area seeks medium density development with a denser development pattern close to centre zones. In the context of the Development Plan, the proposed bulk and scale is acceptable.

Setbacks

Given the nature of the proposal, side and rear boundaries may vary depending on interpretation and where the boundary is viewed from. For example, the rear boundary of proposed Residence 2 and 3 could be interpreted as the side boundary of neighbouring 10 Packard Street.

The proposal achieves front and side setbacks as per the Development Plan.

The rear boundary is considered the western boundary that abuts 17 Allchurch Avenue, North Plympton. The ground and upper level of 'Residence 4' would be setback 5 metres from the rear boundary, rather than the 6 metres recommended in the policy area. The intent of rear setback provisions is to minimise visual impact and overshadowing upon neighbouring properties. 'Residence 4' has suitable private open space and storage area. In addition, 'Residence 4' would not impose an unreasonable visual impact or overshadowing.

Proposed setbacks are acceptable.

Overlooking and Overshadowing

The Development Plan uses setback requirements and building height limitations to ensure that adequate daylight and sunlight remains available to adjoining dwellings and private open space. Daylight and sunlight should be provided in accordance with the following provisions.

- PDC 10** *The design and location of buildings should ensure that direct winter sunlight is available to adjacent dwellings, with particular consideration given to:*
- (a) windows of habitable rooms, particularly living areas*
 - (b) ground-level private open space*
 - (c) upper-level private balconies that provide the primary open space area for any dwelling*
 - (d) access to solar energy.*
- PDC 11** *Development should ensure that north-facing windows to habitable rooms of existing dwelling(s) on the same allotment, and on adjacent allotments, receive at least 3 hours of direct sunlight over a portion of their surface between 9.00 am and 5.00 pm on the 21 June.*
- PDC 12** *Development should ensure that ground-level open space of existing buildings receives direct sunlight for a minimum of two hours between 9.00 am and 3.00 pm on 21 June to at least the smaller of the following:*
- (a) half of the existing ground-level open space*
 - (b) 35 square metres of the existing ground-level open space (with at least one of the area's dimensions measuring 2.5 metres).*
- PDC 13** *Development should not increase the overshadowed area by more than 20 per cent in cases where overshadowing already exceeds these requirements.*

The applicant has not presented shadow diagrams in support of the proposal however 6/1, 6/2 and 6/3 Packard Street would not be overshadowed as each of these properties is situated north of the site.

The proposal would increase the extent of shadow cast upon 10 Packard Street however the bulk of private open space would remain unshaded in accordance with minimum Development Plan requirements.

17a Allchurch Avenue has limited private open space which is largely overshadowed by existing verandahs and pergolas on the same allotment. The proposal may increase overshadowing upon 17a Allchurch however the proposal must be considered on balance and weighted against all Development Plan provisions. In doing so it must be acknowledged that the proposal does not exceed maximum height allowances and achieves side setbacks. In addition, the policy area desires a transformation in character from low density living to medium density living. In achieving the desired transformation it is acknowledged that overshadowing will occur and cannot always be prevented.

General Section - Residential Development PDC 27 ensures visual privacy

PDC 27 *Except for buildings of 3 or more storeys, upper level windows, balconies, terraces and decks that overlook habitable room windows or private open space of dwellings should maximise visual privacy through the use of measures such as sill heights of not less than 1.7 metres or permanent screens having a height of 1.7 metres above finished floor level.*

The proposal does not include balconies, terraces or raised decks. A condition upon any planning consent is appropriate to ensure visual privacy is preserved from upper level windows.

Colours and Materials

External materials, patterns, textures, colours and decorative elements should be compatible with the desired character statement of the relevant zone and policy area. Proposed materials and colours are typical of modern residential development and muted so as not to be highly reflective.

Proposed external colours and materials are appropriate.

Site Area and Frontage

When a dwelling is located within 400 metres of a centre zone and situated within a residential flat building, the complete building should have a minimum frontage of 15 metres.

Excluding common property, proposed residence 1 would have a 12.5 metre frontage to Packard Street. Including the width of the common property, the residential flat building would have an approximate frontage to Packard Street of 18.2 metres, suggesting compliance with frontage requirements. The appropriate method of calculation is open to interpretation however an acceptable frontage should be considered in the context of the locality and desired character.

Frontages throughout the locality in relation to detached dwellings are generally wide however have been partly eroded by re-development to accommodate group dwellings and residential flat buildings with communal driveways. It is acknowledged that allotments within medium density policy area 19 will be at medium density accommodating a range of dwelling types with denser allotment patterns close to centre zones where it is desirable for more residents to live. In this circumstance, whether the communal driveway is included in the frontage width or not, proposed frontages are considered acceptable. The common driveway would not dominate the streetscape or detrimentally impact the visual presentation of the locality.

When a dwelling is located within 400 metres of a centre zone and situated within a residential flat building, dwellings should have an average site area of 150 square metres. Including all four dwellings, the average site area is achieved.

Car Parking and Vehicle Manoeuvrability

The proposal achieves minimum car parking requirements. Council's City Assets - Engineering section has reviewed proposed car parking and vehicle manoeuvring arrangements and has confirmed compliance with the relevant Australian Standards.

Hazards

Ground floor levels of all development on land subject to a 1 in 100 year average return interval flood event should be located above a design flood level which

- Provides an acceptable level of risk to person and property
- Minimises the impact of floodwaters onto adjoining properties
- Ensures development will not adversely affect the level of flood waters on adjoining properties.

The development is located within a flood affected area. Given the critical flood depth being up to 100mm, and making allowance for 200mm freeboard, the proposed finished floor level of each dwelling needs to be approximately 300mm above the existing natural site level. Finished floor levels have not been provided. A condition ensuring suitable floor levels is appropriate. A 300mm finished floor level above the natural site level would not have an undue impact upon neighbouring amenity given the total height of the proposal as well as proposed setbacks.

Stormwater

A 'Civil and Drainage' Plan has not been provided. Through development number 211/1500/2015 the applicant demonstrated that stormwater can be appropriately managed and appropriate finished floor levels provided. Notwithstanding this, proposed site works and stormwater management must be assessed. It is therefore appropriate to treat these matters as 'Reserved Matters' for further assessment should the application be granted planning consent.

Land Division

Land division should create allotments appropriate for their intended use and should allow for orderly provision of new infrastructure.

Case law has previously determined that approval for land division should be obtained and new titles established prior to consideration of a land use application. Whilst a land division application has not been lodged to accompany the proposal indicative site areas can be determined and the built form assessed given the detailed plans supplied. Through the assessment it has been determined that each indicative site area is suitable for the subsequent built form as proposed.

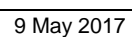
SUMMARY

The proposal achieves the majority of relevant Development Plan provisions and would not impact surrounding amenity by way of design, building height, visual impact, overshadowing, overlooking and traffic. A land division application has not yet been submitted; however, the resulting allotment arrangement can be determined given the detailed plans supplied. The desired transformation of Medium Density Policy Area 19 from low-density to medium density must be acknowledged.

Having considered all the relevant Objectives and Principles of the Development Plan, the proposal is considered to be not seriously at variance with the Development Plan and on balance the proposed development sufficiently accords with the relevant provisions contained within the West Torrens Council Development Plan Consolidated 05 May 2016 and warrants Development Plan Consent.

Attachments

1. **Plans**
2. **Representations and applicants response**
3. **Referral Feedback - Email Correspondence**



SITE NOTES

BUILDER TO CHECK AND CONFIRM ALL LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

ANY DISCREPANCIES IN DOCUMENTATION AND / OR ON SITE ARE TO BE REPORTED TO THE DESIGNER BEFORE ANY WORK IS COMMENCED

ALL WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED DIMENSIONS.

ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT LOCAL AUTHORITY REQUIREMENTS

FOUNDATIONS, EXCAVATIONS, REINFORCEMENT PLACEMENT, ETC. TO BE INSPECTED AND APPROVED BY ENGINEER OR BUILDING SURVEYOR PRIOR TO ANY CONCRETE PLACEMENT

NO VARIATION MAY BE MADE TO THIS DRAWING WITHOUT PRIOR APPROVAL OF THE PROPRIETOR OR DESIGNERS

REFER TO ENGINEERS DESIGN, DOCUMENTATION, CALCULATION AND SPECIFICATION FOR STRUCTURAL, ELECTRICAL, HYDRAULIC AND CIVIL DETAILS (IF APPLICABLE)

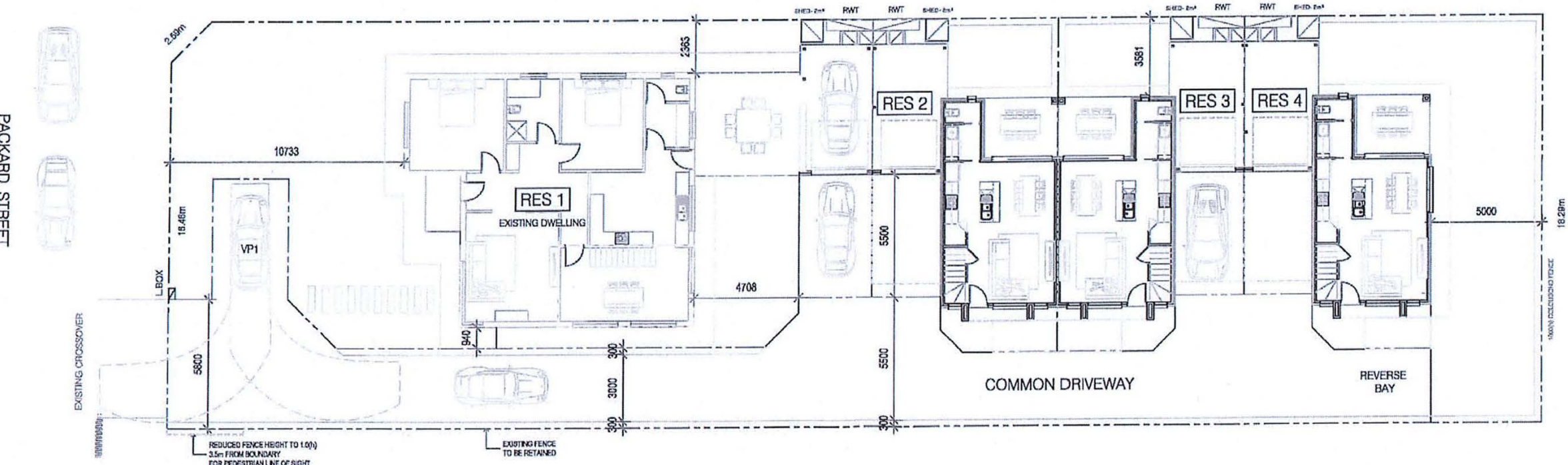
STORMWATER TO BE DISCHARGED TO STREET WATERTABLE OR RAINWATER TANK IN ACCORDANCE WITH COUNCIL REQUIREMENTS AND/OR DIRECTION

SURFACE WATER RUN-OFF FROM NOT LESS THAN 50sqm OF ROOF CATCHMENT AREA TO BE STORED IN 1000L RAIN WATER TANK AND, PLUMBED TO EITHER A TOILET, WATER HEATER OR LAUNDRY COLD WATER AND, INLET/OVERFLOW ON RAIN WATER TANK MUST BE FITTED WITH INSPECT PROOF AND NON DEGRADABLE SCREENS

TOTAL SITE AREA:	1135m²
TOTAL SITE COVERAGE:	376m² (33%)
TOTAL LANDSCAPING:	342m² (30%)

RES 1	RES 3
SITE AREA: 426m² (246m² AVERAGE)	SITE AREA: 117m² (246m² AVERAGE)
POS: 266m² (100%)	POS: 266m² (100%)
SITE COVERAGE: 151m² (35%)	SITE COVERAGE: 69m² (59%)

RES 2	RES 3
SITE AREA: 117m² (246m² AVERAGE)	SITE AREA: 210m² (246m² AVERAGE)
POS: 266m² (100%)	POS: 266m² (100%)
SITE COVERAGE: 55m² (47%)	SITE COVERAGE: 62m² (29%)



SITE PLAN - LOWER
SCALE 1:200

Client: Anthony Carbone
Address: 8 Packard st North Plympton

01 of 11
scale at A3

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SITE NOTES

BUILDER TO CHECK AND CONFIRM ALL LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION

ANY DISCREPANCIES IN DOCUMENTATION AND / OR ON SITE ARE TO BE REPORTED TO THE DESIGNER BEFORE ANY WORK IS COMMENCED

ALL WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED DIMENSIONS.

ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT LOCAL AUTHORITY REQUIREMENTS

FOUNDATIONS, EXCAVATIONS, REINFORCEMENT PLACEMENT, ETC. TO BE INSPECTED AND APPROVED BY ENGINEER OR BUILDING SURVEYOR PRIOR TO ANY CONCRETE PLACEMENT

NO VARIATION MAY BE MADE TO THIS DRAWING WITHOUT PRIOR APPROVAL OF THE PROPRIETOR OR DESIGNERS

REFER TO ENGINEERS DESIGN, DOCUMENTATION, CALCULATION AND SPECIFICATION FOR STRUCTURAL, ELECTRICAL, HYDRAULIC AND CIVIL DETAILS (IF APPLICABLE)

STORMWATER TO BE DISCHARGED TO STREET WATERTABLE OR RAINWATER TANK IN ACCORDANCE WITH COUNCIL REQUIREMENTS AND/OR DIRECTION

SURFACE WATER RUN-OFF FROM NOT LESS THAN 50sqm OF ROOF CATCHMENT AREA TO BE STORED IN 1000L RAIN WATER TANK AND, PLUMBED TO EITHER A TOILET, WATER HEATER OR LAUNDRY COLD WATER AND, INLET/OVERFLOW ON RAIN WATER TANK MUST BE FITTED WITH INSPECT PROOF AND NON DEGRADABLE SCREENS

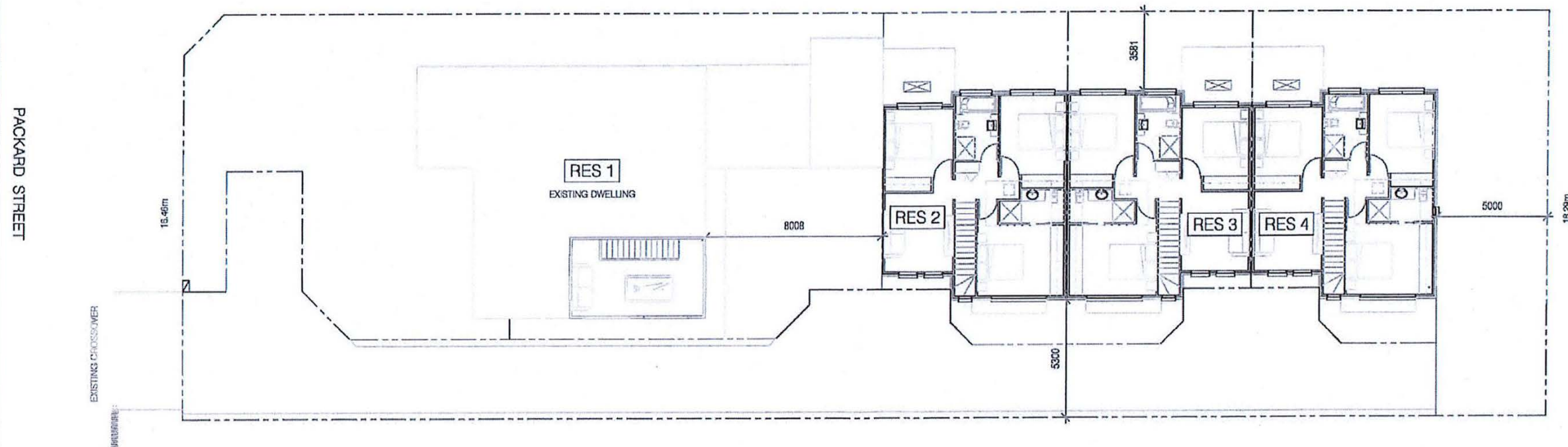
TOTAL SITE AREA: 1135m²
TOTAL SITE COVERAGE: 376m² (33%)
TOTAL LANDSCAPING: 342m² (30%)

RES 1
SITE AREA: 426m² (45m² AVERAGE)
POS: (SEAR/SO) 86m² (16%)
SITE COVERAGE: 151m² (35%)

RES 2
SITE AREA: 117m² (48m² AVERAGE)
POS: (SEAR/SO) 28m² (24%)
SITE COVERAGE: 68m² (58%)

RES 3
SITE AREA: 117m² (48m² AVERAGE)
POS: (SEAR/SO) 28m² (24%)
SITE COVERAGE: 68m² (58%)

RES 4
SITE AREA: 210m² (45m² AVERAGE)
POS: (SEAR/SO) 25m² (22%)
SITE COVERAGE: 62m² (57%)



SITE PLAN - UPPER

SCALE 1:200

Client: Anthony Carbone
Address: 8 Packard st North Plympton

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Scale at A3

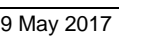
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ALL STEEL LINTELS ARE TO BE HOT DIPPED GALVANISED, SIZES AS PER ENGINEERS DETAILS AND DESIGN

PROVIDE WALL TIES TO ALL BRICKWORK AT MAXIMUM 600mm CENTRES IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATED JOINTS. SPACING OF WALL TIES TO TOP AND SIDES OF OPENING TO BE HALVED

PROVIDE R3.0 INSULATION BATTS TO CEILING AND R1.5 INSULATION BATTS TO WALLS.

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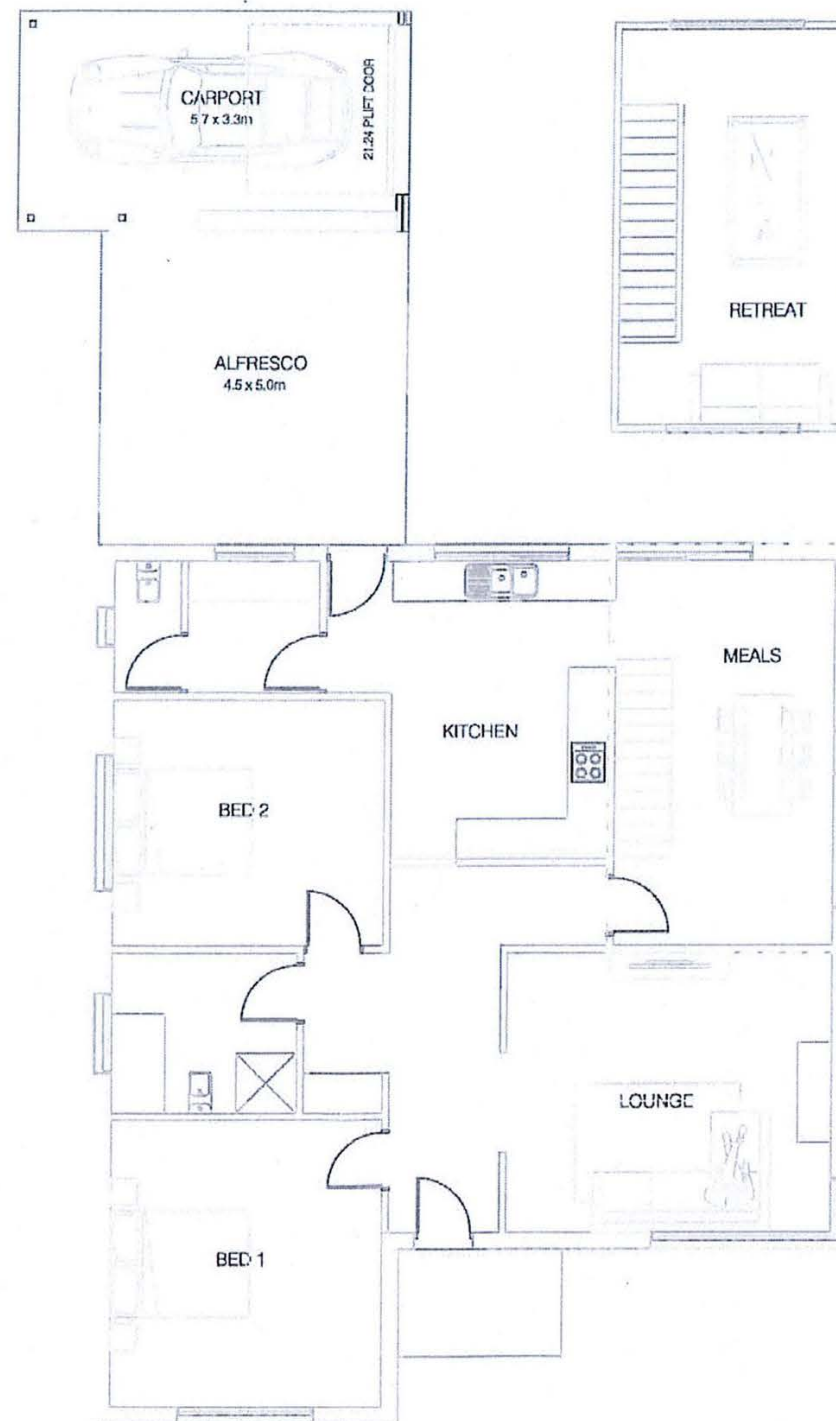
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SELF CONTAINED SMOKE ALARMS WILL COMPLY WITH AS 3786, CONNECTED TO CONSUMER MAINS POWER AND WILL BE INTERCONNECTED (IF MORE THAN 1)



PROPOSED DWELLING	
LWR LIVING:	132.63m ²
CARPORT:	19.37m ²
ALFRESCO:	21.89m ²
UPR LIVING:	22.50m ²
NEW:	41.26m ²
EXISTING:	155.13m ²
TOTAL:	196.39m ²

FLOOR PLAN - RES 1
SCALE 1:100

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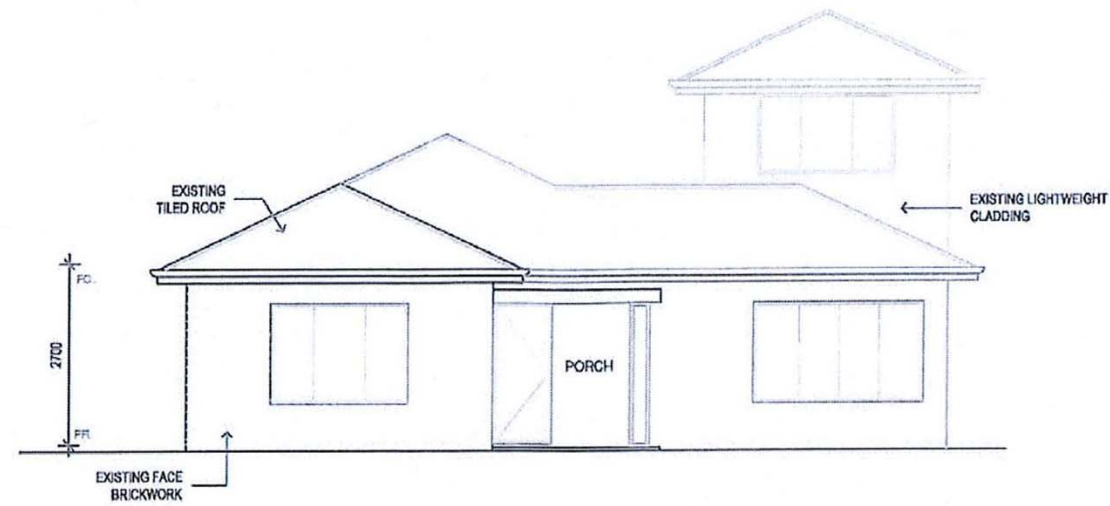
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Client: Anthony Carbone
Address: 8 Packard st North Plympton

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Scale at A3

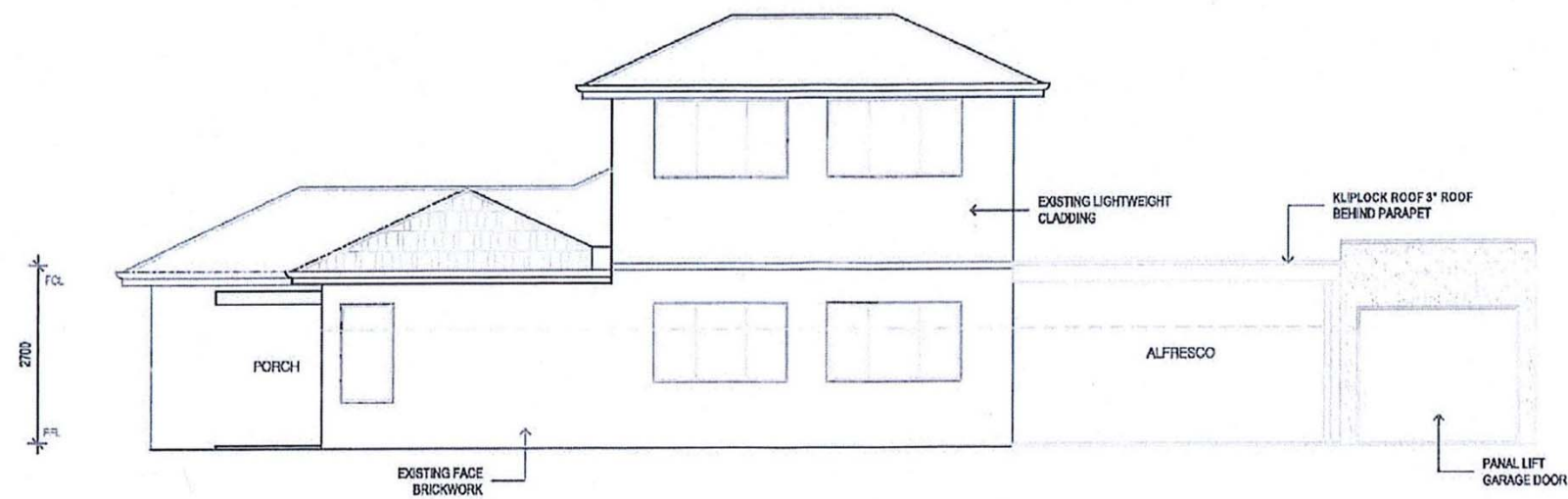
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FRONT ELEVATION

SCALE 1:100



SIDE ELEVATION

SCALE 1:100

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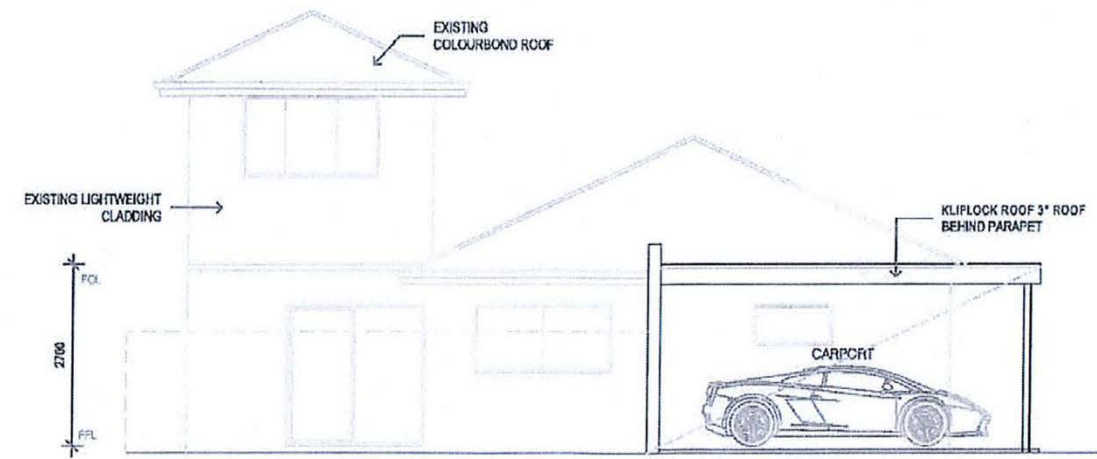
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Address: 8 Packard st North Plympton

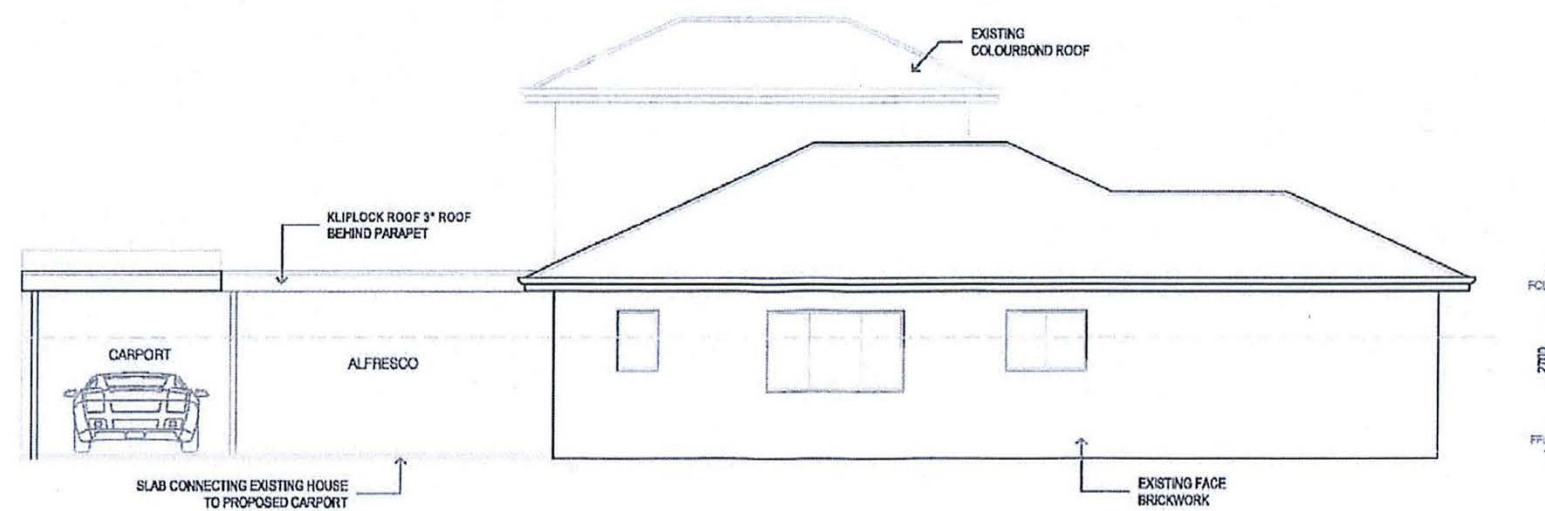
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REAR ELEVATION

SCALE 1:100



SIDE ELEVATION

SCALE 1:100

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Client: Anthony Carbone
Address: 8 Packard st North Plympton

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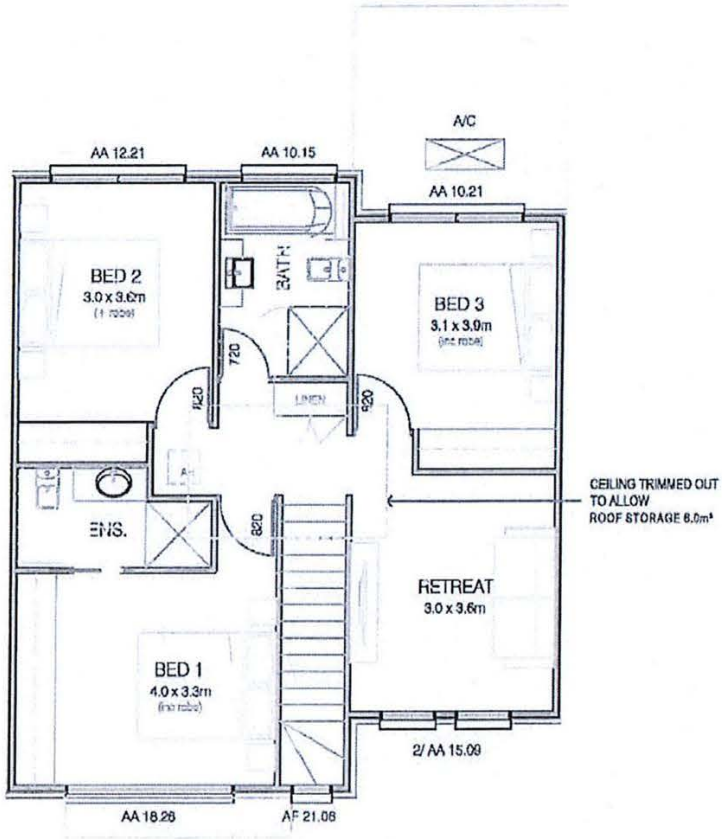
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PROPOSED DWELLING	
LWR LIVING:	40.87m ²
CARPORT:	18.91m ²
ALFRESCO:	8.85m ²
UPR LIVING:	73.66m ²
TOTAL:	142.29m ²

FLOOR PLAN - RES 2 / 3
SCALE 1:100

Client: Anthony Carbone

Address: 8 Packard st North Plympton

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scale at A3

PROPERTY DESIGN

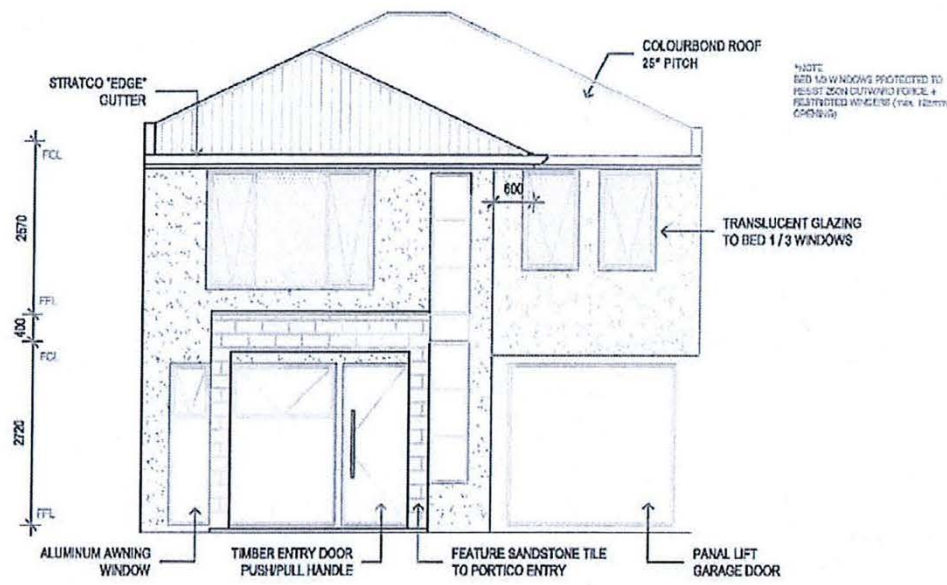
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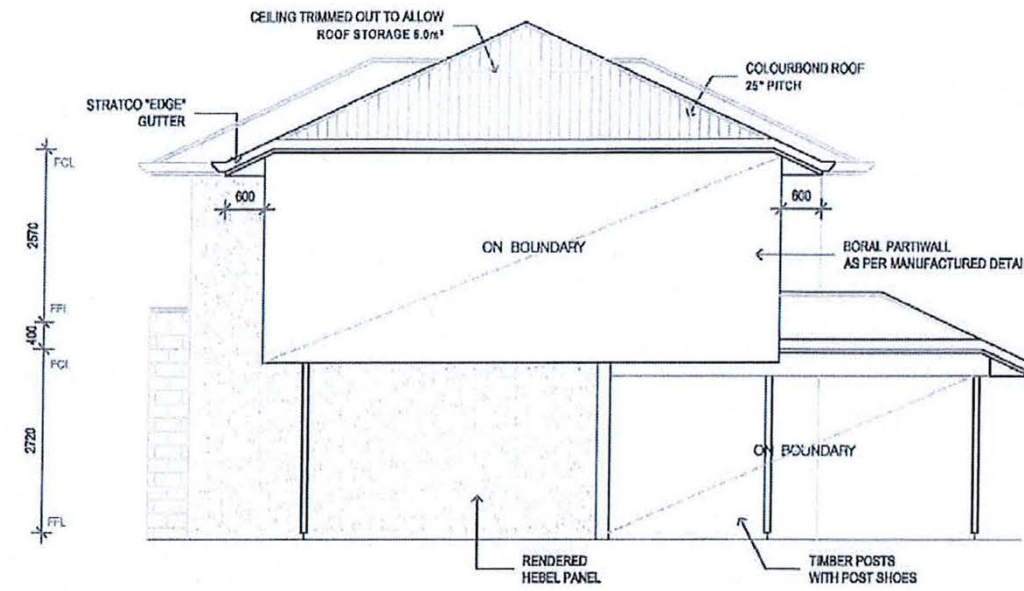
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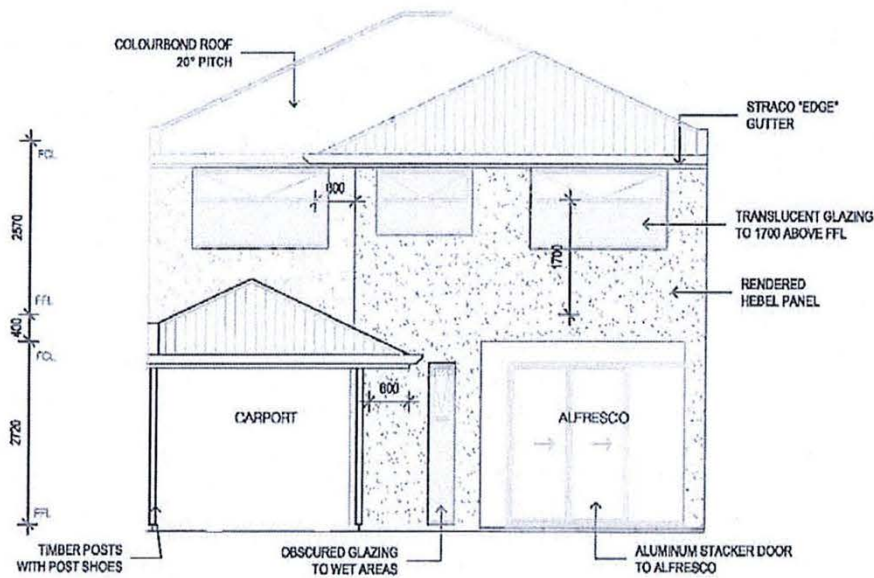
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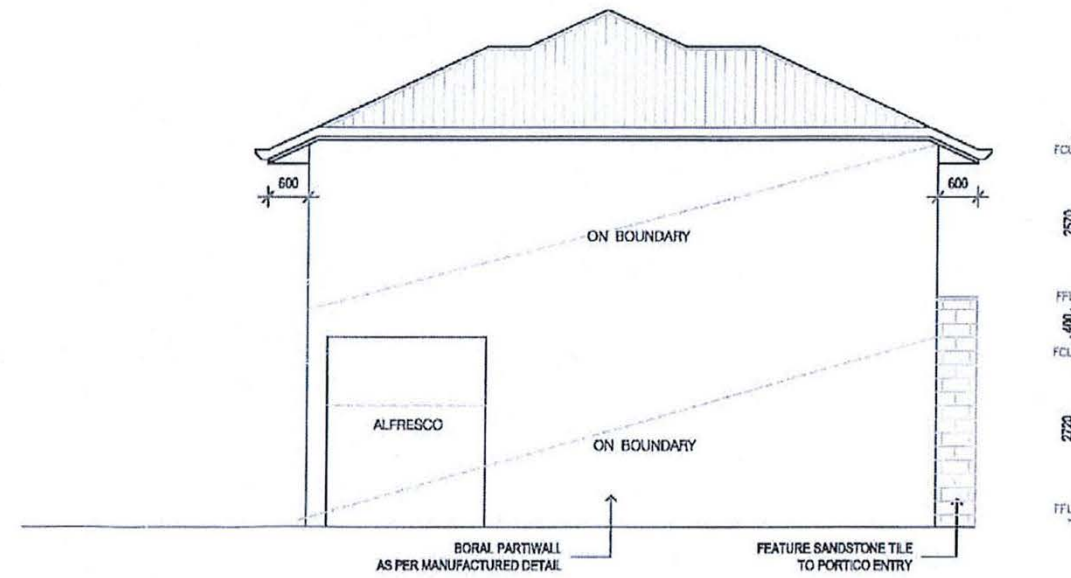
FRONT ELEVATION
SCALE 1:100



SIDE ELEVATION
SCALE 1:100



REAR ELEVATION
SCALE 1:100



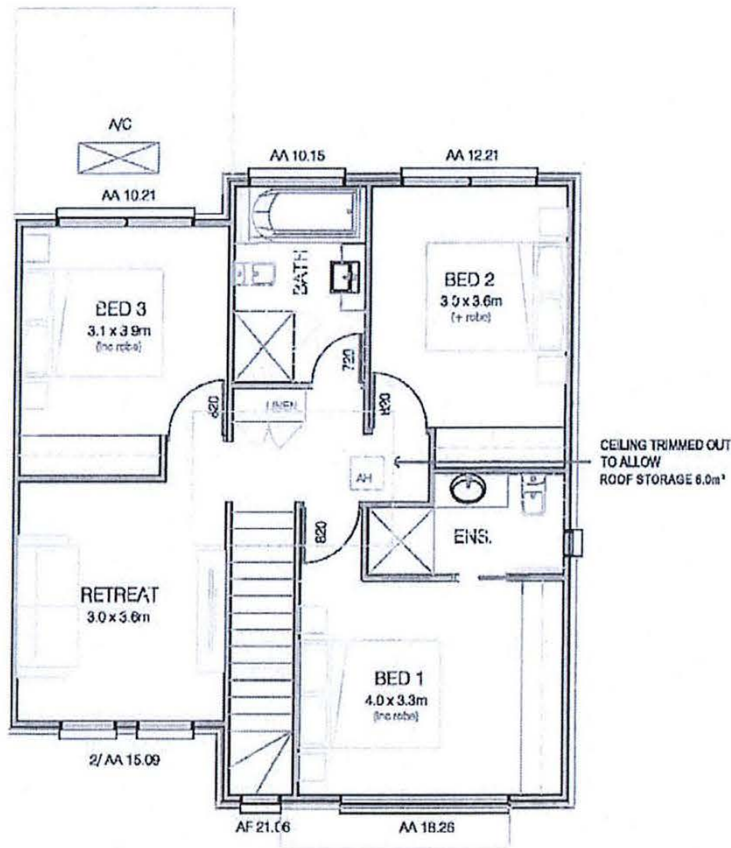
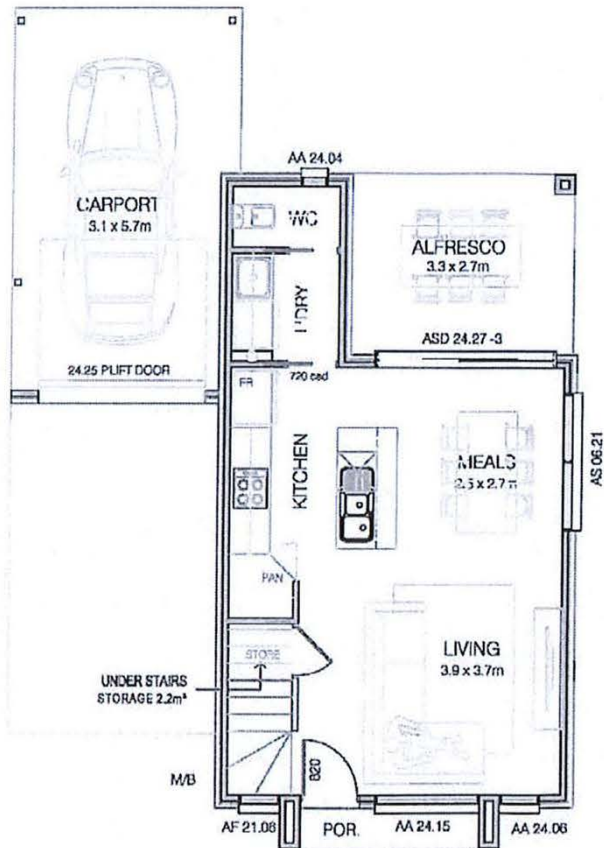
SIDE ELEVATION
SCALE 1:100

Client: Anthony Carbone
Address: 8 Packard st North Plympton
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PROPOSED DWELLING	
LWR LIVING:	40.87m²
CARPORT:	18.91m²
ALFRESCO:	8.85m²
UPR LIVING:	73.66m²
TOTAL:	142.29m²

FLOOR PLAN - RES 4
SCALE 1:100

Client: Anthony Carbone
Address: 8 Packard st North Plympton

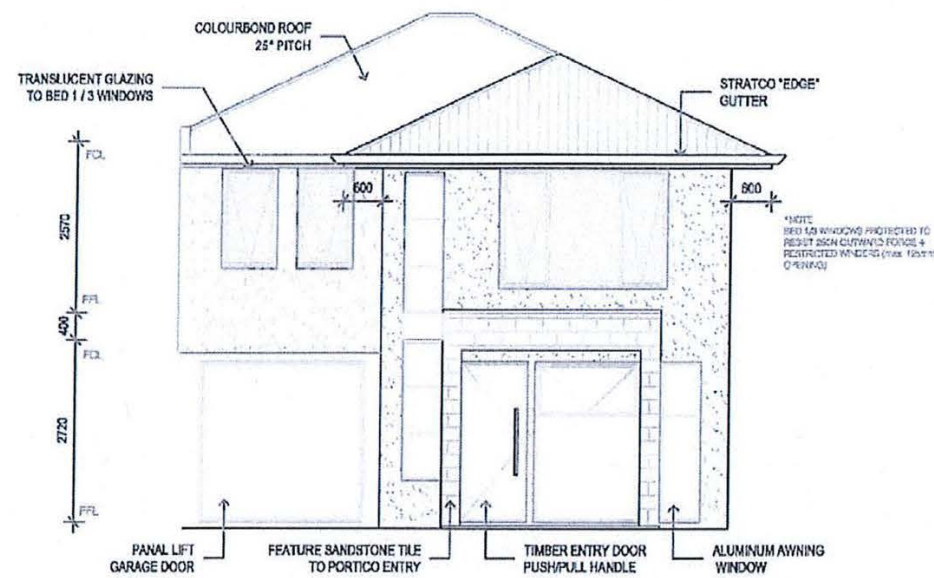
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scale at A3

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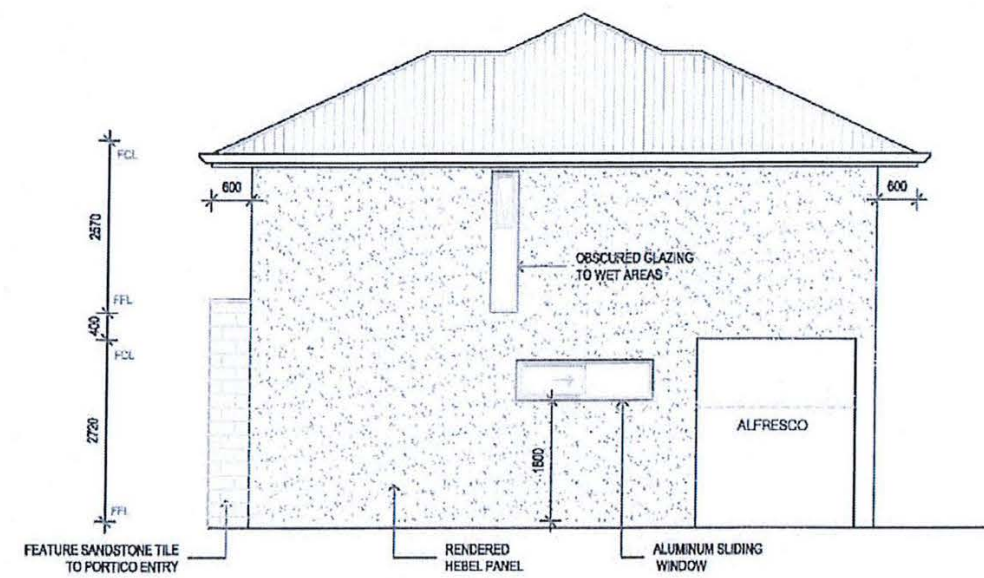
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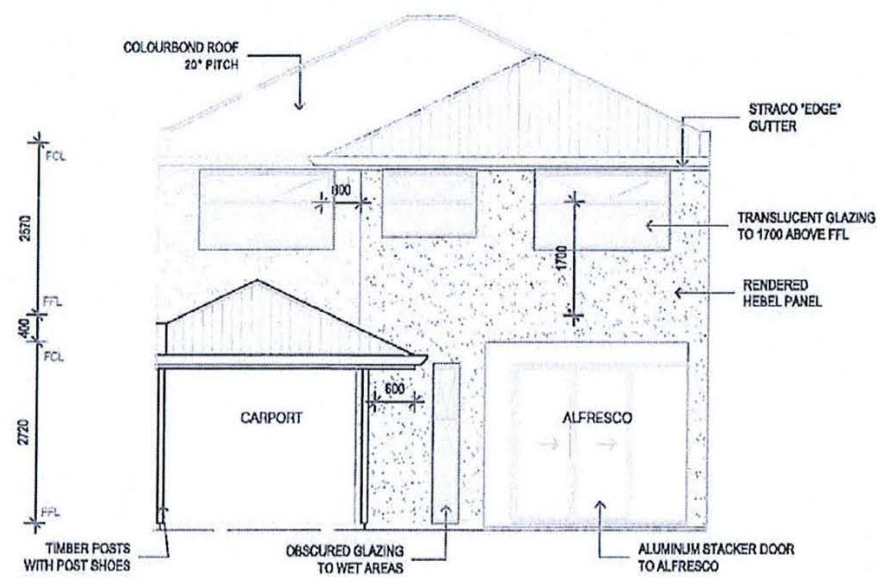
FRONT ELEVATION

SCALE 1:100



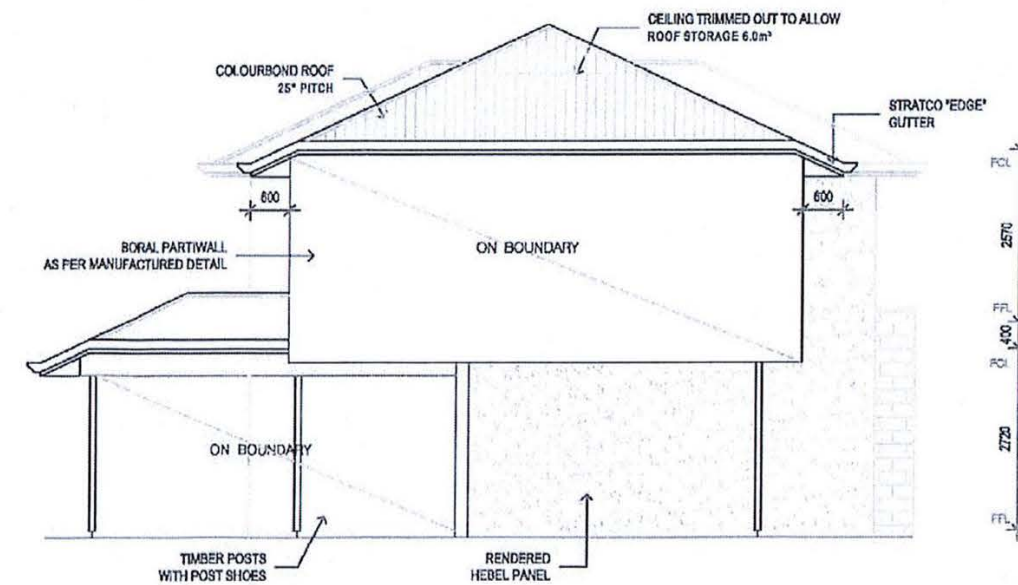
SIDE ELEVATION

SCALE 1:100



REAR ELEVATION

SCALE 1:100



SIDE ELEVATION

SCALE 1:100

Client: Anthony Carbone
Address: 8 Packard st North Plympton

10 of 11

Scale at A3

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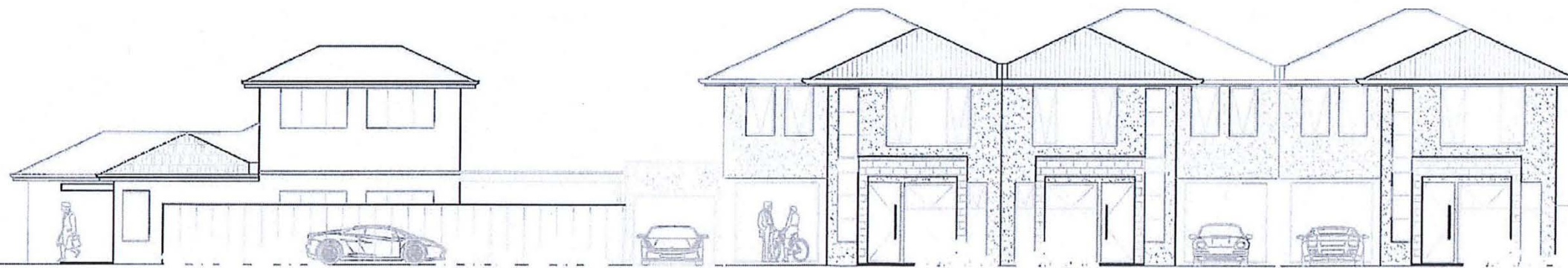
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EXISTING

STREETSCAPE - PACKARD STREET (EXISTING)

SCALE 1:150



EXISTING

PROPOSED

STREETSCAPE - COMMON DRIVEWAY

SCALE 1:150

Client: Anthony Carbone
Address: 8 Packard st North Plympton
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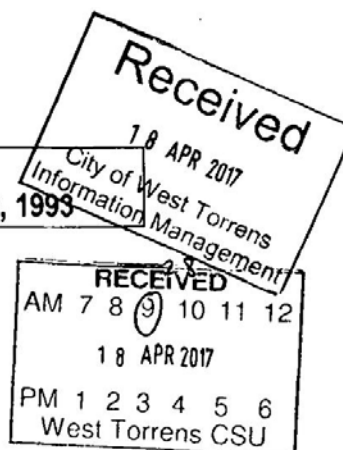
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STATEMENT OF REPRESENTATION
Pursuant to Section 38 of the Development Act, 1993

TO Chief Executive Officer
 City of West Torrens
 165 Sir Donald Bradman Drive
 HILTON 5033

DEVELOPMENT No. 211/348/2017
 PROPERTY ADDRESS: 8 Packard Street, NORTH PLYMPTON SA 5037



YOUR FULL NAME	JOHN + HELEN CANDLETT	
YOUR ADDRESS	2/6 PACKARD ST NORTH PLYMPTON 5037	
YOUR PHONE No		
YOUR EMAIL		
NATURE OF INTEREST	ADJOINING RESIDENT. <small>(eg. Adjoining resident, owner of land in the vicinity etc.)</small>	
REASON/S FOR REPRESENTATION	<p>We live at No 6 Packard St.</p> <p>① At the Dec. 13th council meeting, our objection was for 6 two storey houses.</p> <p>② The new proposal is only a slight adjustment to the first.</p> <p>③ We live the furthest to the west of our block and we strongly urged that single storey houses be constructed, due to the following facts:-</p>	
MY REPRESENTATIONS WOULD BE OVERCOME BY (state action sought)	<p>On the Northern side there are 8 2 storey apartments and on the western side there are 5 newly completed 2 storey townhouses which are in arm's reach of our back fence.</p> <p>④ The plan to build 3 two storey houses on the bottom half of block No. 8 and on our Southern side, means we will be completely surrounded by 2 storey buildings. This will devalue our house considerably. We urge again for single storey</p>	
Please indicate in the appropriate box below whether or not you wish to be heard by Council in respect to this submission:-		
I DO NOT WISH TO BE HEARD <input type="checkbox"/>		
I DESIRE TO BE HEARD PERSONALLY <input checked="" type="checkbox"/>		
I DESIRE TO BE REPRESENTED BY _____ (PLEASE SPECIFY) <input type="checkbox"/>		

SIGNED

John Candlett *H.M. Candlett*

DATE 18/4/2017

Responsible Officer: Phil Harnett
 Ends: Tuesday 18 April 2017

If space insufficient, please attach sheets

To Chief Executive Officer
City of West Torrens
165 Sir Donald Bradman Drive
Hilton 5033

We live at No 6 Packard Street.

1. At the December 13th council meeting, Our objection was for 6 two storey houses.
2. The new proposal is only a slight adjustment to the first.
3. We live the furthest to the west of our block and we strongly urged that single storey houses be constructed due to the following facts -:
On the Northern side there are 8 two storey apartments and on the Western side there are 5 newly completed 2 storey townhouses which are in arm's reach of our back fence.
4. The plan to build 3 two storey houses on the bottom half of block No. 8 and on our Southern side, means we will be completely surrounded by 2 storey buildings.
5. This will devalue our properties and will infringe on any Southerly cool breezes.
6. We urge again for single storey houses for the above reasons.

1. HIROYUKI + KYOKO YAMAMOTO
2. JOHN + HELEN CANDLETT
3. STEVE MOULK

Received

18 APR 2017

City of West Torrens
Information Management**STATEMENT OF REPRESENTATION**
Pursuant to Section 38 of the Development Act, 1993TO Chief Executive Officer
City of West Torrens
165 Sir Donald Bradman Drive
HILTON 5033DEVELOPMENT No. 211/348/2017
PROPERTY ADDRESS: 8 Packard Street, NORTH PLYMPTON SA 5037

YOUR FULL NAME	HIROYUKI YAMAMOTO KYOKO YAMAMOTO
YOUR ADDRESS	UNIT 1 / 6 Packard Street, NORTH PLYMPTON SA 5037
YOUR PHONE No	
YOUR EMAIL	
NATURE OF INTEREST	please see attached sheet. (eg. Adjoining resident, owner of land in the vicinity etc.)
REASON/S FOR REPRESENTATION	
<div data-bbox="928 978 1228 1180" data-label="Text"> City of West Torrens 19 APR 2017 City Development </div>	
MY REPRESENTATIONS WOULD BE OVERCOME BY (state action sought)	

Please indicate in the appropriate box below whether or not you wish to be heard by Council in respect to this submission: -

I DO **NOT** WISH TO BE HEARD ☐I DESIRE TO BE HEARD PERSONALLY ☒I DESIRE TO BE REPRESENTED BY _____ ☐

(PLEASE SPECIFY)

SIGNED

DATE 18 April 2017

Responsible Officer: Phil Harnett
Ends: Tuesday 18 April 2017

If space insufficient, please attach sheets

NATURE OF INTEREST AFFECTED BY DEVELOPMENT	(1) Please do not build two-story houses.
	(2) Privacy between Resident1 (existing dwelling) and unit1, 6 Packard street.
	(3) A fence between 8 Packard Street and 6 Packard Street to remain.
	(4) Air-con units are not located to the side of 6 Packard street.
	(5) Lights on driveway have limited brightness if there are.
	(6) Plants on driveway do not go beyond a fence if there are.
	(7) The renovation and building construction works are conducted between 8am and 6pm on weekdays.
	(8) At last but not least, we desperately request our neighbour remain quiet.
REASONS FOR REPRESENTATION	(1) Four of two-story houses on 8 Packard Street will cause excessive condensed residents in our surroundings, adding to eight of two-story flats on 4 Packard Street and five of two-story houses on 17 Allchurch Avenue and three unit-type houses on 20 Galway Avenue. If the new plan on 8 Packard Street is approved, our property is surrounded by twenty dwellings. This will more likely results in insufficient space for rubbish bins to be collected and large number of cars parking on street.
	(2) Currently a blind curtain of upper floor window facing to 6 Packard Street is always closed. Therefore the privacy for both residents are protected. If the upper floor is to be renovated, please consider the privacy so that the upper floor window of Resident1 can not overlook the units on 6
	(3) The fence also belongs to us.
	(4) A number of air-con units could make large noise.
	(5) Bedrooms of 6 Packard Street facing to the driveway are not affected.
	(6) Leaves not falling into 6 Packard Street.
	(7) To minimise our stress from noise.

19/4/17

City of West Torrens

165 Sir Donald Bradman Drive

Hilton SA 5033

RE: 8 Packard Street North Plympton – 211/348/2017 and as it relates to 211/1500/2015

Reference is made to the representations provided in relation to the proposed development at 8 Packard Street, North Plympton. Council has provided a copy of the following representations.

1. K Yamamoto and Y Yamamoto 1/6 Packard Street North Plympton
2. John and Helen Candlett unit 2/6 Packard Street North Plympton

Importantly Mrs J C Considine who raised representation for 211/1500/2015 has not to date raised any representation for 211/348/2017.

I have prepared a response in relation to the representation provided by the above residents. The concerns raised by the representors relate to density, two story dwellings, ownership of a fence, noise and leaves falling into number 6 Packard St.

The representors also make reference and comparison to application 211/1500/2015.

Background

As part of a separate application for 8 Packard Street (211/1500/2015) and after support by councils planners but refusal by West Torrens City Council (WTCC) Development Assessment Panel (DAP) I lodged an appeal with the Environment Resources and Development Court (ERD) and proposed a substantial reduction in overall dwelling numbers from 6 to 4 dwellings by retaining the existing street facing dwelling.

As the reduction from six dwellings to four was substantial and allowed retaining the existing two storey dwelling the ERD commissioner felt a separate application was needed. At a separate ERD conference and on and review of the revised plans the commissioner stated he would be surprised if this didn't get through.

On that basis ERD have gratefully allowed the original application hearing date to be extended until this current application can be determined at the DAP level and also requested Council waive the reapplication fee. Unfortunately, West Torrens Council rejected the fee waiving request.

For the panels knowledge, the original application (211/1500/2015) was issued in December 2015 and I have gone through three Council planners in that time all who have from a planning perspective supported the original application for six dwellings. For the record this will be the second composition of a DAP panel to make a ruling on technically a separate application but in the original context.

Notwithstanding the background the current application 211/348/2017 has made substantial compromises in the design and layout of this development and reduced the overall number of dwellings from 6 to 4.

For a representor to state "the new proposal is only a slight adjustment to the first" is offensive and demonstrates an inability or unwillingness to truly consider this application objectively. A substantial concession has been made in context of the original application by retaining the existing dwelling which does not change the streetscape and by dropping two entire dwellings from the overall development.

Two Storey dwellings

The main objection of the representors living at 6 Packard Street and on the same allotment is that they do not want two story dwellings to be constructed adjacent their single-story community title site.

Importantly the existing house at 8 Packard Street is already double story and the double storey units at 4 Packard street were both constructed many years before the representors bought into the community title development at 6 Packard Street which was approved for development in 2004.

The representors also state there are five two storey houses to their western side however this is misleading there is only one dwelling that coincides with half of 6 Packard's site. Representors also make reference to three unit type houses at 20 Galway Avenue North Plympton however the representors themselves live in a three unit type house complex. So what is the relevance in these assertions based on the current application?

To suggest any further development cannot be two storeys particularly when located within 400m of a community centre would mean to say the entire development plan as currently zoned needs to be reconsidered. The development plan particularly the newest policy areas were carefully considered with wide consultation for increased densities to meet the State Governments thirty-year strategic plan. This is an application that talks to that plan.

All clearance distances affecting number 6 Packard street meet or exceed the development plan in all instances.

Irrelevant to this application are the representors claim it will devalue their property. It could in fact increase property values. But that is completely subjective and again irrelevant.

Representors also claim their southerly breezes will be affected. Given they are in single story community title dwellings contained on one site with a dense site coverage of 47% and covered outdoor entertaining areas and the fact the current proposal meets set back distances this assertion is again misleading.

Respondents and Density

For the original application, there were three respondents. For the current application, there are only two.

The current respondents both from units from 6 Packard Street to the north of my site live in a single community development consisting of three residences.

Interestingly if you account for common space the representors objecting 8 Packard street application live on a site that is denser than what I am applying for.

Both representors site has an overall site coverage of 47% with three dwellings compared to 33% for 8 Packard street as currently proposed with four dwellings. So regardless of the amount of dwellings for the same or very similar overall site area number 6 Packard Street has a site coverage that is 14% denser than what I am currently proposing. Ironical.

	Avg Site Area	Overall Land Area	Site Coverage	% of Site Coverage
8 Packard Street	246m ²	1135m ²	376m ²	33%
6 Packard Street Units 1,2 & 3	294m ²	1136m ²	544m ²	47%

Refer attached site plan for 6 packard street.

Regardless of the above; densities proposed for the current application are 246m² on average well over the prescribed 150m² for Policy 19 and should not be a factor of consideration particularly as we are within 400m of a center zone and the development plan supports substantially reduced densities and encourages higher density living within those zones.

Northern Boundary Fence

The representor states they own the northern fence which is incorrect but nonetheless we have accommodated the original request for this fence to remain in place however do not think this is best for the overall aesthetics as it will create an unsightly appearance on completion, potential vermin trap and or overlooking issues for which the representors don't want, yet don't fully understand.

Noise

Air conditioning units are located on the southern side of the site well away from number 6 Packard street and three metres away from the southern boundary. Noise reduction cannot be any better than that for number 6 Packard St.

Leaves Falling Into # 6

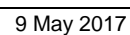
Is this relevant?

Conclusion

This revised application from six dwellings now reduced to four meets all qualitative planning objectives of the WTCC Development plan policy area 19, satisfies both private and public planners, has been reviewed by the ERD and should therefore be supported and approved by West Torrens City Council Development Assessment Panel on that basis.

Yours Sincerely

Anthony Carbone



Phil Harnett

From: Phil Harnett
Sent: Thursday, 16 March 2017 1:26 PM
To: 'David Thompson'
Cc: 'Anthony Carbone'
Subject: FW: DA 211/1500/2015 - 8 Packard Street, NORTH PLYMPTON
Attachments: 8 Packard Nth Plympton V2_SK01.pdf; Changes 170310.pdf

Hi David

Council's traffic engineer has reviewed the submitted plan (attached). In response, the turn path plan (attached) has been prepared which demonstrates the following changes are required.

1. The driveway corridor requires widening by 300mm to comply with the standard.
2. The corner 'cut-off' for Res 1 is required to be widened slightly (1.5m by 1.5m)
3. The parking area at the rear of Res 1 is required to be widened by 0.3m to allow appropriate vehicle manoeuvrability for exiting vehicles
4. The visitor parking space requires a bit more width as it is close to the entrance to the subject site.

In addition, the following planning matters are noted

5. Remaining site areas should be considered after implementing changes 1-4 above. Is the average site area still achieved? Average site area of 150 square metres to be confirmed
6. Minimum 15 metre site frontage unachievable
7. Site coverage for each allotment to be confirmed and should not exceed 60%.
8. Streetscape preserved and required street setback exceeded.
9. Side setbacks appear to be achieved however upper level floor plan not yet provided. Side setbacks should be 1 metre for walls up to 3 metres in height, 2 metres for walls between 3-6 metres in height.
10. Rear setback should be 6 metres to achieve Development Plan however 5 metres, as proposed, is acceptable in my view.
11. Overall height and scale of development should be limited where possible to minimise visual impact upon neighbours.
12. Private Open Space for each dwelling achieved. 24 square metres with a minimum dimension of 3 metres is the minimum requirement.
13. 10% of the site should be landscaped which is achieved.
14. Covered car parking space should be provided for 'Res 1'. As elevations are yet to be provided, the connecting arrangement between all dwellings is unknown.

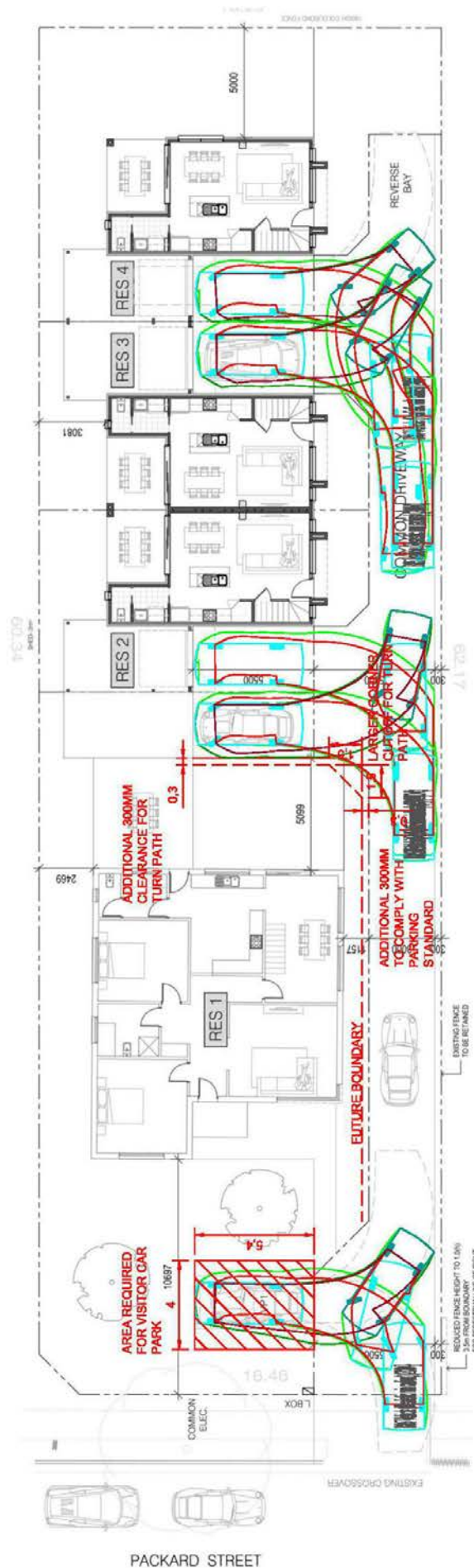
The next ERD Court conference is to be held 28 March 2017. This will enable the court to determine if the proposed changes are significant enough to warrant a new development application.

In any case, Council will need to review a complete set of plans so that all matters can be suitably assessed and forwarded to the DAP (Development Assessment Panel). To meet the April DAP deadline I will require all details as soon as possible and prior to 23 March 2017.

If you have any queries do not hesitate to contact me.

Kind Regards

Phil Harnett
Senior Development Officer - Planning
City of West Torrens



SITE PLAN - LOWER
SCALE 1:200

6.2 189-195 Holbrooks Road & 27-27A Norman Street, UNDERDALE

Application No 211/1576/2016

DEVELOPMENT APPLICATION DETAILS

DEVELOPMENT PROPOSAL	Construction of a retirement village consisting of 16 single storey dwellings and one community centre (Stage 1)
APPLICANT	Karidis Corporation Ltd
APPLICATION NO	211/1576/2016
LODGEMENT DATE	29 December 2016
ZONE	Residential
POLICY AREA	Policy Area 21
APPLICATION TYPE	Merit
PUBLIC NOTIFICATION	Category 3
REFERRALS	Internal <ul style="list-style-type: none"> ▪ City Assets External <ul style="list-style-type: none"> ▪ Nil
DEVELOPMENT PLAN VERSION	5 May 2016
MEETING DATE	14 March 2017 & 9 May 2017

RECOMMENDATION

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the Development Act 1993 resolves to GRANT Development Plan Consent for Application No. 211/780/2016 by Karidis Corporation Ltd to construct a retirement village consisting of 16 single storey dwellings and one community centre (Stage 1) at 189 - 195 Holbrooks Road, 27 and 27A Norman Street, Underdale (CT's 5704/579, 5729/90, 5819/446) subject to the following conditions:

Reserved Matters

The following information requires further assessment and approval by the City of West Torrens as a reserved matter under Section 33(3) of the *Development Act 1993*:

1. Waste management plan and collection details with particular regard to how visitor car parking will be managed.

DEVELOPMENT PLAN CONSENT**Council Conditions**

1. The development shall be undertaken and completed in accordance with the plans and information details in the application except where varied by any conditions listed below:
2. The finished floor level of each dwelling shall be in accordance with the submitted Civil Plan' (TMK - Drawing Number 1603086-CI/PD dated 19/12/2016).

3. That all stormwater design and construction will be in accordance with Australian Standards and recognised engineering best practices to ensure that stormwater does not adversely affect any adjoining property or public road and for this purpose stormwater drainage will not at any time:-
 - a) Result in the entry of water into a building; or
 - b) Affect the stability of a building; or
 - c) Create unhealthy or dangerous conditions on the site or within the building; or
 - d) Flow or discharge onto the land of an adjoining owner; and not flow across footpaths or public ways.
 4. That any retaining walls will be designed to accepted engineering standards, and not of timber construction if retaining a difference in ground level exceeding 200mm.
 5. That all driveways, parking and manoeuvring areas will be formed, surfaced with concrete, bitumen or paving, and be properly drained, and shall be maintained in reasonable condition at all times.
 6. That all planting and landscaping will be completed prior to the commencement of the use of this development and be maintained in reasonable condition at all times. Any plants that become diseased or die will be replaced with a suitable species.
 7. External material and finishes must be low-light reflective.
-

BACKGROUND

The development proposal is presented to the Development Assessment Panel (DAP) for the following reason:

- With regard to residential development and land division applications, where all proposed allotments and or sites fail to meet, nor are within 5% of, the minimum frontage widths and site areas designated in respective zones and policy areas within the West Torrens Council Development Plan.

Previous DA 211/780/2016 - *Retirement village of 41 dwellings consisting of a four-storey residential flat building (24 dwellings), roof top community centre, five single storey residential flat buildings (10 dwellings), a single storey residential flat building (4 dwellings), two single storey semi-detached dwellings, and a single storey group dwelling plus associated driveways and open space* - was withdrawn prior to the 10 January 2017 DAP meeting where the proposal was recommended for refusal.

29 December 2016, current proposal was submitted to Council, being Stage 1 of the previous proposal, ie *Retirement village of 16 dwellings and one community centre, consisting of five single storey residential flat buildings (10 dwellings), a single storey residential flat building (4 dwellings), two single storey semi-detached dwellings, and a single storey group dwelling plus associated driveways.*

23 February 2017, the Administration contacted the applicant's planning consultant and advised the following, *My primary issue is the density with regard to the desired character of the policy area, I could probably support an average of 340sqm per dwelling in this particular location but 210(ish)sqm is too low.*

1 March 2017, the Applicant advised that they desired for the proposal to be presented to the DAP as advertised with some additional correspondence from consultants.

14 March 2017, the Applicant requested that the matter be deferred from that day's DAP meeting to enable further discussion with the Administration. The Administration advised that it was too late to defer the matter for further discussions but that the DAP may choose to defer in order to gain additional information (previous report and associated attachments can be found in **Attachment 2**)

14 March 2017, the DAP deferred consideration of the proposal in order for the Applicant to undertake the following:

- *More information is required to satisfactorily assess the sites waste management plan.*
- *It is recommended that the applicant use this time to review their site area sizes in discussion with the Administration.*

AMENDED PLANS & ADDITIONAL INFORMATION

In response to the DAP's deferment of the matter, the applicant submitted the following:

- Legal advice stating:
 - "supported accomodation" is an envisaged use within the Development Plan;
 - The Development Plan does not specify a site area requirement for "residential falt buildings" within Low Density Policy Area 21;
 - Although the layout of the proposed development fits the criteria for "residential falt buildings" the development should not be assessed against that criteria as it does not reflect the reduced need for private open space of older retired people;
 - Amended plan results in there no longer being any semi-detached dwellings proposed
- Advice from Solo that their waste collection trucks can access the site as currently designed
- Amended site plan showing the reconfiguration of three dwellings.

ASSESSMENT

The proposal is assessed for consistency with the prescriptive requirements of the Development Plan as outlined in the table below:

DEVELOPMENT PLAN PROVISIONS	STANDARD	ASSESSMENT
AVERAGE SITE AREA Low Density Policy Area 21 PDC 3	420m ² minimum (average)	Approx average 203.35m ² (Dwellings 1 – 17 average, does not include internal access road) Does Not Satisfy by 51.6%
SITE FRONTAGE Low Density Policy Area 21 PDC 3	N/A	Development no longer features any dwellings with primary street frontage

STREET SETBACK Residential Zone PDC 8	Primary street - N/A Secondary street - 2m	Development no longer features any dwellings with primary street frontage 3.0m Satisfies
SIDE/REAR SETBACKS Residential Zone: PDC 11	Rear Single storey: 3m	Dwelling 3 and 4: 4.39m Satisfies Dwelling 10: 3.5m setback Satisfies
PRIVATE OPEN SPACE General Section Residential Development PDC 19	24m ² , of which 8 may comprise balconies, roof patios and the like, provided they have a minimum dimension of 2m Minimum dimension 3m (excl balconies) Minimum area 16m ² provided at the rear or side of the dwelling, directly accessible from a habitable room	Dwellings 1 – 17: range from 28.5m ² – 84m ² (average 36.8m ²) Minimum dimension 3.5m Satisfies
LANDSCAPING Landscaping, Fences and Walls PDC 4	10%	Satisfies
MINIMUM FLOOR AREA/DWELLING Council Wide PDC 9	Two bedroom dwelling = min 74m ² Three bedroom dwelling = min 100m ²	B1 = 93m ² B2 = 92.5m ² A1 = 104m ² A2 = 103m ² A3 = 107.5m ² Satisfies
STORAGE OF GOODS & CHATTELS Council Wide PDC 31	8m ³	B1 = 5.8m ³ B2 = 5.8m ³ A1 = 4m ³ A2 = 5m ³ A3 = 5.25m ³ Not Satisfied

CARPARKING SPACES Transportation and Access PDC 34 Table WeTo/2 – Off Street Vehicle Parking Requirements	2 car parking spaces per dwelling, one of which is covered + an additional 0.25 car parking spaces per dwelling. 33.75 car parking spaces required <ul style="list-style-type: none"> Two single storey semi-detached dwellings 2 car parking spaces per dwelling, one of which is covered. 4 car parking spaces required	37 provided Does Not Satisfy by 0.75 of a park
MAXIMUM NUMBER OF STOREYS Residential Zone PDC 6	2 storeys	1 storey Satisfies

Land Use and Zoning

PDC 5 of the Residential Zone states that development should not be undertaken unless it is consistent with the desired character for the zone and policy area. Objective 1 of the Low Density Policy Area 21 is that development contributes to the desired character of the policy area.

The policy area envisages a low density character with new development predominantly replacing detached dwellings with the same. Alternative dwelling types such as semi-detached dwellings are encouraged close to centre zones. The desired character also envisages buildings up to two storeys in height.

Whilst supported accommodation is envisaged within the Policy Area, proposed development in the form of, single storey residential flat buildings, group dwellings are not specifically envisaged in the Low Density Policy Area 21 (Desired Character, PDC 1).

Site Area

The average site area for proposed Dwellings 1 – 17 is approximately 203m². Low Density Policy Area 21 requires a minimum site area of 420m² for semi-detached dwellings and residential flat buildings not within 400 metres of a centre zone (PDC 3).

- 3 **Except when located within 400 metres of a centre zone, a dwelling should have a minimum site area (and in the case of residential flat buildings, an average site area per dwelling) and a frontage to a public road not less than that shown in the following table:**

Dwelling type	Site area (square metres)	Minimum frontage (metres)
Detached	420 minimum	12
Semi-detached	420 minimum	12

As discussed at the 14 March 2017 DAP meeting, until the consolidation of the Housing Diversity DPA in June 2015, the West Torrens Council Development Plan incorporated special dispensation for reduced site areas for supported accommodation, which is no longer the case.

It should be noted that whilst the Development Plan seeks an average site area per dwelling of 420m², the Administration has previously advised the applicant that they would be able to support a proposal that featured dwellings with an average site area of 340m² per dwelling, this advice was based upon an analysis of the character of the locality, in particular the site areas within the locality being as follows:

Address	Dwelling Type	Approximate Site Area (m)
1 Hurtle Court	Detached dwelling	374
2 Hurtle Court	Detached dwelling	340
3 Hurtle Court	Detached dwelling	339
4 Hurtle Court	Detached dwelling	337
5 Hurtle Court	Detached dwelling	335
17 Hurtle Street	Detached dwelling	1036
21 Norman Street	Detached dwelling	704
23 Norman Street	Detached dwelling	701
25 Norman Street	Detached dwelling	813
29 Norman Street	Detached dwelling	624
26 Norman Street	Detached dwelling	458
32 Norman Street	Detached dwelling	312
34 Norman Street	Detached dwelling	326
1a Howard Street	Detached dwelling	567
192 Holbrooks Road	Detached dwelling	748
194 Holbrooks Road	Detached dwelling	713
196 Holbrooks Road	Detached dwelling	1035
1-6/198 Holbrooks Road	Dwelling within Residential flat building	143 (ave)
200 Holbrooks Road	Detached dwelling	1240
197 Holbrooks Road	Detached dwelling	595
199 Holbrooks Road	Detached dwelling	444

The above analysis shows that out of the 26 dwellings within the locality, half display a site area of less than 420m² specified by the Development Plan, clearly indicating that a lesser site area is supported by the locality. Of the entire locality, only one development (198 Holbrooks Road) features dwellings of a site area less than that proposed in this application, it is noted that this development was undertaken in the 1960s prior to the advent of current zoning and development controls. The character of the locality may support a higher density of dwellings than that specified by the Development Plan.

The applicant has provided an opinion authored by Brian Hayes QC stating that despite the proposed development being in the form of residential flat buildings and one group dwelling, that applying the Development Plan's minimum site areas to supported accommodated is an erroneous approach. Brian Hayes QC also suggests that the Council's Development Plan considers a Retirement Village to have different planning requirements to that of a residential flat building. Whilst the Administration has mixed views with Mr Hayes on these points, an alternate legal opinion has not been sought because, as detailed above, the Administration believes that site areas of less than the Development Plan's minimum are acceptable for this site.

Site Area

The reorientation of dwellings 1, 6 & 7 means that there is no longer a conflict with the Development Plan with regard to primary street setbacks and frontage widths for semi-detached dwellings, it should be noted that these conflicts were not previously listed as reasons for refusal.

Waste Collection

It has previously been recognized that it is not feasible to expect that all 17 proposed dwellings could take advantage of Council's regular waste collection service as this would potentially result in 51 bins being placed on the Norman Street footpath on waste collection day. Given this, the applicant has proposed a private on site waste management system and have provided a letter confirming that Solo Waste Management Services access the site for waste collection.

Council's staff retain some questions with regard to how the waste collection system will be managed particularly as the truck maneuverability area is also the site's visitor parking area, the DAP deferred this matter at the March 2017 meeting in order for the applicant to address this concern. The concern has not been addressed by the applicant and the applicant advises that they wish to have the Panel make a decision without this information. Should the Panel be of a mind to support the overall proposal, it is recommended that waste management be listed as a Reserved Matter.

SUMMARY

The most notable and critical departure between the proposed development and the provisions of the Development Plan relates to the proposed site areas for the dwellings, in that a density of nearly double the cited maximum has been proposed.

Having considered all the relevant Objectives and Principles of the Development Plan, it has been determined that whilst the proposal is not seriously at variance with the provisions at the Development Plan but on balance, the proposed development does sufficiently accord with the relevant provisions contained within the West Torrens Council Development Plan Consolidated 5 May 2016 and does warrant Development Plan Consent.

Attachments

- 1. Amended Plans & Additional Correspondence**
- 2. 14 March 2017 DAP Report**

MURRAY CHAMBERS

12 Coglein Street
Adelaide
South Australia 5000

Telephone 61+8+8110 9100

Fax 61+8+8231 5439

Email: hayes@murraychambers.com.au

5 April 2017

Ms Janine Lennon
Manager – City Development
City of West Torrens
165 Sir Donald Bradman Drive
Hilton SA 5033

Dear Ms Lennon,

21/1576/2016 – Karidis on Holbrooks Road

I have been instructed by Griffens Lawyers to act on behalf of the Karidis Group in relation to the above application.

I have been instructed to forward you a copy of my advice in relation to this development and accordingly I enclose a copy herewith.

Yours sincerely,



Brian Hayes QC

Liability limited by a scheme approved under professional standards legislation

MURRAY CHAMBERS

12 Cogle Street
Adelaide
South Australia 5000

Telephone 61+8+8110 9100

Fax 61+8+8231 5439

Email: hayes@murraychambers.com.au

5 April 2017

Griffens Lawyers
Attention: Mr John McElhinney
49 Flinders Street
Adelaide SA 5000

Dear John,

21/1576/2016 – Karidis on Holbrooks Road

I refer to previous correspondence with Griffins Lawyers, and to your request to provide my opinion in relation to a report by Ms Lennon to the DAP.

At its meeting on 16 March 2017 the DAP resolved that this application was deferred on the following grounds:

"More information is required to satisfactorily assess the sites waste management plan. It is recommended that the applicant use this time to review their site area sizes in discussion with the Administration."

I am advised the Karidis Corporation, will supply the appropriate information regarding the waste management plan.

With regard to "site area sizes" I comment as follows:

1. In the DAP Agenda Report of 14 March 2017 the following comments are made:

"Site Area

The average site area for proposed Dwellings 1 – 17 is approximately 203m². Low Density Policy Area 21 requires a minimum site area of 420 m² for semi-detached dwellings and residential flat buildings not within 400 metres of a centre zone (PDC3)."

2. The reference to site area, limited as it is, contains an error of approach.
3. "Supported Accommodation" (which includes Retirement Villages) is a use specifically envisaged in the Policy Area.

However, the Agenda Report under Land Use & Zoning indicates that the proposed use is "not specifically envisaged" in the Policy Area. That is incorrect as a matter of fact.

I also note the following in the Agenda Report:

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“Development Plan Consent is sought for the construction of five single storey residential flat buildings containing two dwellings each, one single storey residential flat building containing four dwellings, one single storey group dwelling and two single storey semi-detached dwellings (overall total of 16 dwellings) for the purposes of housing for the aged, plus a community centre is proposed which will then be converted to a dwelling if and when Stage 2 is approved and commences.”

4. The report indicates that the average site area of proposed Dwellings 1 – 17 is approximately 203m² per dwelling whereas Policy Area 21 “requires a minimum site area of 420m² for semi-detached dwellings and residential flat buildings not within 400 metres of a centre zone.”

That is incorrect as a matter of fact and law because there is no specified site area requirement in Low Density Policy Area 21 for “residential flat buildings”

5. A Retirement Village (subject to layout) may fall within the definition of “residential flat building” for the purpose of categorisation as a non-complying form of development. It does not mean that a Retirement Village must therefore satisfy the density criteria for a typical residential flat building. If it did, it would render the specific reference to retirement village within the land use description of “Supported Accommodation” otiose. Clearly, the Development Plan considers a Retirement Village to have different planning requirements to that of a residential flat building.

As indicated in Griffin Lawyer’s letter of 8 March 2017 to the planning officer a Retirement Village is a very restricted use. It can only be occupied by a person over 55 years of age who is retired from full time employment.

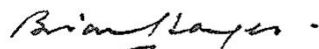
Obviously the needs of such a person for a larger dwelling or open space is less than the generally younger occupants of a typical residential flat building.

6. In my opinion, when assessing a development application against the relevant provisions of a Development Plan, the Plan should be utilised as a flexible, advisory planning policy document, not as a mandatory legal statute, and as a practical guide for practical application. It should be assessed against the provisions of the Development Plan, having regard to its specific characteristics and impact.

The proposal is for a Retirement Village and practically it should be assessed as such and not as a normal typical retirement flat building.

7. I am instructed that the applicant is also prepared to amend its proposal with the 2 units facing Norman Street now facing into the site and as such they will no longer constitute a pair of semi-detached dwellings.

Yours sincerely,



Brian Hayes QC



4th April 2017

Karidis Corporation
Holbrooks Road
Underdale SA

Attn: Mark Booth

Phone: 8414 7900
Email: markb@karidis.com.au

Dear Mark,

Re: Waste Management Proposal

I have had the area marked for bin collection and turning circle to be sufficient for our Side loader and Rear loader trucks to access the bins for empties. As we will be using the driveway in the complex this will need to be load rated for access. Our trucks weigh 10.5 tonne empty and up to 22 tonne full.

I would suggest supplying the residents for 140ltr General Waste bins and 240ltr Recycle/Green waste bins which they could share. The number of bins will determine occupancy at the time.

We look forward to forming an association with you and providing a high standard of waste collection services.

Should you have any queries, please do not hesitate to contact me.

Yours faithfully,



Tara Venn
Sales Representative
Solo Resource Recovery

0418 295 507
08 8295 5077



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SOLO WASTE AUSTRALIA PTY LTD
ABN 62 398 515 816
TRUSTEE



From: [Janine Lennon](#)
To: ["Chris Vounasis"](#)
Subject: 21//1576/2016 - Karidis on Holbrooks Road
Date: Thursday, 23 February 2017 6:14:00 PM

Hi Chris,

Sorry, no matter how I look at this I can't bring myself to support it.

My primary issue is the density with regard to the desired character of the policy area, I could probably support an average of 340sqm per dwelling in this particular location but 210(ish)sqm is too low.

All other factors appear supportable or at least addressable via condition.

So, given the above does your client want us to put it up as is?

Regards,
Janine Lennon
Manager
City Development

6.3 189-195 Holbrooks Road & 27 Norman Street, UNDERDALE

Application No 211/1576/2016

DEVELOPMENT APPLICATION DETAILS

DEVELOPMENT PROPOSAL	Construction of a retirement village consisting of 16 single storey dwellings and one community centre (Stage 1)
APPLICANT	Karidis Corporation Ltd
APPLICATION NO	211/1576/2016
LODGEMENT DATE	29 December 2016
ZONE	Residential
POLICY AREA	Policy Area 21
APPLICATION TYPE	Merit
PUBLIC NOTIFICATION	Category 3
REFERRALS	Internal <ul style="list-style-type: none"> City Assets External <ul style="list-style-type: none"> Nil
DEVELOPMENT PLAN VERSION	5 May 2016
MEETING DATE	14 March 2017

RECOMMENDATION

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to REFUSE Development Plan Consent for Application No. 211/780/2016 by Karidis Corporation Ltd to construction of a retirement village consisting of 16 single storey dwellings and one community centre (Stage 1) at 189 - 195 Holbrooks Road, 27 and 27A Norman Street, Underdale (CT's 5704/579, 5729/90, 5819/446) for the following reasons:

- The proposed development is contrary to:
 - Zone section, Residential Zone, Low Density Policy Area 21, Objective 1
 - Zone section, Residential Zone, Low Density Policy Area 21, Desired Character
 - Zone section, Residential Zone, Low Density Policy Area 21, Principle of Development Control 1
 - Zone section, Residential Zone, Low Density Policy Area 21, Principle of Development Control 3

Reason: The proposed development is not consistent with the relevant provisions of the Development Plan.

BACKGROUND

The development proposal is presented to the Development Assessment Panel (DAP) for the following reasons:

- With regard to residential development and land division applications, where all proposed allotments and or sites fail to meet, nor are within 5% of, the minimum frontage widths and site areas designated in respective zones and policy areas within the West Torrens Council Development Plan,
- All applications where the assessing officer recommends refusal, shall be assessed and determined by the DAP.

PREVIOUS OR RELATED APPLICATION(S)

DA 211/780/2016 - Retirement village of 41 dwellings consisting of a four-storey residential flat building (24 dwellings), roof top community centre, five single storey residential flat buildings (10 dwellings), a single storey residential flat building (4 dwellings), two single storey semi-detached dwellings, and a single storey group dwelling plus associated driveways and open space - WITHDRAWN.

SITE AND LOCALITY

The site is located on the eastern side of Holbrooks Road, Underdale between Golden Glow Avenue to the north and Norman Street to the south, and comprises three allotments:

- Allotment 10 Filed Plan 122904 in the Area named Underdale, Hundred of Adelaide as contained in Certificate of Title Volume 5704 Folio 579
- Allotment 11 Filed Plan 122905 in the Area named Underdale, Hundred of Adelaide as contained in Certificate of Title Volume 5729 Folio 90
- Allotment 12 Filed Plan 122906 in the Area named Underdale, Hundred of Adelaide as contained in Certificate of Title Volume 5819 Folio 446.

The site is more commonly known as 189 - 195 Holbrooks Road, 27 and 27A Norman Street, Underdale and has been used by the Underdale Bowling Club. The site has a frontage of 53.31 metres to Holbrooks Road and 49 metres to Norman Street, with an overall site area of 5,767m².

Topographically the land is relatively flat.

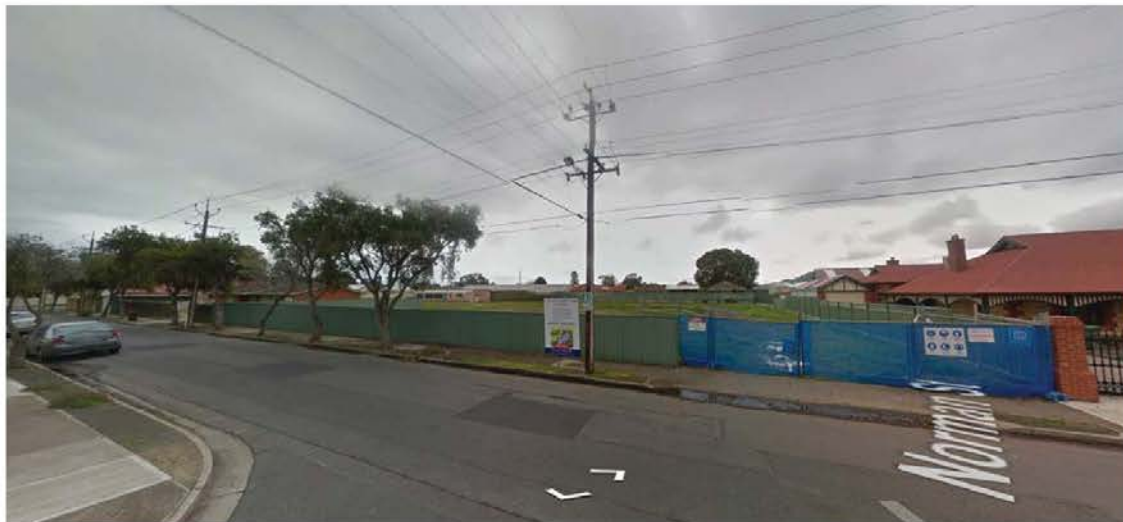
Five established street trees are located directly in front of the site on the Norman Street verge, three of which will be impacted as a result of the proposed development.

Vehicle access to the site is currently provided via an existing single width crossover located adjacent to the eastern site boundary from Norman Street.

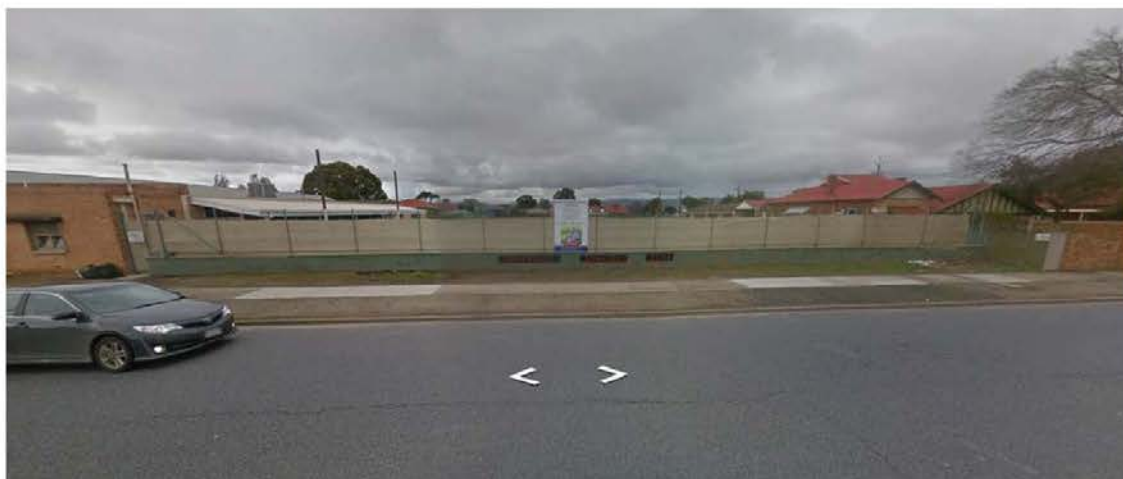
The subject land is located within the Residential Zone, Low Density Policy Area 21. Holbrooks Road is a Secondary Arterial Road. The site is located approximately 300 metres north of the Urban Corridor Zone on Henley Beach Road, and within 200 metres of bus stops either side of Holbrooks Road.

Commercial development adjoins the site to the north, however to the east, south and west the locality comprises predominantly single storey residential development ranging from the 1930's; more recent development includes two storey residential flat buildings on Holbrooks Road, south of Norman Street in Medium Density Policy Area 19. A single storey residential flat building is located opposite the subject site on Holbrooks Road.

The site and locality are shown on the following maps:



Norman Street frontage



Holbrooks Road frontage





PROPOSAL

Development Plan Consent is sought for the construction of five single storey residential flat buildings containing two dwellings each, one single storey residential flat building containing four dwellings, one single storey group dwelling and two single storey semi-detached dwellings (overall total of 16 dwellings) for the purposes of housing for the aged, plus a community centre is proposed which will then be converted to a dwelling if and when Stage 2 is approved and commences.

Five different dwelling types are proposed for the single storey dwellings. All single storey dwellings are configured in one bedroom plus study or two bedrooms plus study.

Each single storey dwelling is provided with a covered car space and a second uncovered car space that could be used for residential and/or visitor parking. Three additional visitor parks have been proposed.

All dwellings are accessed via a common driveway off Norman Street with the exception of the two semi-detached dwellings which will have independent access off Norman Street. These crossovers will result in the removal of three street trees.

Each dwelling is provided with private open space in the form of a ground level courtyard.

A copy of the plans and supporting information are contained in **Attachment 1**.

PUBLIC NOTIFICATION

The application is a Category 3 form of development pursuant to Section 38 and Schedule 9 of the Development Act and Regulations and Residential Zone Procedural Matters.

Properties notified:	63 properties were notified during the public notification process.
Representations:	No representations were received.

REFERRALS

Internal

• City Assets

While a number of issues which were originally raised have been addressed by the applicant, the following matters remain outstanding:

1.0 Waste Management

- It is recommended that the applicant be requested to provide a 'waste management plan' demonstrating communal waste servicing of the site, including details on scale of waste provision based on dwelling number and scales, accessibility to the site, manner of storage and collection.*

2.0 Traffic Comments

2.1 The following comments have been provided by Council's Traffic Consultant:

I refer to the above retirement village development on the subject site. I have previously provided comments on the proposal on 8 August 2016.

I have read the updated traffic report by Tonkin Consulting dated 11 October 2016 and referred to the latest plan, Drawing 312-P-1.1 Rev C 'Master Plan' for my assessment.

I have previously commented that the Council's Development Plan does not specifically require visitor parking for the proposed retirement dwellings. Therefore Stage 1 Dwellings 1 to 17 do not technically require the provision of a visitor parking space. I note that Dwellings 1 and 2 with direct access to Norman Street have provision for visitor parking (dimension length of 5.4m or greater) in front of the garage, which complies with the requirements of the parking standard.

For all other dwellings, except for Dwellings 8 and 9, while the paved areas have a dimensional length of greater than 5.0m (equivalent to a small car dimension in AS/NZS 2890.1-2004) but less than 5.4m, there appears to be sufficient length in front of the garages to allow a B85 design car to fit clear of the roadway. Therefore while not specifically designated as a visitor parking space, the paved area in front of garages would nonetheless be able to accommodate a visitor vehicle if required. If considered as a small car space, the dimensional length would comply with the parking standard.

For Dwellings 8 and 9, I note that 2 external visitor spaces would be provided adjacent to the screened refuse area.

Based on the above, I am satisfied that adequate parking would be provided for the development.

In terms of the parking layout, the previous design issues that I had raised appear to have been mostly addressed.

In terms of refuse collection, conditions restricting refuse trucks to the 6.5m rigid truck size and servicing times to off-peak periods would be required.

In summary, I have no objections to the proposed development, from a traffic and parking perspective, and recommend the following conditions to be included:

- *The proposed car park and parking areas shall be designed to the requirements of AS/NZS 2890.1-2004 and AS/NZS 2890.6-2009.*
- *Refuse collection shall be undertaken using a 6.5m rigid truck.*
- *Refuse collection shall be undertaken during off-peak times.*

ASSESSMENT

The subject land is located within the Residential Zone and more particularly Low Density Policy Area 21 as described in the West Torrens Council Development Plan Consolidated 5 May 2016. The main provisions of the Development Plan which relate to the proposed development are as follows:

<u>General Section</u>		
Crime Prevention	Objectives	1
	Principles of Development Control	1, 2, 3, 5, 6, 7, 8
Design and Appearance	Objectives	1, 2
	Principles of Development Control	1, 2, 3, 4, 5, 9, 10, 12, 13, 14, 15, 20, 21, 22, 23, 26
Energy Efficiency	Objectives	1
	Principles of Development Control	1, 2, 3
Landscaping, Fences and Walls	Objectives	1, 2
	Principles of Development Control	1, 2, 3, 4, 6
Medium and High Rise Development (3 or more Storeys)	Objectives	1, 2, 4
	Principles of Development Control	1, 2, 3, 4, 5, 6, 8, 9, 12, 13
Natural Resources	Objectives	1, 5, 6, 7,
	Principles of Development Control	1, 2, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14
Orderly and Sustainable Development	Objectives	1, 2, 3, 4 & 5
	Principles of Development Control	1, 2, 3, 5
Residential Development	Objectives	1, 2, 3, 4 & 5
	Principles of Development Control	1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 27, 28, 29, 30, 31
Supported Accommodation, Housing for Aged Persons and People with Disabilities	Objectives	1
	Principles of Development Control	1, 2, 3, 4
Transportation and Access	Objectives	2
	Principles of Development Control	2, 4, 5, 8, 9, 10, 11, 14, 16, 17, 23, 24, 26, 30, 31, 32, 34, 35, 36, 37, 39, 40, 41, 42, 43, 44, 45, 46, 47

Zone: Residential Zone	
Desired Character Statement:	
<p><i>This zone will contain predominantly residential development. There may also be some small-scale non-residential activities such as offices, shops, consulting rooms and educational establishments in certain locations. Non-residential activities will be complementary to surrounding dwellings.</i></p> <p><i>Allotments will be at very low, low and medium densities to provide a diversity of housing options in different parts of the zone. The range of allotment sizes will support the desired dwelling types anticipated in each policy area, and the minimum allotment sizes shall be treated as such in order to achieve the Desired Character for each policy area and, in turn, reinforce distinction between policy areas. Row dwellings and residential flat buildings will be common near centres and in policy areas where the desired density is higher, in contrast to the predominance of detached dwellings in policy areas where the distinct established character is identified for protection and enhancement. There will also be potential for semi-detached dwellings and group dwellings in other policy areas.</i></p> <p><i>Residential development in the form of a multiple dwelling, residential flat building or group dwelling will not be undertaken in a Historic Conservation Area.</i></p> <p><i>Landscaping will be provided throughout the zone to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.</i></p>	
Objectives	<p><i>1 A residential zone comprising a range of dwelling types, including a minimum of 15 per cent affordable housing.</i></p> <p><i>2 Dwellings of various types at very low, low and medium densities.</i></p> <p><i>3 Increased dwelling densities in close proximity to centres, public transport routes and public open spaces.</i></p> <p><i>4 Development that contributes to the desired character of the zone</i></p>
Principles of Development Control	1, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14

Policy Area: Low Density Policy Area 21	
Desired Character Statement:	
<p><i>This policy area will have a low density character. In order to preserve this, development will predominantly involve the replacement of detached dwellings with the same (or buildings in the form of detached dwellings).</i></p> <p><i>There will be a denser allotment pattern and some alternative dwelling types, such as semi-detached and row dwellings, close to centre zones where it is desirable for more residents to live and take advantage of the variety of facilities focused on centre zones. Battleaxe subdivision will not occur in the policy area to preserve a pattern of rectangular allotments developed with buildings that have a direct street frontage. In the area bounded by Henley Beach Road, Torrens Avenue and the Linear Park, where the consistent allotment pattern is a significant positive feature of the locality, subdivision will reinforce the existing allotment pattern.</i></p> <p><i>Buildings will be up to 2 storeys in height. Garages and carports will be located behind the front façade of buildings. Buildings in the area bounded by Henley Beach Road, Torrens Avenue and the Linear Park will be complementary to existing dwellings through the incorporation of design features such as pitched roofs, eaves and variation in the texture of building materials.</i></p> <p><i>Development will be interspersed with landscaping, particularly behind the main road frontage, to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer. Low and open-style front fencing will contribute to a sense of space between buildings.</i></p>	
Objectives	<i>1 Development that contributes to the desired character of the policy area.</i>
Principles of Development Control	1, 2, 3

QUANTITATIVE ASSESSMENT

The proposal is assessed for consistency with the prescriptive requirements of the Development Plan as outlined in the table below:

DEVELOPMENT PLAN PROVISIONS	STANDARD	ASSESSMENT
AVERAGE SITE AREA Low Density Policy Area 21 PDC 3	420m ² minimum	Approx 203.35m ² (Dwellings 1 – 17 average, does not include internal access road) Does Not Satisfy by 51.6%
SITE FRONTAGE Low Density Policy Area 21 PDC 3	12m	8.2m (Dwellings 1 and 2 each to Norman Street) Does Not Satisfy by 31.7%

STREET SETBACK Residential Zone PDC 8	Primary street Same setback as adjacent dwellings or an average of adjacent dwellings	Adjacent dwelling approx 7m Minimum 2.075m to property boundary Does Not Satisfy 70%
SIDE/REAR SETBACKS Residential Zone: PDC 11	Side Wall height less than 3m: 1m Wall height 3m-6m: 2m Rear Single storey: 3m	Dwelling 1: 1.083m Satisfies Dwelling 3 and 4: 4.39m Satisfies Dwelling 10: 3.5m setback Satisfies
PRIVATE OPEN SPACE General Section Residential Development PDC 19	Dwellings at ground level 24m ² , of which 8 may comprise balconies, roof patios and the like, provided they have a minimum dimension of 2m Minimum dimension 3m (excl balconies) Minimum area 16m ² provided at the rear or side of the dwelling, directly accessible from a habitable room	Dwellings 1 – 17: range from 28.5m ² – 84m ² (average 36.8m ²) Minimum dimension 3.5m Satisfies
LANDSCAPING Landscaping, Fences and Walls PDC 4	10%	Satisfies
CARPARKING SPACES Transportation and Access PDC 34 Table WeTo/2 – Off Street Vehicle Parking Requirements	2 car parking spaces per dwelling, one of which is covered + an additional 0.25 car parking spaces per dwelling. 33.75 car parking spaces required Two single storey semi-detached dwellings	37 provided Does Not Satisfy by 0.75 of a park

	2 car parking spaces per dwelling, one of which is covered. 4 car parking spaces required	
MAXIMUM NUMBER OF STOREYS Residential Zone PDC 6	2 storeys	1 storey Satisfies

QUALITATIVE ASSESSMENT

In assessing the merits or otherwise of the application, the proposed development substantially satisfies the relevant Development Plan provisions with the exception of where identified in the above table, and the following, as discussed under the following sub headings:

Land Use and Zoning

PDC 5 of the Residential Zone states that development should not be undertaken unless it is consistent with the desired character for the zone and policy area. Objective 1 of the Low Density Policy Area 21 is that development contributes to the desired character of the policy area.

The policy area envisages a low density character with new development predominantly replacing detached dwellings with the same. Alternative dwelling types such as semi-detached dwellings are encouraged close to centre zones. The desired character also envisages buildings up to two storeys in height.

The proposed development in the form of, single storey residential flat buildings, group dwellings and semi-detached dwellings located in excess of 400 metres of an existing centre zone, are not specifically envisaged in the Low Density Policy Area 21 (Desired Character, PDC 1).

Site Area

The average site area for proposed Dwellings 1 – 17 is approximately 203m². Low Density Policy Area 21 requires a minimum site area of 420m² for semi-detached dwellings and residential flat buildings not within 400 metres of a centre zone (PDC 3).

The applicant, through their agents, has suggested that being a proposal for a retirement village, the standard density requirements for dwellings in the Policy Area do not apply, and in particular they have cited the following developments:

Development Application	Address	Average Site Area
211/882/2013	30-34 Marshall Tce, Brooklyn Park	145.8m ²
211/1055/2013	7 Gertrude Street, Brooklyn Park	182m ² or 209m ²
211/1148/2014	39-45 Lipsett Tce, 2-4 Hazel St & 23 Anna St, Brooklyn Park	326m ²
211/476/2015	452 Henley Beach Road, Lockleys (Stage 1)	312m ²
211/1576/2016 – subject proposal	189-195 Holbrooks Road, Underdale	282.2m ²

Whilst it is not necessary to refer to other developments outside of the locality with regard to this assessment, addressing the applicant's suggestion may assist in demonstrating why this proposal is deemed out of character.

211/882/2013 is in Policy Area 20, which seeks a minimum of 340m², the average site area approved for these dwellings is 200m², 41% under the minimum, and the character of the locality already exhibited a considerable number of residential developments of similar allotment sizes.

211/1055/2013 is in Policy Area 20, and within 400m of a Centre Zone, this locality seeks a minimum of 300m², the average site area approved for these dwellings is 200m² 33% under the minimum, and the character of the locality already exhibited a considerable number of residential developments of similar allotment sizes or smaller.

211/1148/2015 is in Policy Area 20, which seeks a minimum of 340m², the average site area approved for these dwellings is 326m², 4% under the minimum, and is well with the character of the locality that already exhibited a considerable number of residential developments of similar or smaller allotment sizes.

211/476/2015 is in Policy Area 20, and within 400m of a Centre Zone, this locality seeks a minimum of 300m², the average site area approved for these dwellings is 312m² 4% above the minimum.

The proposed development seeks average dwelling site areas of 203m² which is 51.6% below the minimum sought by the Development Plan for this site, even in reference to the applicant's own examples, the proposed site areas are at a very large deviation from the minimums set by the Development Plan and a review of dwelling site areas in the locality suggests that site areas of the proposed site will be out of character.

This departure from the minimum site area makes it difficult for the proposed development to meet the key quantitative provisions of the Development Plan such as front setbacks and frontage widths as summarised above.

Frontage Width

PDC 3 of the Policy Area seeks a minimum site frontage width of 12 metres, the proposed site frontage width for the two dwellings facing Norman Street is 8.2 metres. Whilst the frontage width of the sites along this portion of Norman Street are quite diverse, all existing frontage widths exceed the minimum of 12 metres and therefore this disparity with the Development Plan and the streetscape character is listed as a reason for refusal.

Street Setback

PDC 8 of the Residential Zone seeks new development to be setback at least the average setback of adjacent buildings. The existing dwelling to the west of the subject land has setback of approximately 6 metres. The adjacent dwelling to the east is setback approximately 9.3 metres. The proposed semi-detached dwellings facing Norman Street will be setback a minimum of 3.044 metres from the Norman Street property boundary. Despite this insufficiency, it is relevant to note that proposed Dwelling 3 will have its side wall only 3 metres from the Norman Street frontage and the dwelling at 197 Holbrooks Road has a garage situated abutting the Norman Street boundary. Given these factors the lack in front setback for Dwellings 1 and 2 is not listed as a reason for refusal.

Carparking Provisions

"Development should provide off-street vehicle parking and specifically marked disabled car parking places to meet anticipated demand in accordance with Table WeTo/2 - Off Street Vehicle Parking Requirements." (General section, Transportation and Access, PDC 34)

Vehicle Parking for Residential Development

- 44 *On-site vehicle parking should be provided having regard to:*
- (a) the number, nature and size of proposed dwellings*
 - (b) proximity to centre facilities, public and community transport within walking distance of the dwellings*
 - (c) the anticipated mobility and transport requirements of the likely occupants, particularly groups such as aged persons.*
- 45 *Vehicle parking areas servicing more than one dwelling should be of a size and location to:*
- (a) serve users, including pedestrians, cyclists and motorists, efficiently, conveniently and safely*
 - (b) provide adequate space for vehicles, including emergency service vehicles, to manoeuvre between the street and the parking area*
 - (c) reinforce or contribute to attractive streetscapes.*

Table WeTo/2 – Off Street Vehicle Parking Requirements for residential flat buildings, group dwellings and semi-detached dwellings requires a total of 37.75 car spaces to be provided on site. 37 spaces are proposed.

The applicant's traffic consultants have assessed the car parking requirement based on the requirement in Table WeTo/2 for aged care retirement homes to provide 1 car parking space per unit, this is not supported as whilst the site is listed as being a retirement village, there is no evidence that "aged care" is being provided. Despite this the 0.75 shortfall in car parking spaces is not seen as sufficiently detrimental to the proposal to be raised as a reason for refusal.

Waste Collection

It is not feasible to expect that all 17 proposed dwellings could take advantage of Council's regular waste collection service as this would potentially result in 51 bins being placed on the Norman Street footpath on waste collection day. Given this, the applicant has proposed a private on site waste management system.

The applicant's traffic consultants support the development overall from a traffic perspective, subject to:

- garbage collection operation being restricted to off-peak times
- care should be taken for vehicles entering and exiting the development while the garbage collection is occurring.

Council's staff retain some questions with regard to how the waste collection system will be managed particularly as the truck maneuverability area is also the site's visitor parking area but should the Panel be of a mind to support the overall proposal, it is recommended that waste management be listed as a Reserved Matter.

SUMMARY

The most notable and critical departure between the proposed development and the provisions of the Development Plan relates the proposed site areas for the dwellings as they will not contribute to or satisfy the desired character of the Low Density Policy Area 21, in that a density of nearly double the cited maximum has been proposed.

Having considered all the relevant Objectives and Principles of the Development Plan, it has been determined that whilst the proposal is not seriously at variance with the provisions at the Development Plan on balance, the proposed development does not sufficiently accord with the relevant provisions contained within the West Torrens Council Development Plan Consolidated 5 May 2016 and does not warrant Development Plan Consent.

On balance, the proposed development does not sufficiently accord with the relevant provisions contained within the West Torrens Council Development Plan Consolidated 5 May 2016 and does not warrant Development Plan Consent.

Attachments**1. Plans and Associated Reports**

TOTAL SITE AREA : 5.767 SQM APPROX.

COMMUNITY CENTRE : NUMBER 17	100.0	1
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41. 50 : 80000 : 100000 :: 100 : 100000

LIFE COVERAGE: 34.50%

ENTRANCE	CHARTERED	ENTRANCE	REDFOOD	STUDENT / SITTING	AREA / TMS / SOM	PRIVATE / TMS / PRIVATE / TMS
1	1	A1	2	1	124.3	25
2	2	A1	2	1	124.3	32
3	3	B1	1	1	124.3	34
4	4	B2	1	1	124.3	34.5
5	5	B2	1	1	124.3	34.5
6	6	B1	1	1	124.3	34
7	7	A2	2	1	131.6	35
8	8	A2	2	1	131.6	37
9	9	A3	2	1	135.0	36
10	10	A1	2	1	124.3	32
11	11	A1	2	1	124.3	32
12	12	B1	1	1	125.0	33.5
13	13	B1	1	1	125.0	34
14	14	B1	1	1	125.0	34
15	15	B1	1	1	125.0	28.5
16	16	B1	2	1	133.0	31
17	17	COMMUNITY CENTRE				
TOTAL						399.30
AVERAGE PRIVATE VARD AREA PERSONNELING						36.8 SQM
COMMUNITY CENTRE - NUMBER 17						31
						125.0



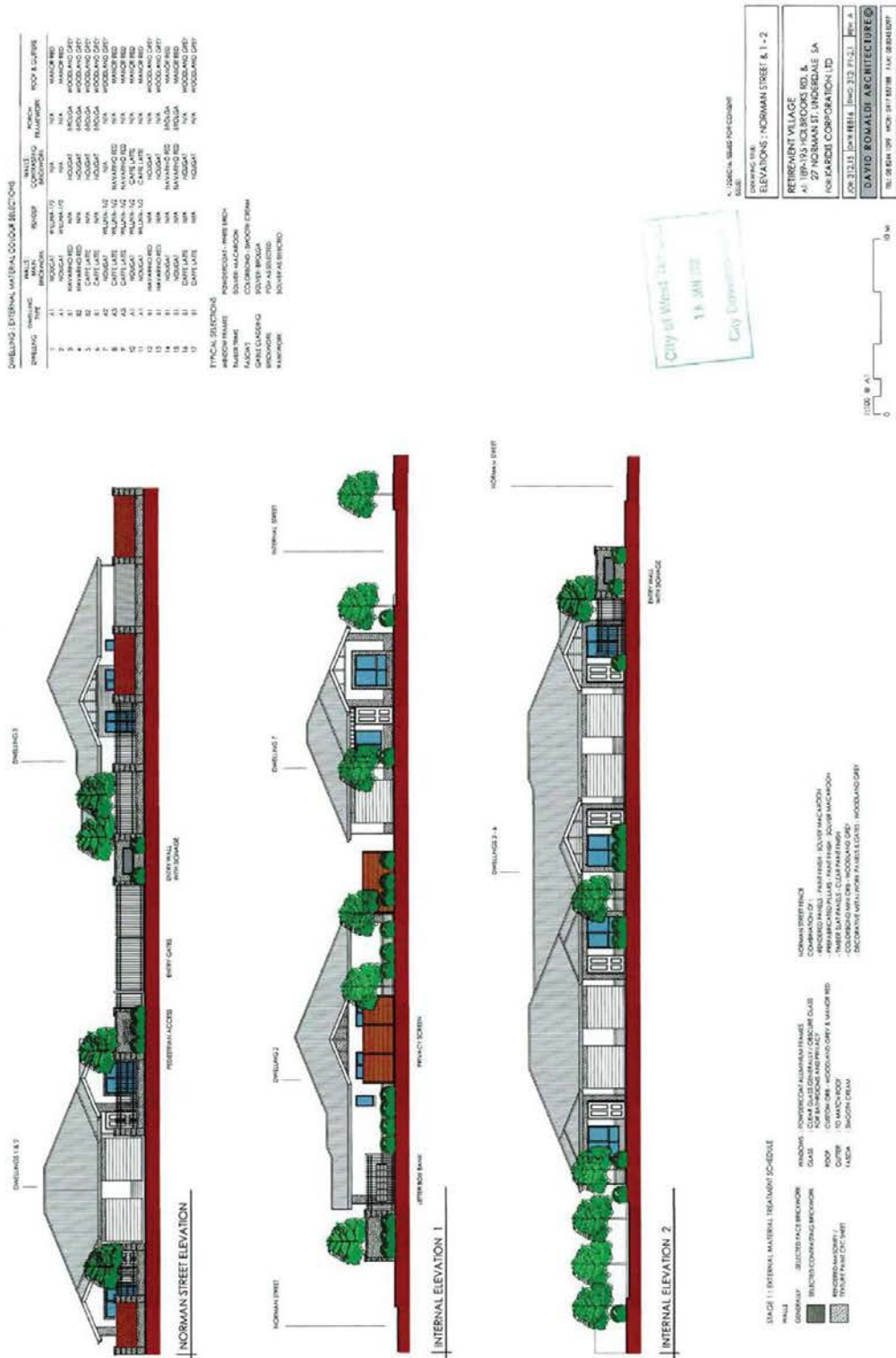
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 BOUNDARY PLANS & AREA STATEMENTS
 RETIREMENT VILLAGE
 AT 1895-195 HOBBOCK RD. &
 27 NORMAN ST. UNDERLIE SA
 FOR KARLOS CORPORATION LTD
 JOB 312.11 DATE FEB. 16, 2002 312.11.10 JEFF A.
 DAVID RONALDI ARCHITECTURE ©
 TEL: (902) 441-0099 FAX: (902) 441-0001
 TEL: (902) 441-0001 FAX: (902) 441-0001

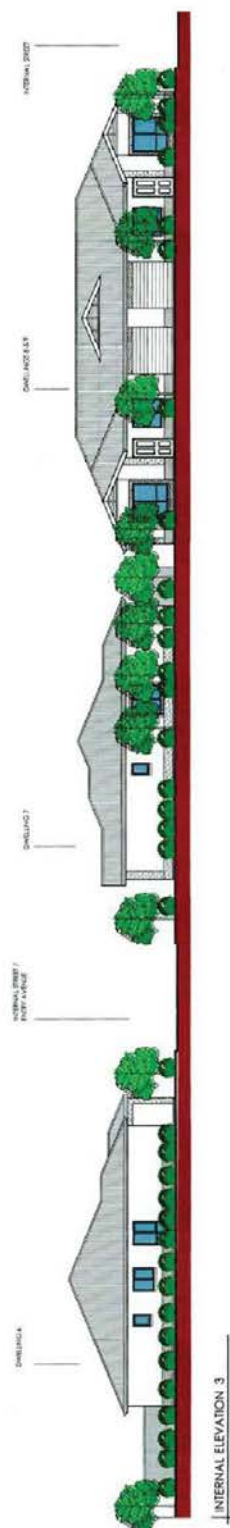




Item 6.3- Attachment 1

Development Assessment Panel





INTERNAL ELEVATION 4

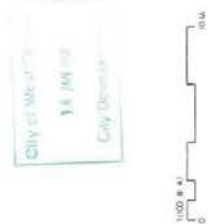
FILLING / INTERNAL MATERIAL		CORES / BLOCKS		WALLS / COINTEGRATING MATERIALS		TOO / CEMENT	
TYPE	SIZE	TYPE	SIZE	TYPE	SIZE	TYPE	SIZE
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2	1/2"	2	1/2"	2	1/2"	2	1/2"
3	1/2"	3	1/2"	3	1/2"	3	1/2"
4	1/2"	4	1/2"	4	1/2"	4	1/2"
5	1/2"	5	1/2"	5	1/2"	5	1/2"
6	1/2"	6	1/2"	6	1/2"	6	1/2"
7	1/2"	7	1/2"	7	1/2"	7	1/2"
8	1/2"	8	1/2"	8	1/2"	8	1/2"
9	1/2"	9	1/2"	9	1/2"	9	1/2"
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12	1/2"	12	1/2"	12	1/2"	12	1/2"
13	1/2"	13	1/2"	13	1/2"	13	1/2"
14	1/2"	14	1/2"	14	1/2"	14	1/2"
15	1/2"	15	1/2"	15	1/2"	15	1/2"
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42	1/2"	42	1/2"	42	1/2"	42	1/2"
43	1/2"	43	1/2"	43	1/2"	43	1/2"
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TYPICAL SOLUTIONS

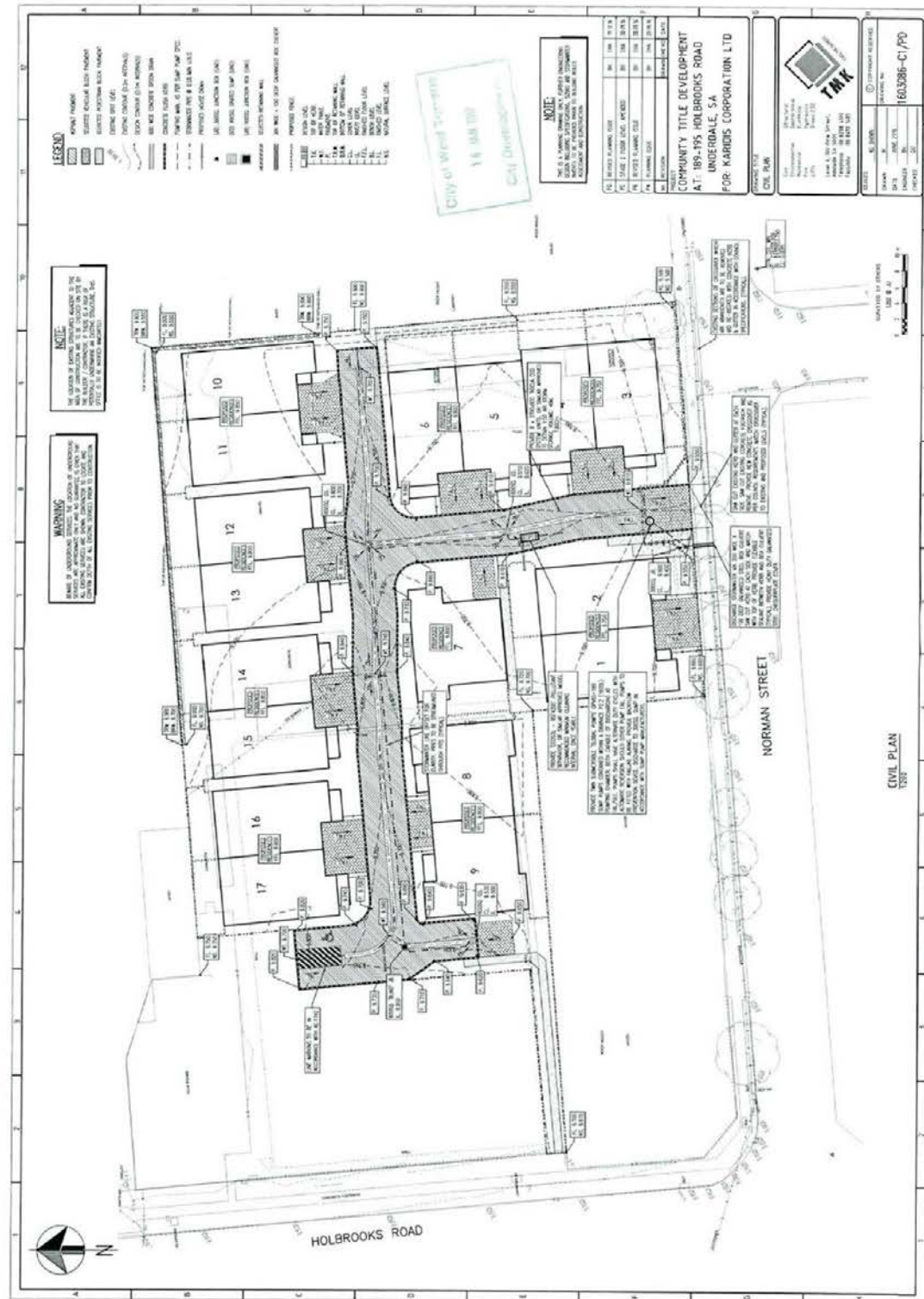
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INTER TRAIL	SILVER MACHOON
SLICKS	COLORADO - BACCHUS-CREAM
LAKE CLADDING	SILVER MOLA
POCKWOL	POW AS SELECTED
MOONM	SILVER AS SELECTED

	ENCASED MASONRY / TEXTURE PAINT (C-380)	
	SUBJECT CONTRACTING MASONRY	
GENERALITY	SUBJECT FACE BRICKWORK	
WALLS		
		WINDOWS GLASS
		DOOR CHUTE FASCIA

POWERGLAZ ALUMINUM FRAMES
CLEAR GLASS, ESSENTIAL / OREORE GLASS
FOR BATHROOMS AND ENTRY
CUSTOM ORS - WOODLAND GRAY & MAISON
100 MAISON ROOM
SMOOTH CREAM

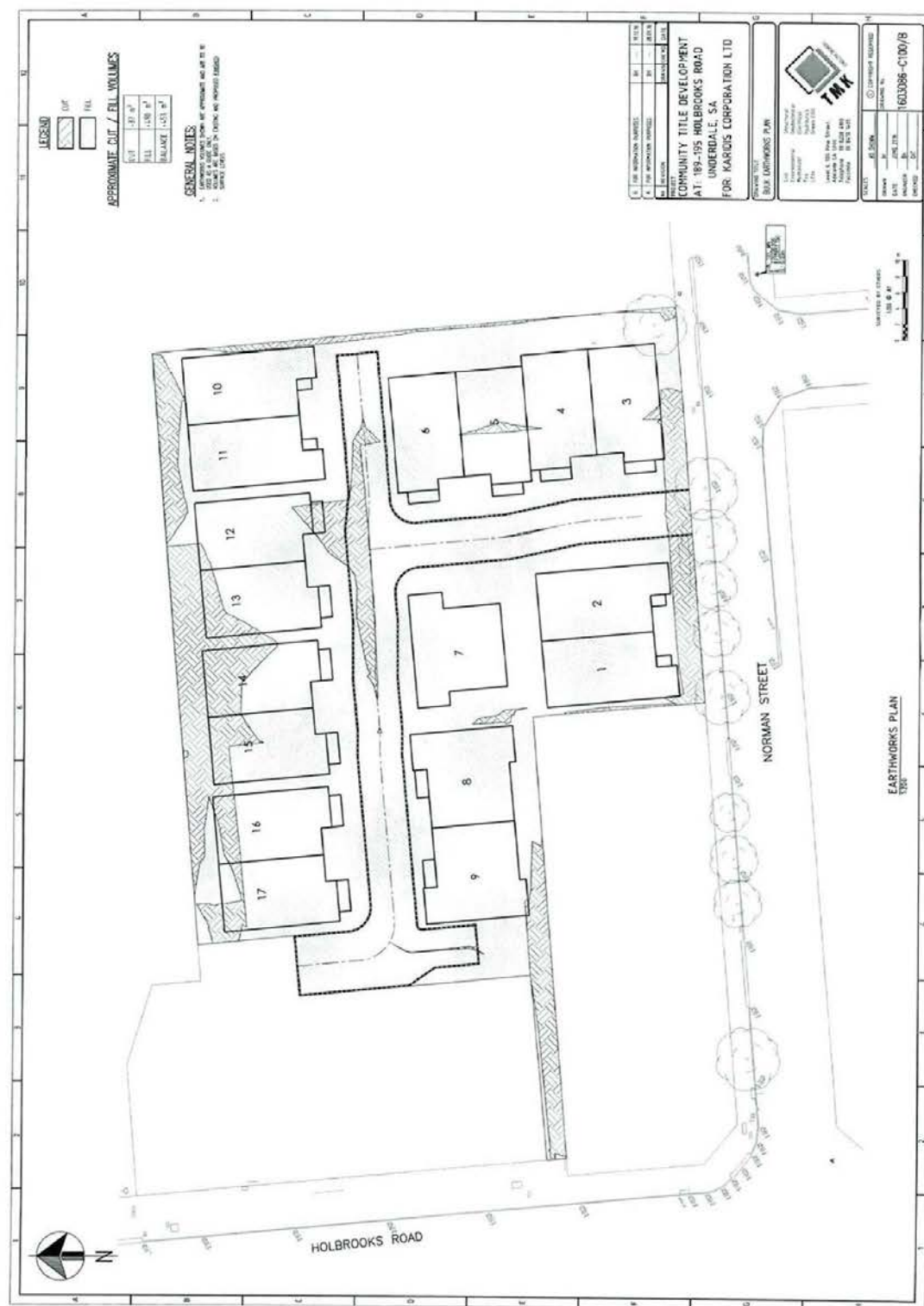






Item 6.3- Attachment 1

Development Assessment Panel



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14 March 2017



HOUSING FOR THE AGED

189-195 HOLBROOKS ROAD &
27 NORMAN STREET, UNDERDALE

PLANNING STATEMENT

Prepared for:
Karidis Corporation Ltd

Date:
19.12.2015



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Revision	Description	Author	Date
V1	Planning Statement – Stage 1	CGV	19/02/16

19/12/16 DR

REF 0072-4-Holbrooks | 19 December 2016





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1. INTRODUCTION

This planning statement has been prepared in support of a development that will accommodate housing for the aged at 189-195 Holbrooks Road and 27 Norman Street, Underdale, otherwise known as the Underdale Bowling Club.

The housing for the aged development is to be constructed on a substantial site within the context of Underdale being approximately 5,767 square metres in area. The actual development site area comprises 4,515 square metres in area with the balance of the land forming a future development site and separate development application to Council.

The site is situated in the Residential Zone and more specifically within Policy Area 21 of the City of West Torrens Development Plan (consolidated 5 May 2016). The developer of the proposal, Karidis Corporation, has proven experience in the procurement, ownership, development, management and marketing of a range of significant aged care housing projects throughout metropolitan Adelaide, including the City of West Torrens, ensuring confidence in the delivery of quality and affordable housing for ageing communities.

Recognising the growing ageing population in the City of West Torrens, Karidis Corporation has commenced a roll out of three aged care housing developments within the Council area. This proposal represents the fifth stage of the roll-out bringing the total investment made by Karidis Corporation to over \$90M.

Karidis Corporation strongly believes that the development of high quality affordable aged care housing is necessary and desirable in this location. The development not only responds to the ageing profile of West Torrens but also achieves the key policy objectives of the 30-Year Plan for Greater Adelaide particularly those which seek higher residential densities in close proximity to public transport, services and facilities, affordable forms of housing, the achievement of a sense of place and integrated communities and environmental sustainability.

There is a limited supply of housing for the aged within the City of West Torrens and particularly within Underdale and the surrounding suburbs, primarily due to the established nature of the locality and the lack of large under-utilised or vacant allotments to support such development. The lack of compact, low maintenance housing forms in the area also limits the supply of smaller and affordable aged care housing options.



2. PROPOSAL

The proposed development involves the construction of four single storey residential flat buildings containing two dwellings each, one single storey residential flat building containing four dwellings, one single storey group dwelling, two single storey semi-detached dwellings and one single storey building containing one dwelling and a community centre (overall total of 16 dwellings) all for the purposes of housing and supporting the aged.

The development is single storey in form. Five different dwelling housing types are proposed in one bedroom plus study and two bedroom plus study configurations.

Each ground level dwelling is provided with a covered car space and a second uncovered car space in front of the garage that could be used for residential and/or visitor car parking. A further two visitor car spaces (including one for people with disabilities) is proposed to at the western end of the common driveway together with a screened refuse area.

All dwellings are accessed via a common driveway off Norman Street with the exception of the two semi-detached dwellings which will each have independent access off Norman Street.

Each dwelling is provided with private open space in the form of a ground level courtyard. Private open space for ground level dwellings ranges between 28.5 square metres and 84 square metres.

All single storey buildings incorporate a pitched Colorbond roof (Woodland Grey and Manor Red), brickwork and rendered walls, aluminium window frames and roller doors to the garages. The semi-detached dwellings are setback 1.1m from the western common boundary and 3m from Norman Street. The adjacent single storey residential flat building is setback 4.4m from the eastern common boundary and 3m (side wall) from Norman Street. Dwellings along the northern side of the common driveway are setback 3.5m from the northern common boundary and 1m from the eastern common boundary. Dwellings along the southern side of the common driveway are setback between 2.3m and 3m from the southern boundary.

Landscaping is proposed throughout the development site with the details of trees and species to be used identified on the site plan. The internal common access way is proposed to be bitumen and all pedestrian paths and driveways will be paved in accordance with the treatments identified on the site plan.

The Norman Street frontage will be provided with 1.8m high masonry pillar and decorative metal infill fencing together with automatic access gates.



3. SITE AND LOCALITY

The subject site is located on the eastern side of Holbrooks Road between Golden Glow Avenue to the north and Norman Street to the south. The site has a frontage to Holbrooks Road of 53.31m, a frontage to Norman Street of 49m and an overall site area of approximately 5,767 square metres.

The site comprises three allotments, legally identified as:

- Allotment 12 in Certificate of Title Volume 5819, Folio, 446;
- Allotment 11 in Certificate of Title Volume 5729 Folio 90; and
- Allotment 10 in Certificate of Title Volume 5704 Folio 579.

Figure 3.1 Subject site



The site has been used by the Underdale Bowling Club and comprises clubrooms, shedding, bowling greens and car parking areas. Access to the site is provided via Norman Street towards the eastern common boundary directly opposite Fernleigh Street.

The locality comprises a mix of land uses and dwelling types. Commercial development adjoins the site to the north however to the east, south and west the locality comprises residential development. Dwellings in the locality are predominantly single storey representative of a range of eras dating from the 1930's to recently developed stock including two storey residential flat buildings just south of the subject site. A further single storey residential flat building exists on the opposite side of Holbrooks Road.

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Bus stops are situated within 200m of the subject site (both sides of Holbrooks Road). Additional bus stops and retail land uses (including small supermarket) and a doctors surgery are located at the Holbrooks Road/Henley Beach Road intersection within 400m of the subject site. The retail land uses on the southern side of the Henley Beach Road are contained within the Urban Corridor Zone.

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4. CITY OF WEST TORRENS COMMUNITY PROFILE

The Community Profile provides population characteristics for the City of West Torrens. It shows how they have changed over time and how they compare to other areas. The most recent data set is associated with the 2011 Census.

Household and family structure is one of the most important demographic indicators. It reveals the area's residential role and function, era of settlement and provides key insights into the level of demand for services and facilities as most are related to age and household types.

Analysis of households without children in the City of West Torrens in 2011 indicates that there is a larger proportion of older lone person households (65 years +) when compared to Greater Adelaide. In fact, in the City of West Torrens, older couples without children account for 9% of total households. Furthermore, the middle aged lone person households (45-64 years) grew by 156 persons.

Analysis of household/family types indicates that there were a higher proportion of lone person households and a lower proportion of couples without children. Overall, the proportion of lone person households was 32.1% compared to 26.7% in Greater Adelaide while the proportion of couples without children was 24.2% compared to 25.5% in Greater Adelaide.

The analysis of households without children and family types clearly indicate that the population of the City of West Torrens is ageing with growth experienced in the older age cohorts.

With this in mind it also interesting to look at the level and type of migration in the City of West Torrens to determine whether the population is sedentary and likely to be in the area for a long time (and perhaps have significant ties to the community), or transient, and likely to move on. Furthermore, the age structure of people who move into and out of the City of West Torrens can strongly influence demand for particular services. Understanding the City of West Torrens' attraction to different age groups helps to plan services for the community to provide facilities which may help to retain age groups which are otherwise leaving the area.

Analysis of the 65 years and over age group indicates net migration of -178 people. Analysis of the preceding cohorts (i.e. 35-44, 45-54 and 55-64 age groups) also indicates negative net migration (i.e. total of -914 people). While the population of the City of West Torrens is ageing and experiencing growth in the older age cohorts, it is also experiencing substantial outmigration in these older age cohorts which may imply there is a lack of compact, low maintenance housing forms within the Council area for aged persons.

While there has been growth in the provision of medium density housing options across the Council area, the form and type of this particular housing has targeted, or appealed to, the younger age cohorts. Analysis of the 18-24 age cohort in particular indicates in-migration of 2179 people resulting in a net migration of +1080 people within this cohort.

The proportion of people providing unpaid care can also be an important indicator of the level of demand for aged care services and facilities. An increasing proportion of carers among the population may indicate inadequate aged care provision. Overall, 11.1% of the population provided unpaid care with the number of people providing such unpaid assistance increasing by 466 people between 2006 and 2011.

In the City of West Torrens there are 5,205 carers providing unpaid assistance to a person with a disability, long term illness or old age.

In addition, 5.7% of the overall population needed assistance with core activities. The major difference in the age groups reporting a need for assistance between 2006 and 2011 in the City of West Torrens was in the 85 year and over age group which grew by 177 people.

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Respecting the above, it is clear that the City of West Torrens requires aged care housing, and indeed a variety of aged care housing with various levels of care, to support and retain the older age groups within the Council area.

The City West Torrens' Towards 2025 Community Plan also identifies the ageing population a 'future challenge.....which will increase demand for support and care services'.

The Karidis Corporation presents an unprecedented opportunity to deliver a large proportion of housing for the aged within the inner Western Adelaide Region that will provide housing options to the elderly that are currently lacking.

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5. DEVELOPMENT PLAN ASSESSMENT

5.1 Relevant Development Plan Provisions

Upon our review of the Development Plan (consolidated 5 May 2016) we consider the provisions identified below most relevant in the assessment of this application.

GENERAL SECTION

Crime Prevention

Objective: 1 PDC: 1-8, 10

Design and Appearance

Objective: 1, 2 PDC: 1-5, 9-15, 21-23

Energy Efficiency

Objective: 1, 2 PDC: 1, 2

Landscaping, Fences and Walls

Objective: 1, 2 PDC: 1-4, 6

Natural Resources

Objective: 7 PDC: 5, 7-11

Orderly and Sustainable Development

Objective: 1-5 PDC: 1, 3, 5, 7

Residential Development

Objective: 1-3, 5 PDC: 4-16, 18-28

Supported Accommodation, Housing for Aged Persons and People with Disabilities

Objective: 1 PDC: 1-6

Transportation and Access

Objective: 2 PDC: 8, 14, 16, 23, 24, 32, 34, 35, 43, 44, 46

RESIDENTIAL ZONE

Objective: 2-4 PDC: 1, 6, 8-11, 18, 20, 21

RESIDENTIAL POLICY AREA 21

Objective: 1 PDC: 1, 2, 4



In our opinion, it is important to recognise that not all the identified provisions strictly apply to housing for the aged. For example, the provisions provided under the theme *'Supported Accommodation, Housing for Aged Persons and People with Disabilities'* should prevail and take precedence over the *'Residential Development'* provisions where inconsistencies exist.

This is not inappropriate given that an intentional and deliberate approach adopted by the Better Development Plan Policy Library is to better recognise the functional and operational differences between traditional residential forms and housing that is designed specifically for aged persons. We have not ruled out the importance of the *'Residential Development'* provisions rather we have used them as a reference to guide and assist in the assessment of the application, where necessary.

Having reviewed the proposal against the abovementioned provisions we believe that the proposal satisfies the majority of the relevant provisions with further discussion and assessment required in relation to the following matters:

- Density;
- Height and scale;
- Setbacks;
- Private open space;
- Housing for aged persons;
- Zone and Policy Area

It is to each of these matters that we now turn.

5.2 Density

The proposed development is located in Low Density Policy Area 21 of the Residential Zone. We note that there is no density guideline for the type of residential development proposed. In the absence of any density guideline we believe it is appropriate to assess the proposal in the context of its use and other provisions that influence density and how the proposal may sit and relate to its context. Notwithstanding, the average site area of the development is 282.2 square metres which in our view will not present any detrimental impacts upon the character or amenity of the locality and its specific purpose in providing housing for the aged for the following reasons:

- increased dwelling densities in close proximity to public transport routes (i.e. Henley Beach Road) is specifically envisaged within the Residential Zone (Objective 3);
- the buildings have been appropriately sited on the site so as to minimise visual and overshadowing impacts upon adjacent residential properties substantially conforming to Residential Zone PDC 11;
- substantial landscaping is proposed throughout the single storey development softening any visual impact the development may have upon the locality in accordance with Landscaping, Fences and Walls PDC 1(a);
- the development provides a car space for every dwelling in accordance with Table WeTo/2 – Off Street Vehicle Parking Requirements. While there is no specific requirement to provide visitor car parking, the proposal provides accessible visitor spaces for all dwellings;
- the development is provided with a community centre accessible to all residents in accordance with Supported Accommodation, Housing for Aged Persons and People with Disabilities PDC 2;

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- the development provides for safe and compliant vehicular access, on-site manoeuvring and waste collection achieving Supported Accommodation, Housing for Aged Persons and People with Disabilities PDC 3;
- the development appropriately plans for the projected increase in the number and proportion of elderly people, responding to their preference to remain living in their existing community in accordance with Supported Accommodation, Housing for Aged Persons and People with Disabilities Objective 1.

In addition to the above, we have calculated that the development provides a site coverage of only 46.7%. We also note that the subject site is situated within 200m of bus stops either side of Holbrooks Road. Additional bus stops and retail land uses (including small supermarket) and a doctors surgery are located at the Holbrooks Road/Henley Beach Road intersection within 400m of the subject site. The retail land uses on the southern side of the Henley Beach Road are contained within the Urban Corridor Zone.

The 30 Year Plan for Greater Adelaide seeks to provide a significant amount of dwelling growth within 400m of transit corridors (e.g. bus route). The proposed development will clearly accommodate population growth but importantly provide a form of housing (that will assist in reversing the outmigration of older people from the City of West Torrens) within close proximity to key bus routes.

The scale and type of housing proposed ensures that the elderly will also have access to smaller housing products that are affordable providing the high proportion of elderly people in the Council area an opportunity to downsize from larger dwellings/allotments to remain living in their existing community (ageing in place).

For all the above reasons, we form the opinion that the density of the proposal is highly appropriate for this particular existing non-residential site along Holbrooks Road.

5.3 Height and scale

The desired character statement of Policy Area 21 envisages buildings up to two storeys in height. The proposal is consistent with the envisaged height limit for the policy area.

We also form the opinion that the proposal provides well designed dwellings that maintain a low scale built form character to the east and south, respecting the lower scale adjacent built form interfaces.

With respect to building height and potential amenity impacts, the proposal will not present any detrimental internal or external impacts. All proposed and surrounding dwellings will receive direct sunlight for three consecutive hours between 9am and 3pm on 21 June.

In addition to the above, the proposed landscaping will soften any visual impact the proposed development may have internally and upon adjacent properties. The proposal will not result in any overlooking.

General Section Design and Appearance PDC 1 encourages buildings to reflect the desired character of the locality while incorporating contemporary designs that have regard to the following:

- building height, mass and proportion;
- external materials, patterns, colours and decorative elements;
- roof form and pitch;



- façade articulation and detailing; and
- verandas, eaves, parapets and window screens.

Residential Development Design and Appearance PDC 4 encourages a building appearance that is compatible with the desired character statement of the relevant zone, policy area or precinct, in terms of built form elements such as:

- building height;
- building mass and proportion;
- external materials, patterns, textures, colours and decorative elements;
- ground floor height above natural ground level;
- roof form and pitch;
- facade articulation and detailing and window and door proportions;
- verandas, eaves and parapets; and
- driveway crossovers, fence style and alignment.

Both provisions speak similar messages with respect to the design and appearance of new buildings. In our opinion, the overall design and appearance of the development contribute to a building height and scale of that is highly appropriate for the site and locality.

5.4 Setbacks

Dwellings proposed along Norman Street are setback 3m from the street (to the front façade of two dwellings or the side wall of one dwelling).

The existing character of front and side setbacks along Norman Street between Fernleigh Street to the east and Holbrooks Road to the west in our view supports the proposed setbacks.

Respecting this, we have formed the opinion that the proposed development satisfies the intent of *General Section Design and Appearance, Building setbacks from road boundaries* PDC 21.

The proposed side and rear setbacks of dwellings to the common boundaries all satisfy the relevant quantitative and qualitative guidelines of the Council Wide section of the Development Plan.

5.5 Private open space

The provisions of the *'Supported Accommodation, Housing for Aged Persons and People with Disabilities'* section of the Development Plan does not stipulate a quantitative guideline for private open space associated with housing for aged persons.

Rather PDC 1(e) encourages such development to be *'provided with.....private open space'* and PDC 2(a) and (b) encourages the design of such development *'to provide safe, secure, attractive, convenient and comfortable living conditions for residents that include internal....private spaces'* and *'useable recreation areas for residents and visitors, including visiting children'*.

In our opinion, this would be an appropriate circumstance to refer to the private open space provisions of the *'Residential Development'* provisions for guidance to assist in understanding what an appropriate level of private open space may be in this instance.



PDC 19 recommends a minimum private open space area of 24 square metres and a minimum dimension of 3 metres for dwellings with a site area less than 300 square metres.

Each dwelling is provided with private open space in the form of a ground level rear courtyard. Private open space for ground level dwellings ranges between 28.5 square metres and 84 square metres thus satisfying PDC 19. In addition, it is also important to recognise that all dwellings will have access to the community centre.

Respecting this, we are satisfied that the areas of private and communal open space will be sufficient to meet the needs of the elderly occupants and their visitors.

5.6 Housing for aged persons

With respect to those relevant provisions relating to *'Supported Accommodation, Housing for Aged Persons and People with Disabilities'* which have not been already referred to, we note that the proposal:

- will provide accommodation that is in increasing demand for a growing sector of the City of West Torrens community and is appropriately located in accordance with Objective 1;
- is within walking distance of public transport that provides ease of access to essential facilities such as convenience shops, health and community services satisfying PDC 1;
- is sited and designed to respect existing residential character and amenity, promote interaction with other sections of the community all in manner that will not compromise privacy achieving PDC 1 and PDC 2;
- is provided with a community centre satisfying PDC 1 and PDC 2;
- provides an access arrangement and driveways that do not have steep gradients; provides convenient access for emergency vehicles, visitors and residents; and, provides adequate space for manoeuvring cars and community buses in accordance with PDC 3;
- provides an internal access road design and layout that will allow convenient access for emergency vehicles, visitors and residents satisfying PDC 3;
- provides accessible, safe and convenient car parking arrangements for both residents and visitors with minimal visual intrusion upon surrounding residential properties achieving PDC 4 and 6; and
- provides street fronting dwellings and balconies to upper level apartments which will provide an interesting and attractive outlook from dwellings and apartments for the residents satisfying PDC 5.

Respecting the above, we have formed the opinion that the proposed development satisfies the relevant provisions for housing for aged persons.

We also note that the proposal strikes a chord with the relevant Residential Development objectives, namely:

- Objective 1 which seeks a safe, convenient, pleasant and healthy-living environment that meets the full range of needs and preferences of the community;
- Objective 2 which encourages an increased mix in the range and number of dwelling types available within urban boundaries to cater for changing demographics, particularly smaller household sizes and supported accommodation;



- Objective 3 which encourages medium and high density residential development in areas close to activity centres, public and community transport; and
- Objective 5 which seeks housing for aged persons provided in appropriate locations.

5.7 Zone and Policy Area

The Residential Zone seeks very low, low and medium densities to provide a diversity of housing options in different parts of the zone. The range of allotment sizes seeks to support the desired dwelling types anticipated in each policy area, and the minimum allotment sizes are stated to be treated as such in order to achieve the Desired Character for each policy area and, in turn, reinforce distinction between policy areas. Residential flat buildings are encouraged near centres and in policy areas where the desired density is higher, in contrast to the predominance of detached dwellings in policy areas where the distinct established character is identified for protection and enhancement. There will also be potential for semi-detached dwellings and group dwellings in other policy areas.

Policy Area 21 seeks a low density character. In order to preserve this, development will predominantly involve the replacement of detached dwellings with the same (or buildings in the form of detached dwellings). A denser allotment pattern and some alternative dwelling types, such as semi-detached close to centre zones is desirable for more residents to live and take advantage of the variety of facilities focused on centre zones.

As previously discussed, no density guideline is provided for the type of housing proposed. However, the subject land is located within 400m of centre land uses (including small supermarket) and a doctor's surgery at the Holbrooks Road/Henley Beach Road intersection.

Recognising that the proposal replaces a non-residential land use, we consider the type of housing and proposed density acceptable in this instance.

The Residential Zone and Policy Area both encourage buildings up to 2 storeys in height and landscaping is envisaged to enhance the appearance of buildings from the street. Our previous discussion in relation to height has dealt with these issues.

Overall, we have formed the opinion that the single storey form at the proposed density is acceptable. The proposal replaces a non-residential land use and provides a range of dwelling types for the purposes of housing the aged.

The subject site is large, underutilised and currently non-residential in nature and will be developed in an efficient and co-ordinated manner to provide a type and range of housing that will cater for changing demographics, particularly smaller household sizes and housing for the aged.

Importantly, the proposal is compatible with adjoining residential development and presents no detrimental visual, overshadowing, privacy and/or traffic impacts.

Accordingly, we believe the proposal is appropriate for the site and locality.

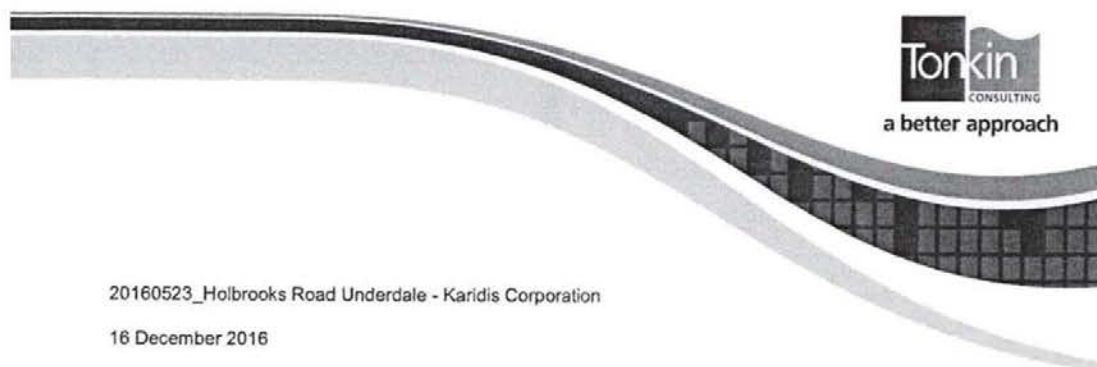


6. CONCLUSION

The proposal will provide high quality affordable aged care housing which responds to the ageing profile of West Torrens. There is a limited supply of housing for the aged within the City of West Torrens and particularly within Underdale and surrounding suburbs, primarily due to the established nature of the locality and the lack of large under-utilised or vacant allotments to support such development. The lack of compact, low maintenance housing forms in the area also limits the supply of smaller and affordable aged care housing options.

The subject site presents an excellent opportunity to redevelop the Underdale Bowling Club for the purpose aged care housing. The proposed height and scale distribution across the site and the overall configuration of the buildings will ensure that surrounding existing residential amenity is maintained to a high level.

In our opinion, the type of development proposed is desired in the Council area and an appropriate redevelopment option for the site. Accordingly, the proposal warrants Development Plan Consent.



20160523_Holbrooks Road Underdale - Karidis Corporation

16 December 2016

Karidis Corporation Limited
49 Angas Street
Adelaide SA 5000

Attention: Mark Booth

Dear Mark

HOLBROOKS ROAD UNDERDALE DEVELOPMENT – TRAFFIC IMPACT STATEMENT

Tonkin Consulting is pleased to provide Karidis Corporation Limited with a Traffic Impact Statement (TIS) regarding the preliminary drawings of a retirement village at the corner of Holbrooks Road and Norman Street at Underdale.

The proposed development will include 16 dwellings and 1 community centre. It is noted the community centre is proposed to eventually become dwelling 17.

Parking Supply

The City of West Torrens Development Plan 'Table WeTo/2 – Off Street Vehicle Parking Requirements' states for a group of dwellings to provide 2 car parking spaces, one of which is covered. Retirement dwellings do not require a visitor parking space; hence one space is sufficient. Each dwelling meets the aforementioned requirements; hence the 16 dwellings and community centre (dwelling 17) comply.

Parking Layout

Each dwelling provides for one covered parking space and one visitor space on site. Of exception are dwellings 8 and 9, that provide visitor parks in the turnaround space at the western end of the site.

Two disabled spaces are provided north of the turnaround area, adjacent to the community centre (in accordance to AS2890.6).

Internal Road Network

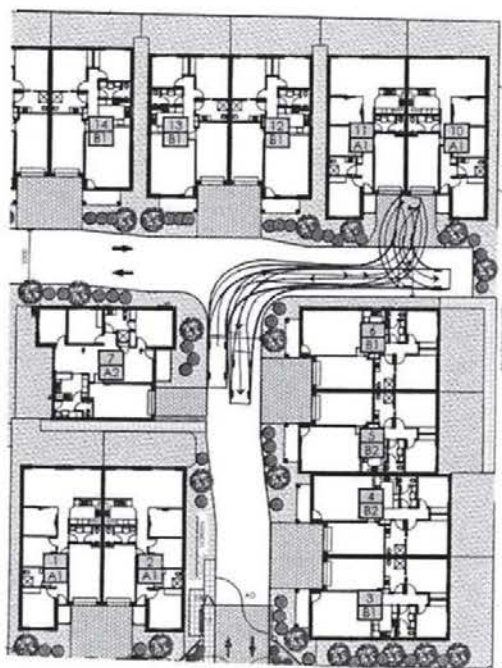
Road widths range from 5m to 5.5m, less than the 5.8m aisle width required for off street parking (AS2890.1:2004). As a result, turning movements of a standard vehicle entering and exiting the 5m wide section of the road network (in front of dwellings 10 and 11) was investigated with the results shown below.

TONKIN CONSULTING ABN 67 606 247 876 ACN 606 247 876. W www.tonkin.com.au

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Development | Environment | Local Government | Mining & Resources | Spatial | Transport | Water

1



Vehicle turning movement entering and exiting dwellings 10 and 11

The turning templates indicate the movements into and out of dwellings 10 and 11 are successful assuming no other vehicles are obstructing the path. Note that the driveways have been splayed to compensate for the narrow road width and to improve manoeuvrability.

Traffic Generation

The NSW Guide to Traffic Generating Developments indicates that Housing for Seniors Living, the generated daily trips are approximately 4 per dwelling, equating to 68 trips per day. Note these rates correspond to two way trips, so this means there are approximately 34 trips leaving and arriving to the development (34 in and 34 out).

Overall the development will generate approximately 68 trips per day, with peak hour trips approximately 10% of this figure, so 7 trips per hour. The impact on the external road network will see most of the generated traffic distributed via Norman Street to Holbrooks Road. This level of traffic is not seen to be an issue in disrupting current traffic flow conditions.



Sight Distance

Austroads Guidelines state for a 50km/h design speed the Approach Sight Distance (ASD) requirement is 48m, and the Safe Intersection Sight Distance (SISD) is 90m. Sight line to the west extends 75m to the Holbrooks Road junction, and sight line to the east extends 90m along Norman Street. As a result, the proposed access point to the development meets sight distance requirements.

Garbage Collection

Through discussions with Karidis a garbage collection arrangement was agreed upon. The truck would drive forward along the internal road then either turn toward the disabled spaces and reverse into the loading bay, or turn forward into the loading bay and reverse back toward the disabled spaces before leaving the development. The garbage truck can either be front or rear loading, hence the following turning movements were assessed.

- **Rear loading:** The truck drives forward along the internal access road, turns right toward the disabled spaces, reverses into the loading bay, then drives forward to exit the development;
- **Front loading:** The truck drives forward along the internal access road, turns left into the loading bay, reverses toward the disabled spaces, then drives forward to exit the development.

The results of the turning movement analysis for a garbage truck can be seen below. It is understood a small truck will be used for garbage collection. The design vehicle used for Autoturn analysis was therefore a 6.5m garbage truck.

Refer to the attached turning templates for the two garbage truck manoeuvres.

The rear and front loading garbage truck movements show the garbage truck has sufficient room to perform both collection maneuvers assessed. The collection process will require the two visitor spaces for dwellings 8 and 9 and the two disabled spaces to be unoccupied.

The truck will need to utilise the opposite side of the access road to enter and exit the development, and also to undertake the left turn into the loading bay. This is not considered an issue due to the low level of traffic generation from the development, and operation of garbage collection restricted to off-peak times.

Pedestrian / Cyclists / Public Transport

Pedestrian access is provided from Holbrooks Road along the western end of the development. Access is also provided from Norman Street adjacent to the proposed access point, with internal pedestrian links within the development.

There is no dedicated cyclist access point or cyclist lock-up within the development, which is not considered essential.

Bus stops are located within walking distance north and south of the development on Holbrooks Road. A convenience store is also located within walking distance at the Holbrooks Road / Henley Beach Road junction.

**Summary**

Overall we think the development can be supported from a traffic perspective, subject to the following.

- Garbage collection operation is restricted to off-peak times;
- The visitor parks for dwellings 8 and 9 and two disabled spaces are unoccupied during garbage collection. This can be achieved using appropriate signage;
- Care should be taken for vehicles entering and exiting the development while the garbage collection is occurring.

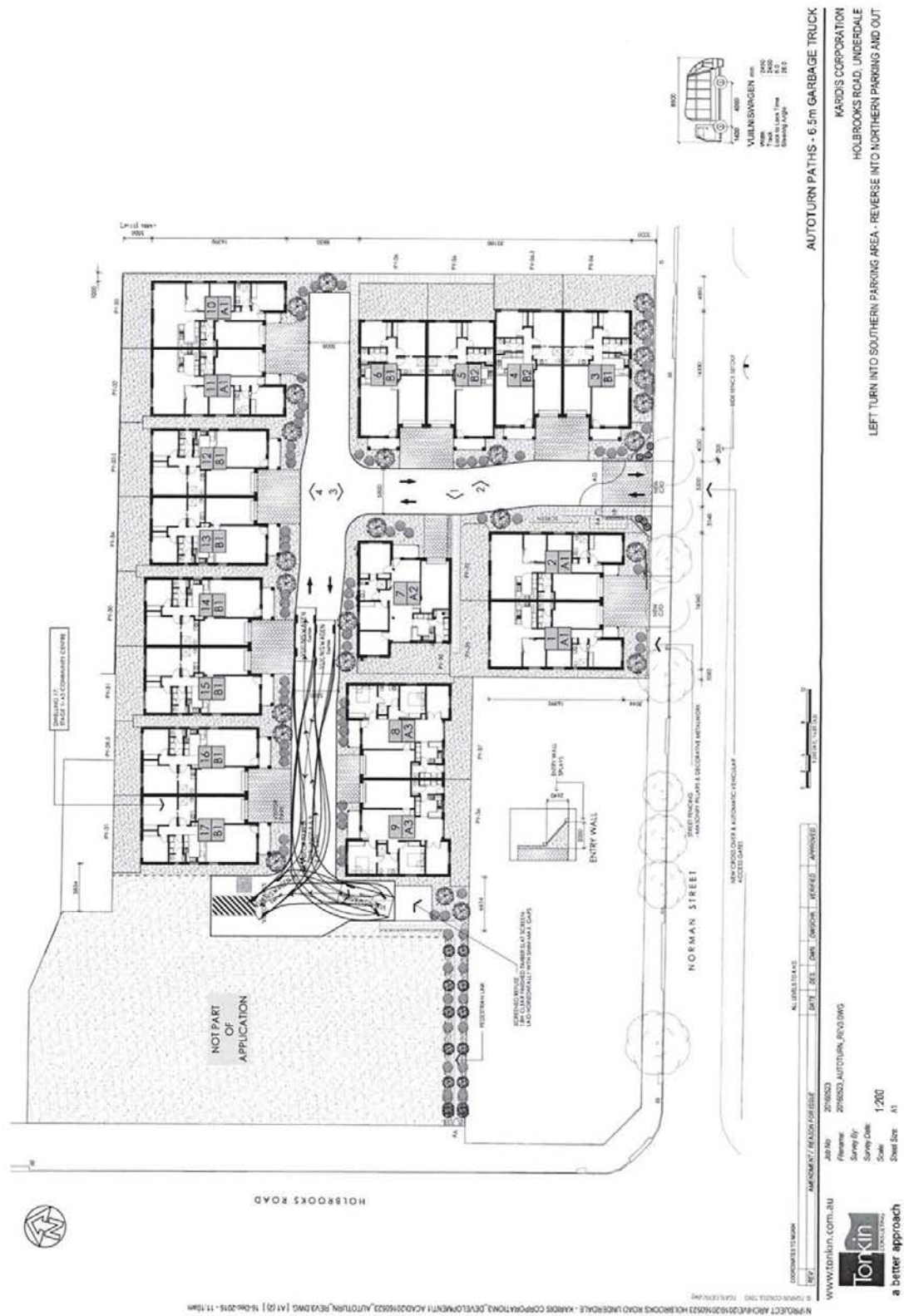
Yours faithfully
TONKIN CONSULTING



PC SIMONS
Senior Project Manager

Development Assessment Panel

[illegible]



REF:0072-5-Holbrooks

1 March 2017

Ms Janine Lennon
Manager, City Development
City of West Torrens
165 Sir Donald Bradman Drive
HILTON SA 5033



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Adelaide SA 5001
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ABN: 34 452 110 398

Dear Janine,

DA/211/1576/2016 AT 189-195 HOLBROOKS ROAD, UNDERDALE

We write in response to your email dated 23 February 2017.

You advised in your email that *"My primary issue is the density with regard to the desired character of the policy area, I could probably support an average of 340sqm per dwelling in this particular location but 210(ish)sqm is too low"*. You also confirmed that *"All other factors appear supportable or at least addressable via condition"*.

The proposed development is located in Low Density Policy Area 21 of the Residential Zone. We note that there is no density guideline for the particular type of residential development proposed. While you have suggested that you could support an average of 340sqm per dwelling we are of the opinion that such a guideline relates to typical residential dwelling types (i.e. detached, semi-detached and row dwellings as identified under PA PDC 3 and 4). We find it curious that supported accommodation is a form of development that is specifically envisaged in the policy area (see PA21 PDC 1) however is not provided with a specific density guideline particularly when occupants of such housing are down-sizing from larger dwellings and allotments.

We refer to Section 4. City of West Torrens Community Profile of our planning statement which accompanied the development application. Our analysis of households without children in the City of West Torrens in 2011 indicated that there is a larger proportion of older lone person households (65 years +) when compared to Greater Adelaide. In fact, in the City of West Torrens, older couples without children account for 9% of total households. Furthermore, middle aged lone person households (45-64 years) grew by 156 persons. Our analysis of household/family types indicated that there were a higher proportion of lone person households and a lower proportion of couples without children. Overall, the proportion of lone person households was 32.1% compared to 26.7% in Greater Adelaide while the proportion of couples without children was 24.2% compared to 25.5% in Greater Adelaide. Our analysis of households without children and family types clearly indicated that the population of the City of West Torrens is ageing with growth experienced in the older age cohorts.

Our analysis of the 65 years and over age group indicated net migration of -178 people. Analysis of the preceding cohorts (i.e. 35-44, 45-54 and 55-64 age groups) also indicated negative net migration (i.e. total of -914 people). While the population of the City of West Torrens is ageing and experiencing growth in the older age cohorts, it is also experiencing substantial outmigration in these older age cohorts which may imply there is a lack of compact, low maintenance housing forms within the Council area for aged persons.

The City of West Torrens Development Assessment Panel ('DAP') has previously considered these issues and the unique characteristics of retirement villages across the council area. In all circumstances known to us, the DAP has approved such retirement villages at densities higher than those which have been identified for the typical dwelling types.

REF 072-5-Holbrooks | 1 March 2017





Many of these retirement villages have involved the Karidis Corporation as identified below:

Table 1 *Approved Karidis Retirement Villages within the City of West Torrens*

Development Application	Address	Average Site Area
211/882/2013	30-34 Marshall Tce, Brooklyn Park	145.8m ²
211/1055/2013	7 Gertrude Street, Brooklyn Park	182m ² or 209m ²
211/1148/2014	39-45 Lipsett Tce, 2-4 Hazel St & 23 Anna St, Brooklyn Park	326m ²
211/476/2015	452 Henley Beach Road, Lockleys (Stage 1)	312m ²
211/1576/2016 – subject proposal	189-195 Holbrooks Road, Underdale	282.2m ²

We are unsure as to how you have calculated the density of the proposed development. We have calculated an average site area of 282.2 square metres (16 retirement units averaged across a site of 4,515 square metres).

In the context of the previous decisions made by the DAP we are of the opinion that the proposed density is acceptable and should with respect be supported.

As you are aware, whether a development comprises low, medium or high density is a matter of planning judgment. There are many other factors that need to be considered when assessing density, including but not limited to site coverage, the number of bedrooms per dwelling, the number of persons per dwelling, the areas of private and communal open space, car parking and traffic and access arrangements. These are all useful indicators of density and whether a proposal achieves the density guidelines, this in itself will not always be decisive in a planning assessment. For example, the small scale and form of each dwelling proposed in this particular application and the type of occupant that will be residing within each dwelling compared to say larger two storey dwellings on 340 square allotments (which are contemplated within the Policy Area) are less likely to result in overlooking, overshadowing or other potential impacts on adjoining land.

In short, there will usually be important qualitative questions to ask about the consequences of proposing a form of development into a residential area that does not strictly achieve minimum quantitative guidelines and particularly those which relate to density. As is demonstrated in this proposal, the proposed density and overall single storey form of the dwellings is compatible with adjoining residential development and the character of the locality.

Should you require further information please do not hesitate to contact our office.

Yours sincerely

Chris Vounasis
Director

REF 072-5-Holbrooks | 1 March 2017





Our Ref: 85744JNM

1 March 2017

Ms Janine Lennon
Manager - City Development
City of West Torrens
165 Sir Donald Bradman Drive
Hilton SA 5033

By Post and Email: jlennon@wtcc.sa.gov.au

Dear Ms Lennon

21/1576/2016 – Karidis on Holbrooks Road

As you are aware we act for the Karidis Corporation in this matter.

I refer to your email of 23 February 2017 to Chris Vounasis in which you indicated:

"Sorry, no matter how I look at this I can't bring myself to support it.

My primary issue is the density with regard to the desired character of the policy area, I could probably support an average of 340sqm per dwelling in this particular location but 210(ish)sqm is too low."

I am instructed to respond to your concerns as follows:

1. Proposed Use

The proposed use is that of a Retirement Village and after approval and construction the Certificate of Title will be endorsed as such pursuant to section 56 of the *Retirement Village Act 2016*. Section 4 of that Act provides that only a person over 55 years of age and who is retired from full time employment may reside on the land.

As you are aware, our client operates a number of Retirement Villages (11) in the metropolitan area and we are instructed the average age of a resident is 72 years.

2. City of West Torrens Community Profile

I understand as part of the application Chris Vounasis has forwarded a copy of his comments on the above.

There is clearly a high demand for aged accommodation in Council's area.

ADELAIDE

SYDNEY

MELBOURNE

PERTH

GOLD COAST

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GMG Legal Services Pty Ltd an Incorporated Legal Practice ABN 19 074 972 231
www.griffins.com.au

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3. Other DAP Approvals

Our client has obtained a number of Retirement Village Approvals from Council's DAP.

The relevant approvals (as I am instructed from Chris Vounasis reports accompanying the DA's) the site area per dwelling is as follows:

	Villages	Site Area Per Dwelling
1.	452 Henley Beach Road, Lockleys (DN 211/476/15)	160m ²
2.	39 Lipsett Terrace, Brooklyn Park (DN 211/1148/2014)	169 or 184 m ²
3.	30 Marshall Terrace, Brooklyn Park (DN 211/882/2013)	145.8 m ²
4.	7 Gertrude Street, Brooklyn Park (DN 211/1055/2013)	182 or 209 m ²

With regard to the subject proposal:

5.	Holbrooks (DN 211/1576/2016)	282.2 m ²
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6. Community Centre

All of the above Retirement Villages and the proposed Village on the subject have a community centre which is well used by residents.

7. Need for greater site area per dwelling

Continual research by our client clearly indicates that there is no request for nor need for any additional site area per dwelling in any of the villages above.

Accordingly, we respectfully ask that you reconsider your concerns with this application.

If you have any queries, please do not hesitate to contact me.

Yours faithfully
GRIFFINS LAWYERS


JOHN MCELHINNEY
Direct email: jmcclhinney@griffins.com.au
Direct line: (08) 8113 5119

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6.3 311-313 Marion Road, NORTH PLYMPTON

Application No 211/499/2016 and 211/694/2016

DEVELOPMENT APPLICATION DETAILS

DEVELOPMENT PROPOSAL	Construction of a residential flat building comprising four (4) two storey dwellings with associated garages	Land Division - Community Title; DAC No. 211/C081/16 (Unique ID 54533); Create three (3) additional allotments
APPLICANT	J and M Demetlica Constructions	Mr Kaiz Zaman
LODGEMENT DATE	06 May 2016	26 May 2016
ZONE	Residential Zone	Residential Zone
POLICY AREA	Medium Density Policy Area 19	Medium Density Policy Area 19
APPLICATION TYPE	Merit	Merit
PUBLIC NOTIFICATION	Category 2	Category 1
REFERRALS	Internal <ul style="list-style-type: none"> City Assets - Engineering City Assets - Amenity Officer External <ul style="list-style-type: none"> Department of Transport, Planning and Infrastructure 	External <ul style="list-style-type: none"> Development Assessment Commission SA Water Corporation Department of Transport, Planning and Infrastructure
DEVELOPMENT PLAN VERSION	5 May 2016	5 May 2016
MEETING DATE	9 May 2017	9 May 2017

RECOMMENDATION 1

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent and Land Division Consent for Application No. 211/694/2016 by Mr Kaiz Zaman to undertake Land Division - Community Title; DAC No. 211/C081/16 (Unique ID 54533); Create three (3) additional allotments at 311-313 (allotment 111) Marion Road, North Plympton (CT 5853/626) subject to the following conditions of consent:

DEVELOPMENT PLAN CONSENT Council Conditions

1. The development shall be undertaken in accordance with the plans and information details in this application except where varied by any condition(s) listed below.

LAND DIVISION CONSENT Council Conditions

1. Prior to the issue of clearance to this division, existing structures must be removed from the allotment.

Development Assessment Commission Conditions

2. Payment of \$19464 into the Planning and Development Fund (3 allotment(s) @ \$6488/allotment). Payment may be made by credit card via the internet at www.edala.sa.gov.au or by phone (7109 7018), by cheque payable to the Development Assessment Commission marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Ground Floor, 101 Grenfell Street, Adelaide.
3. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the Development Assessment Commission for Land Division Certificate purposes.

The financial requirements of SA Water shall be met for the provision of water supply and sewerage services. Subject to SA Water's new process, on receipt of the developer details and site specifications, an investigation will be carried out to determine if the connections to your development will be standard or non-standard fees. The developer must inform potential purchasers of the community lots of the servicing arrangements and seek written agreement prior to settlement, as future alterations would be at full cost to the owner/applicant.

RECOMMENDATION 2

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/499/2016 by J and M Demetlica Constructions to undertake Construction of a residential flat building comprising four (4) two storey dwellings with associated garages at 311-313 (allotment 111) Marion Road, North Plympton (CT 5853/626) subject to the following conditions of consent:

Council Conditions

1. The development shall be undertaken in accordance with the plans and information detailed within the application, except where varied by any condition(s) listed below.
2. The finished floor level of each dwelling shall be in accordance with the submitted 'Proposed Site Plan' (Civil and Drainage Plan - Job Number 616/4564-1 - Figure 1).
3. All stormwater design and construction shall be in accordance with Australian Standards and recognised engineering best practices to ensure that stormwater does not adversely affect any adjoining property or public road and for this purpose stormwater drainage shall not at any time:
 - a) Result in the entry of water into a building; or
 - b) Affect the stability of a building; or
 - c) Create unhealthy or dangerous conditions on the site or within the building; or
 - d) Flow or discharge onto the land of an adjoining owner; and not flow across footpaths or public ways.
4. Stormwater quality measures must be implemented to ensure that all surface run-offs, stormwater or other liquid discharge from the site, is free of site contaminants. The contaminants include, but are not limited to oils, grease, fuels, rubbish, litter or silt.
5. External materials and finishes shall be low-light reflective to prevent glare.
6. That any retaining walls will be designed to accepted engineering standards, and not of timber construction if retaining a difference in ground level exceeding 200mm.

7. That all driveways, parking and manoeuvring areas will be formed, surfaced with concrete, bitumen or paving, and be properly drained, and shall be maintained in reasonable condition at all times.
 8. That all landscaping will be planted in accordance with the approved plans prior to the occupancy of the development. Any person(s) who have the benefit of this approval will cultivate, tend and nurture the landscaping, and shall replace any landscaping which may become diseased or die.
 9. That the upper level windows of all dwellings will be provided with fixed obscure glass to a minimum height of 1.7 metres above the upper floor level to minimise the potential for overlooking of adjoining properties, prior to occupation of the building. The glazing in these windows will be maintained in reasonable condition at all times.
-

BACKGROUND

The development proposal is presented to the Development Assessment Panel (DAP) for the following reason:

- With regard to residential development and land division applications, where all proposed allotments and or sites fail to meet, nor are within 5% of, the minimum frontage widths and site areas designated in respective zones and policy areas within the West Torrens Council Development Plan,

PREVIOUS OR RELATED APPLICATION

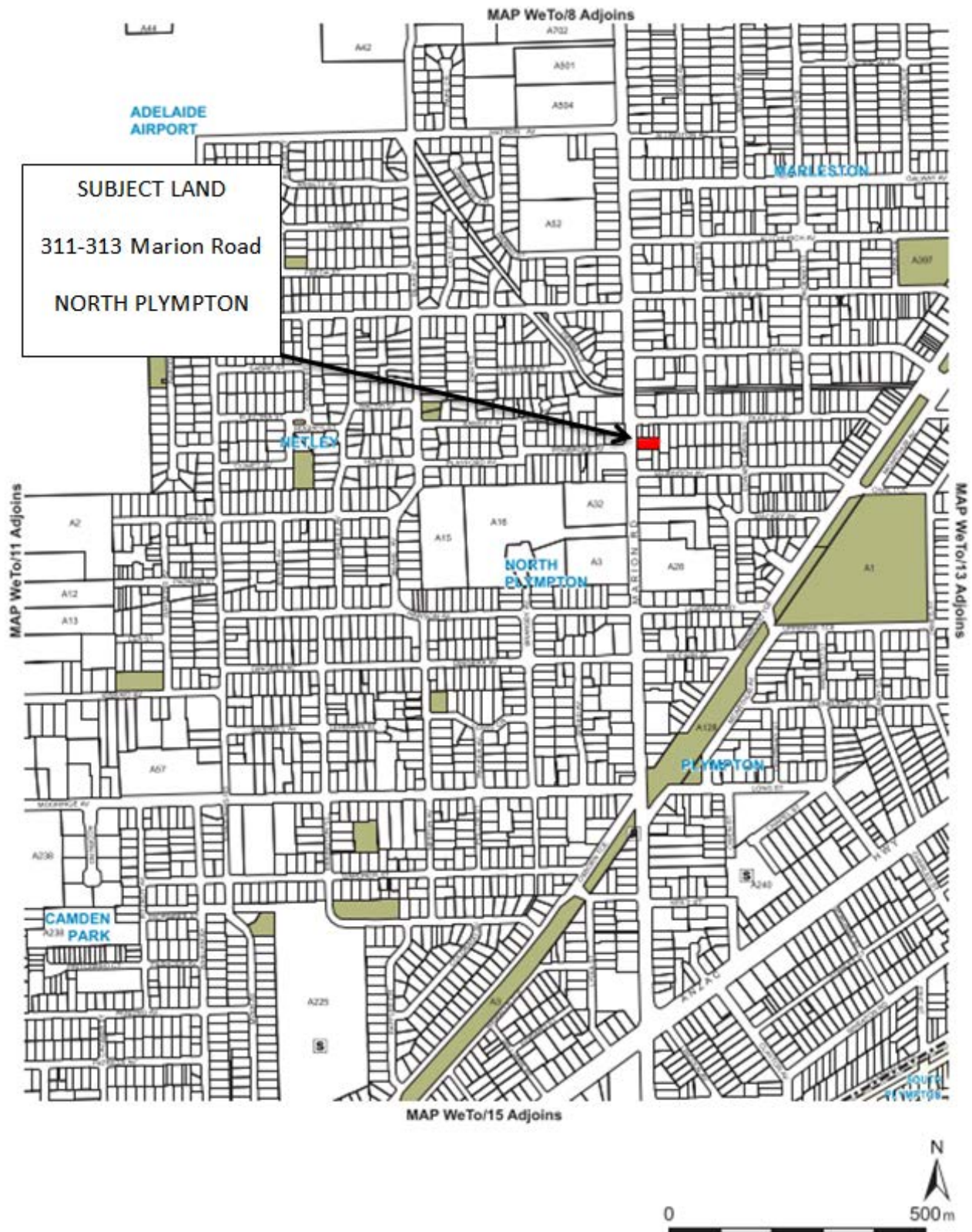
DA 211/677/2016 - Demolition of existing dwelling and associated structures - Development Approval granted - 30 June 2016

SITE AND LOCALITY

The site is rectangular in shape with a frontage of 22.56 metres to Marion Road, a secondary arterial road that accommodates public transport. The site currently contains a detached dwelling with associated verandah and outbuilding. The site is reasonably flat and is void of easements.

The locality is characterised by Marion Road and a mix of dwelling types including some residential flat buildings. A local heritage place is situated adjacent and opposite the site at 328 Marion Road. Pembroke Avenue is also opposite the site.





Location Map WeTo/12

WEST TORRENS COUNCIL
Consolidated - 5 May 2016

PROPOSALS

The proposals are for

211/499/2016 - Construction of a residential flat building comprising four (4) two storey dwellings with associated garages.

211/694/2016 - Land Division - Community Title; DAC No. 211/C081/16 (Unique ID 54533); Create three (3) additional allotments.

A full copy of the relevant plans are attached, refer **Attachment 1**.

PUBLIC NOTIFICATION

Application 211/499/2016 is a Category 2 form of development pursuant to Section 38 and Schedule 9 of the Development Act and Regulations.

Properties notified:	13 properties were notified during the public notification process.
Representations:	0 representations were received.

REFERRALS

211/499/2016

Internal

- City Assets - Engineering
- City Assets - Amenity Officer

External

- Commissioner of Highways - DPTI (Department of Planning, Transport and Infrastructure) - Refer to DPTI comments provided within 211/694/2016.

A full copy of the relevant reports are attached, refer **Attachment 2**.

211/694/2016

External

- DPTI (Department of Planning, Transport and Infrastructure) - Transport Services Division
- DAC (Development Assessment Commission)
- South Australian Water Corporation

A full copy of the relevant reports are attached, refer **Attachment 3**.

ASSESSMENT

The subject land is located within the Residential Zone and more particularly Medium Density Policy Area 19 as described in the West Torrens Council Development Plan. The main provisions of the Development Plan which relate to the proposed development are as follows:

<u>General Section</u>		
Crime Prevention	Objectives	1
	Principles of Development Control	1, 2 & 3
Design and Appearance	Objectives	1 & 2
	Principles of Development Control	1, 2, 3, 4, 9, 10, 11, 12, 13, 14, 15, 21 & 22
Infrastructure	Objectives	1, 2, 3, 4 & 5
	Principles of Development Control	1, 2, 3, 4, 5, 6, 7, 8, 9 & 10
Land Division	Objectives	1, 2, 3 & 4
	Principles of Development Control	1, 2, 4, 5, 6, 7, 8, 11, 12, 15 & 16
Landscaping, Fences and Walls	Objectives	1 & 2
	Principles of Development Control	1, 2, 3, 4 & 6
Orderly and Sustainable Development	Objectives	1, 2, 3, 4 & 5
	Principles of Development Control	1, 3 & 5
Residential Development	Objectives	1, 2, 3 & 4
	Principles of Development Control	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 27, 28, 29, 30 & 31
Transportation and Access	Objectives	1, 2, 3 & 4
	Principles of Development Control	1, 2, 8, 9, 10, 11, 20, 21, 22, 23, 24, 26, 27, 28, 32, 33, 34, 35, 36, 37, 39, 40, 41, 42, 43 & 44
Waste	Objectives	1 & 2
	Principles of Development Control	1, 2, 3, 4, 5 & 6

Zone: Residential Zone
<p>Desired Character Statement:</p> <p>This zone will contain predominantly residential development. There may also be some small-scale non-residential activities such as offices, shops, consulting rooms and educational establishments in certain locations. Non-residential activities will be complementary to surrounding dwellings.</p> <p>Allotments will be at very low, low and medium densities to provide a diversity of housing options in different parts of the zone. The range of allotment sizes will support the desired dwelling types anticipated in each policy area, and the minimum allotment sizes shall be treated as such in order to achieve the Desired Character for each policy area and, in turn, reinforce distinction between policy areas. Row dwellings and residential flat buildings will be common near centres and in policy areas where the desired density is higher, in contrast to the predominance of detached dwellings in policy areas where the distinct established character is identified for protection and enhancement. There will also be potential for semi-detached dwellings and group dwellings in other policy areas.</p> <p>Residential development in the form of a multiple dwelling, residential flat building or group dwelling will not be undertaken in a Historic Conservation Area.</p>

Landscaping will be provided throughout the zone to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.

<i>Objectives</i>	1, 2, 3 and 4
<i>Principles of Development Control</i>	1, 5, 6, 7, 8, 10, 11, 12 and 13

<i>Policy Area: Medium Density Policy Area 19</i>	
<i>Desired Character Statement:</i>	
<p>Allotments in this policy area will be at medium density, accommodating a range of dwelling types including semi-detached, row and group dwellings, as well as some residential flat buildings and some detached dwellings on small allotments. There will be a denser allotment pattern close to centre zones where it is desirable for more residents to live and take advantage of the variety of facilities focused on centre zones.</p> <p>New buildings will contribute to a highly varied streetscape. Buildings will be up to 2 storeys, except for allotments fronting Brooker Terrace, Marion Road and Henley Beach Road, and overlooking the Westside Bikeway, where buildings will be up to 3 storeys in height and provide a strong presence to streets. Garages and carports will be located behind the front facade of buildings.</p> <p>Development will be interspersed with landscaping, particularly behind the main road frontage, to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.</p>	
<i>Objectives</i>	1
<i>Principles of Development Control</i>	1, 2, 3, 5 and 7

QUANTITATIVE ASSESSMENT

The proposal is assessed for consistency with the prescriptive requirements of the Development Plan as outlined in the table below:

DEVELOPMENT PLAN PROVISIONS	STANDARD	ASSESSMENT
ALLOTMENT AREA Medium Density Policy Area 19 PDC 7	270m ²	Lot 1 = 185m ² Lot 2 = 167m ² Lot 3 = 168m ² Lot 4 = 194m ² Does Not Satisfy by 44%
SITE AREA Medium Density Policy Area 19 PDC 5	150m ² (average)	Lot 1 = 185m ² Lot 2 = 167m ² Lot 3 = 168m ² Lot 4 = 194m ² 178.5m ² (average) Satisfies

SITE FRONTAGE Medium Density Policy Area 19 PDC 5	15m (for complete building)	15m (excluding common property) 22.56m (including common property) Satisfies
SITE COVERAGE Medium Density Policy Area 19 PDC 3	60%	Lot 1 = 51% Lot 2 = 71.5% Lot 3 = 71.1% Lot 4 = 75.5% Total Site Coverage = 48.7% Satisfies
MAXIMUM BUILDING HEIGHT Medium Density Policy Area 19 PDC 3	Three storeys or 12.5m (allotment fronts Marion Road)	Two-stories, 7.8m to apex of roof Satisfies
STREET SETBACK Medium Density Policy Area 19 PDC 3	3m	3m Satisfies
SIDE SETBACKS Residential Zone PDC 11	Side 1m where the vertical side wall is 3m or less 2m where the vertical side wall measures between 3m and 6m	3m and 5.5m Satisfies 4m and 5.5m Satisfies
REAR SETBACKS Medium Density Policy Area 19 PDC 3	Rear 6m	0m setback Does Not Satisfy
PRIVATE OPEN SPACE Residential Development PDC 19	24m ² with a minimum dimension of 3m for allotments up to 300m ²	Lot 1 = 30.3m ² Lot 2 = 30.3m ² Lot 3 = 34.17m ² Lot 4 = 71.7m ² Satisfies

LANDSCAPING Module: Landscaping, Fences & Walls PDC: 4	10%	17% (including private open space) Satisfies
CARPARKING SPACES Transportation and Access PDC 34	2 car-parking spaces per dwelling, one of which is covered + an additional 0.25 car parking spaces per dwelling.	9 required 8 provided, 5 of which are covered Does Not Satisfy Additional 0.25 spaces per dwelling not provided.
GARAGE MAXIMUM FLOOR AREA Residential Development PDC 16	60m ²	Lot 1 = 21.2m ² Lot 2 = 21m ² Lot 3 = 21m ² Lot 4 = 39.3m ² Satisfies
GARAGE MAXIMUM WALL HEIGHT Residential Development PDC 16	3m	Lot 1 = 2.7m Lot 2 = 2.7m Lot 3 = 2.7m Lot 4 = 2.7m Satisfies
GARAGE MINIMUM SETBACK FROM PRIMARY ROAD FRONTAGE Residential Development PDC 16	No closer to the primary road than any part of its associated dwelling	Satisfies
GARAGE MAXIMUM LENGTH ALONG BOUNDARY Residential Development PDC 16	8m or 50% of the length along that boundary, whichever is less	Lot 1 = 6.2m Lot 2 = 6m Lot 3 = 6m Lot 4 = 6.4m Satisfies
SITE FACILITIES AND STORAGE Residential Development PDC 31	8m ³	Lot 1 = 3.24m ³ Lot 2 = 1.67m ³ Lot 3 = 1.67m ³ Lot 4 = 6.26m ³ Not Satisfied

QUALITATIVE ASSESSMENT

In assessing the merits or otherwise of the application, the proposed development satisfies the relevant Development Plan provisions with the exception of the following, as discussed under the following sub headings:

Land Use and Zoning

The Residential Zone will contain predominantly residential development and envisages dwellings. Allotments within Medium Density Policy Area 19 will be at medium density accommodating a range of dwelling types. Residential Flat Buildings are envisaged specifically within the policy area. The land use and type of dwellings proposed are appropriate.

Bulk and Scale

The proposal sits well below maximum building heights. In combination with a mixture of materials, textures, tones and articulated walls; the proposal presents an appropriate bulk and scale.

Visual impact with regard to setbacks will be discussed below.

Setbacks

The proposal achieves ground and upper level setbacks from the street and each side boundary. Proposed ground and upper level rear setbacks fail to achieve Development Plan Requirements.

The ground floor rear wall will be situated on the boundary shared with 2 Dudley Avenue. This wall would abut a common driveway that services a residential flat building. The common driveway is available for use by all occupants of the neighbouring residential flat building. Therefore the wall would not pose a direct visual impact to private space as show below within *Figures 1 and 2*.



Figure 1: Direct view of proposed boundary wall location from 2 Dudley Avenue



Figure 2: View of possible boundary wall form Dudley Avenue

It is notable that 2A Dudley Avenue has an existing wall on the boundary shared with 2 Dudley Avenue as shown in *Figure 2*.

The proposed boundary wall would have a length of 8.1 metres and a height of 2.7 metres, typical of residential development or an outbuilding situated on a boundary. Although contrary to the Development Plan, the boundary wall would not have an unacceptable impact upon surrounding amenity or character.

The upper level component of dwelling 4 would be setback 5.56 metres from the rear boundary rather than 6 metre as required by the Development Plan. This shortfall is considered negligible and would not have an unacceptable impact upon surrounding amenity or character.

Overlooking and Overshadowing

General Section, Residential Development PDC 27 states

"Except for buildings of 3 or more storeys, upper level windows, balconies, terraces and decks that overlook habitable room windows or private open space of dwellings should maximise visual privacy through the use of measures such as sill heights of not less than 1.7 metres or permanent screens having a height of 1.7 metres above finished floor level".

Upper level balconies, terraces or decks are not proposed. Side and rear facing windows will be obscured up to 1.7 metres above internal floor level. A condition enforcing this requirement is appropriate should planning consent be granted.

General Section, Residential Development PDC's 11 and 12 states

"Development should ensure that north-facing windows to habitable rooms of existing dwelling(s) on the same allotment, and on adjacent allotments, receive at least 3 hours of direct sunlight over a portion of their surface between 9.00 am and 5.00 pm on the 21 June".

"Development should ensure that ground-level open space of existing buildings receives direct sunlight for a minimum of two hours between 9.00 am and 3.00 pm on 21 June to at least the smaller of the following:

- (a) half of the existing ground-level open space*
- (b) 35 square metres of the existing ground-level open space (with at least one of the area's dimensions measuring 2.5 metres)".*

The proposal will not unreasonably overshadow 2a, b, c or d Dudley Avenue or 1/2, 2/2, 3/2, 4/2 or 5/2 Dudley Avenue due to the path of the sun.

The proposal will be setback a minimum 5.5 metres from the southern boundaries shared with 315 Marion Road and 1 Murdoch Avenue. Given the proposed setbacks (other than the rear setback) and building height achieve Development Plan requirements, the proposal is not considered to impose an unreasonable level of overshadowing.

Colours and Materials

External walls and roofs of buildings should not incorporate highly reflective materials which will result in glare to neighbouring properties or drivers. The proposed external materials are shown below.

Roof	Colorbond
Walls	Rendered
Windows	Natural Anodised
Panel Lift Door	Natural Anodised

The bulk of the proposal would comprise neutral external colours and tones. Natural anodised features are not considered to result in unreasonable glare however a condition can be imposed upon any planning consent to prevent this.

Site Area and Frontage

The site is situated within 400 metres of a centre zone. The proposal achieves an average site area of 178.5 square metres and a frontage of 15 metres for the complete residential flat building in accordance with PDC 5 in Medium Density Policy Area 19. Technically however, the applications are not specifically "combined" suggesting that land division should create allotments with an area greater than 270 square metres in accordance with PDC 7 within Medium Density Policy Area 19.

Regardless of whether the developments are "combined" or not, the proposal has demonstrated that the proposed site area's and frontage are capable of supporting an envisaged residential use.

Vehicle Access and Manoeuvrability

Marion Road is a secondary arterial road that accommodates public transport. The site currently has two-vehicle crossover points from Marion Road allowing all vehicles to leave in a forward direction. In the interest of road safety, and as proposed, a single shared access point to serve all proposed dwellings is preferred. The proposed width of the driveway enables two-way simultaneous vehicle movements and allows anticipated vehicles to manoeuvre and leave in a forward direction.

One of the existing access points is located opposite the Marion Road/Pembroke Avenue junction. DPTI (Department of Planning, Transport and Infrastructure) have strongly recommended that the proposed single shared access point be located adjacent the northern property boundary to maximise separation between the Marion Road/Pembroke Avenue junction in accordance with Australian Standards. This approach is also preferred by Council's City Assets - Engineering Section.

Crash data recorded from 2008 to 2014 indicates two accidents on Marion Road in front of the site. The data does not reveal whether the accidents relate to vehicle movements to/from the site however, it is also noted that accidents have been common along all sections of Marion Road.

Development should be provided with safe and convenient access to an all-weather public road which:

- a) Avoids unreasonable interference with the flow of traffic on adjoining roads;
- b) Provides appropriate separation distances from existing roads or level crossings;
- c) Accommodates the type and volume of traffic likely to be generated by the development, and
- d) Is sited and designed to minimise any adverse impacts on the occupants of any visitors to neighbouring properties.

In this instance, with a width accommodating simultaneous two-way vehicle movements, and remembering the location of existing driveways that service the site;

- the proposed driveway location would not unreasonably interfere with the flow of traffic on Marion Road.
- the proposed driveway is capable of accommodating the type and volume of traffic likely to be generated
- the proposed driveway is reasonably sited to minimise adverse impact on the occupants of, and visitors to, neighbouring properties.

Despite the driveways location opposite the Marion Road/Pembroke Avenue junction, the proposal is considered to reasonably provide safe and convenient access to the proposed development.

Car parking Provisions

Each dwelling should be provided with 2 car parking spaces, 1 of which is covered. An additional 0.25 car parking spaces should be supplied per dwelling in accordance with Table WeTo/2 - Off Street Vehicle Parking Requirements. Based on 4 dwellings, a total of 9 on-site car parking spaces are therefore required.

The proposal includes a total of 8 on-site car parking spaces. Each dwelling would have 2 car parking spaces with at least 1 space covered within a garage. The proposal therefore fails to achieve minimum car parking spaces with a shortfall of 1 on-site space.

Vehicle parking on Marion Road should not be encouraged. Nearby Dudley Avenue and Murdoch Avenue accommodate on-street vehicle parking. A bus stop is situated approximately 30 metres from the site on Marion Road. All dwellings would have 3 bedrooms and therefore occupants are likely to require the on-site car parking spaces proposed. Therefore, visitors are likely to park on-street within nearby side-streets such as Dudley Avenue and Murdoch Avenue. A traffic report has not been provided however a review of intermittent aerial photography between 2000 and 2016 reveals on-street parking was commonly available at Dudley Avenue and Murdoch Avenue. In this circumstance, the shortfall of 1 on-site car parking space alone is not considered to justify the applications refusal.

Stormwater

Stormwater should be capable of being drained safely and efficiently from each proposed allotment and disposed of from the land in an environmentally sensitive manner. Stormwater from each dwelling would be disposed of too Marion Road via individual 1000 litre storage tanks. Stormwater from the paved driveway would be directed to sumps before being drained to Marion Road. Stormwater detention or stormwater quality measures are not proposed. Stormwater detention measures are not typically required by Council's City Assets Section for developments of this size however a condition requiring stormwater quality measures is appropriate should the application be granted planning consent.

Landscape Assessment

A minimum of 10 percent of a development site should be landscaped. Private Open Space accounts for 16.9 percent of the site. Approximately 17 percent of the site would be available for landscaping. To enhance the amenity of the community driveway, small planter boxes are proposed as well as 1.8 metre high trellising to accommodate climbing plants on the southern boundary. Private open spaces would largely be screened from view, hidden behind rendered walls and the proposed built form. Much of the site may appear void of substantial landscaping.

Waste and Site Storage

Limited space is available for the storage of typical domestic bins within each respective allotment. However, dwelling 1 could store bins discretely beside the house and all dwellings could store bins at the northern end of respective garages given the length provided. Dwelling 4 could also store bins in the nearby courtyard. It is acknowledged that the storage of bins within garages would mean the parking of a vehicle would be tight however, on rubbish collection days, occupants can manoeuvre bins for placement and collection at Marion Road.

A dwelling should incorporate a minimum storage area of 8 cubic metres for goods and chattels. Each dwelling fails to provide 8 cubic metres as per the Development Plan however it is acknowledged that some storage capacity may be available under each stairwell and within each games room.

Air-conditioning Units

Although not 'development' in accordance with the *Development Act 1993*, air-conditioning units could be placed so they are not readily visible or prominent from public spaces. Noise emanating from air-conditioning units is expected to be consistent with typical residential noise levels as governed by the Environment Protection (Noise) Policy.

Land Division

The site is situated within 400 metres of a centre zone however the land division application is not "combined" with the associated built form and as such the land division should create allotments with an area of greater than 270 square metres in accordance with PDC 7 within Medium Density Policy Area 19.

The proposal fails to achieve minimum allotment sizes for a stand-alone land division however achieves minimum site areas applicable if the applications were "combined". Ultimately, land division should create allotments appropriate for their intended use. Regardless of whether the applications are "combined" or not, the proposal has demonstrated that the proposed allotment area's and frontage are capable of supporting the envisaged residential use.

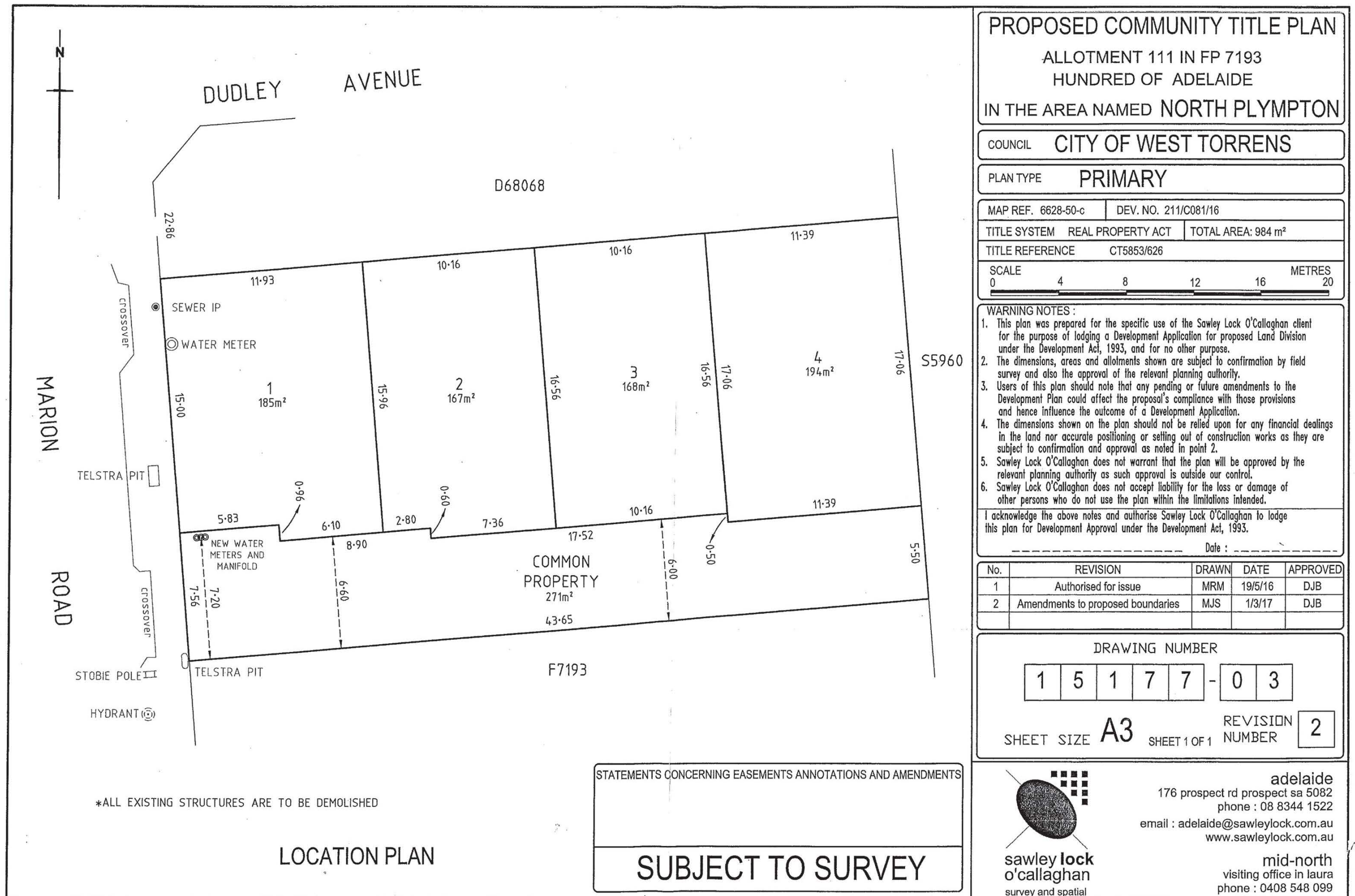
SUMMARY

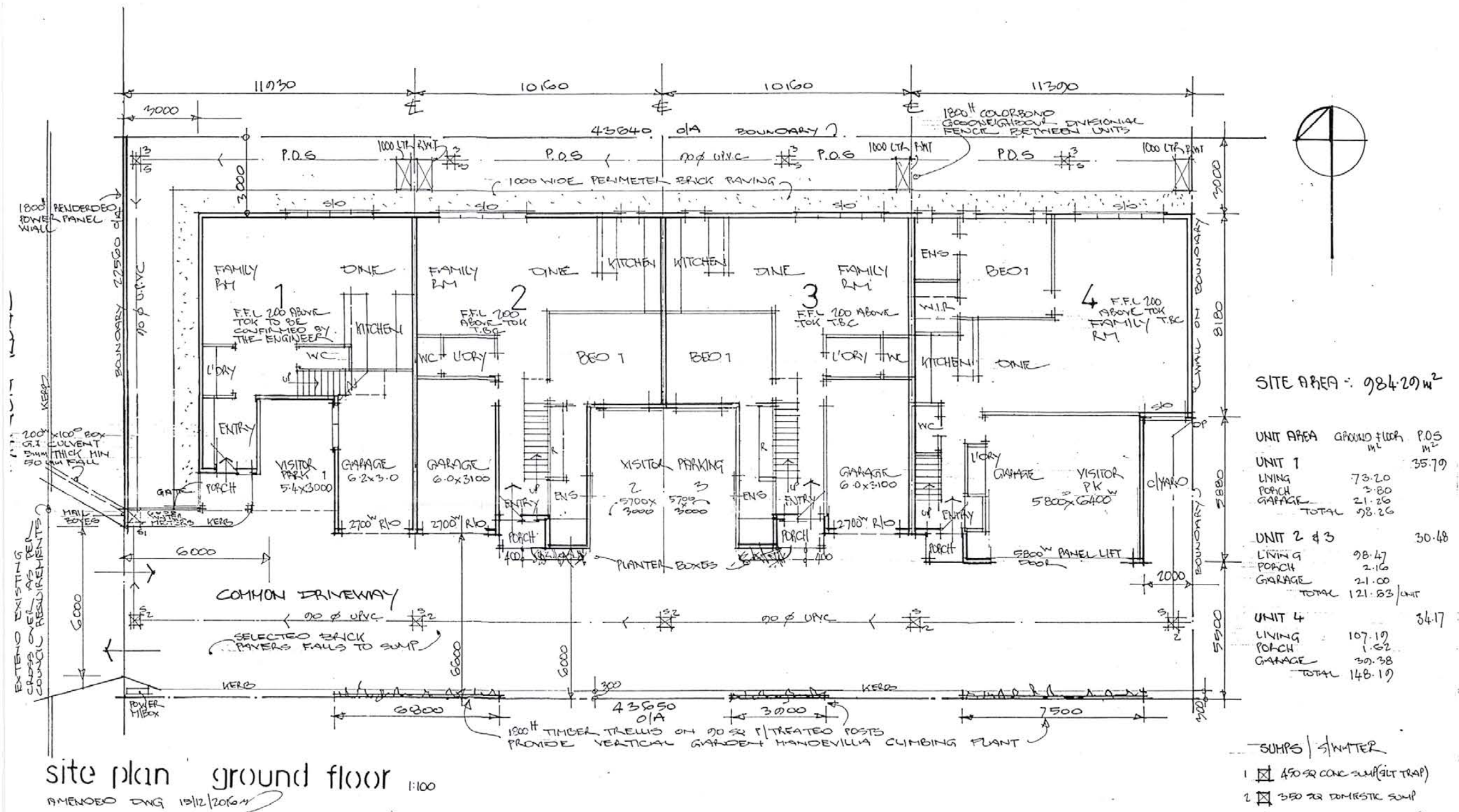
Having considered all the relevant Objectives and Principles of the Development Plan, the proposal is considered to be not seriously at variance with the Development Plan.

On balance the proposed development sufficiently accords with the relevant provisions contained within the West Torrens Council Development Plan Consolidated 05 May 2016 and warrants Development Plan Consent.

Attachments

- 1. Plans and Application Forms**
- 2. Referral Comments - 211/499/2016**
- 3. Referral Comments - 211/694/2016**





J&M DEMETLICA CONSTRUCTIONS

Assoc Dip Arc, Member MBA, Bld Lic: 171603

Design and Construct

Project Management

- Commercial
- Residential
- Multi Storey Units
- Office Fit outs
- Interior Design

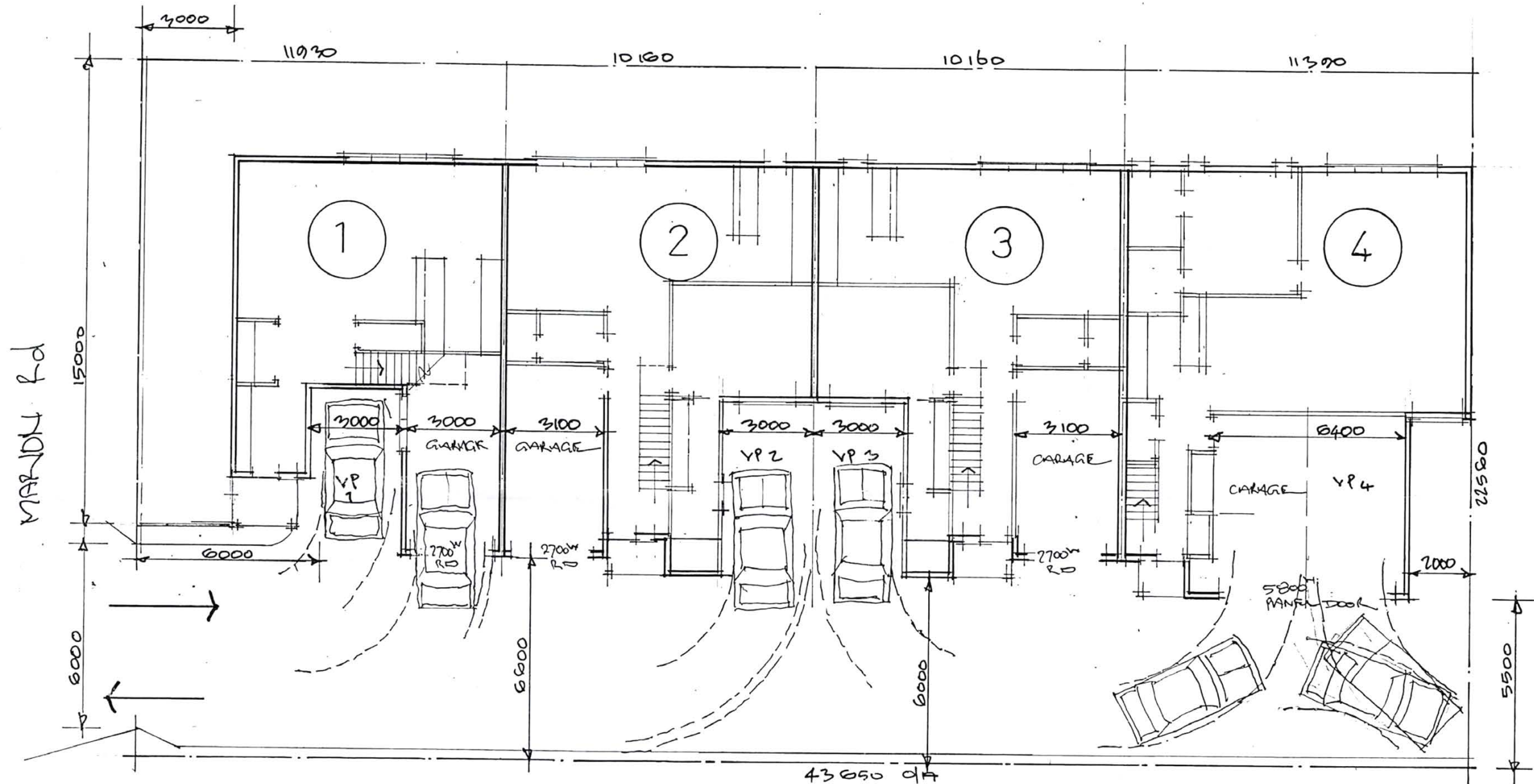
47 Kintore Ave Prospect 5082

demetlica@hotmail.com

ABN 29 744 212 733

Ph/Fax: (08) 8344 57 42

Mobile: 0412 815 367



site plan ground floor 1:100

VEHICLE MANOEUVRABILITY AS PER AUSTRALIAN STANDARDS
AS2890.1-1993

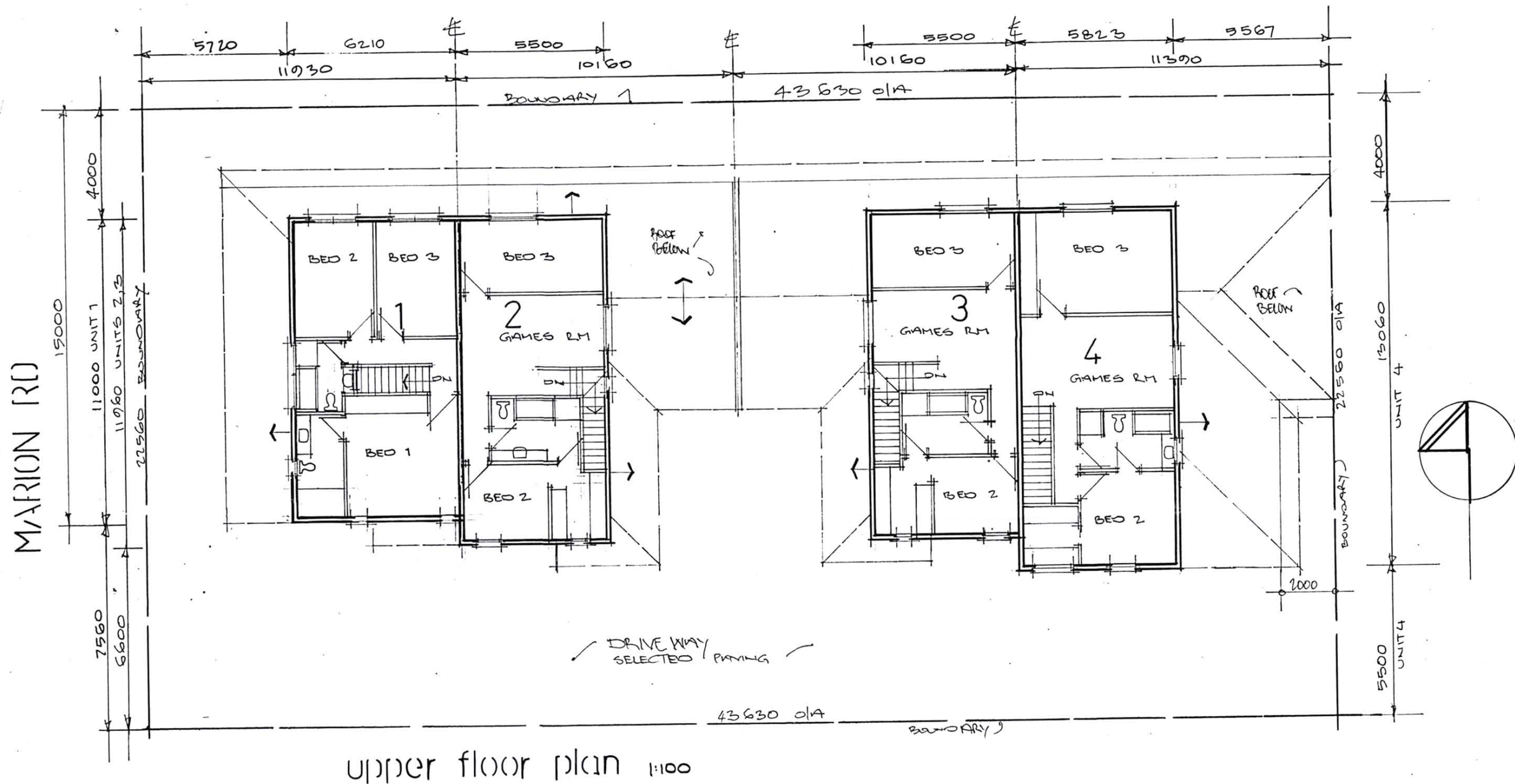
PROPOSED UNIT DEVELOPMENT
AT 311/MARION RD NORTH PLYMPTON
FOR KAI ZAMAN

DWG NO.

J&M DEMETLICA CONSTRUCTIONS
Assoc Dip Arc, Member MBA, Bld Lic: 171603
Design and Construct
Project Management

- Commercial
- Residential
- Multi Storey Units
- Office Fit outs
- Interior Design

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Mobile: 0412 815 367



PROPOSED UNIT DEVELOPMENT
AT 311/MARION RD NORTH PLYMPTON
FOR K ZAMAN

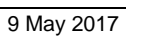
DWG NO 205/2016 2B
AMENDED DWG 15/11/2016
13/1/2017

J&M DEMETLICA CONSTRUCTIONS

Assoc Dip Arc, Member MBA, Bld Lic: 171603
Design and Construct
Project Management

- Commercial
- Residential
- Multi Storey Units
- Office Fit outs
- Interior Design

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**CORE
Engineering Pty Ltd**

113 Anzac Highway Phone: 8351 3344
ASHFORD 5035 Fax: 8351 3366

Consulting Residential Engineers

David Smith BSc. B. Tech. Building Licence GL49612
Owen Goldie B.E. (Hons.), MIEAust.

ABN: 77 108 720 789

Job No. 616 / 4564 - 1
2 March 2017

ENGINEERING RECOMMENDATIONS

**FOR THE PROPOSED SITE DEVELOPMENT AND STORMWATER MANAGEMENT
AT 311 MARION ROAD, NORTH PLYMPTON FOR KAIZ ZAMAN**

Builder : J. & M. Demetlica - Constructions

1.0 INTRODUCTION

At the request of the Builder, an investigation of the existing site conditions was carried out on 13 February 2016.

The purpose of the investigation was to make recommendations for the stormwater management plan for the proposed development.

2.0 RECOMMENDATIONS FOR STORMWATER MANAGEMENT PLAN

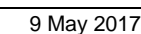
The proposed stormwater management plan to drain the allotment is detailed in Figures 1 - 3 attached.

Generally the design shall involve:

- Provide a stormwater storage tank of 1000 litres minimum capacity per residence.
- The tanks when blocked or full shall discharge direct to a 90mm diameter UPVC pipe via an overflow at the top.
- From the Council's flood mapping recommendations the allotment is not subject to a minimum floor level.



(Owen S. Goldie)



Phil Harnett

From: Frank Siow
Sent: Friday, 17 February 2017 11:25 AM
To: Phil Harnett
Cc: Joseph Ielasi
Subject: Vehicle Manoeuvrability - 311-313 Marion Road - DA 211/499/2016

Hi Phil,

As discussed, the vehicle manoeuvrability on the latest plans were acceptable.

Kind Regards,
Ming

Phil Harnett

From: Ming Siow <ming@franksiow.com.au>
Sent: Tuesday, 17 January 2017 1:39 PM
To: Phil Harnett
Cc: Joseph Ielasi
Subject: Re: FW: 311-313 Marion Road, North Plympton - Development Number 211/499/2016

Hi Phil,

Please find revised comments below:

1.0 General Comments

1.1 As with the previous plan, some dimensions on the plan do not scale correctly still.

In scaling the plans to check vehicle manoeuvrability I have found that several annotated dimensions do not correlate with one another. As in, if I scale the drawing using one of the indicated dimensions and check with another, there is a significant difference in some instances. I am unsure as to whether the scanning process has caused this or if the drawing is incorrect. As you can imagine, if the scaling has been done using an 'incorrect' dimension, then this could have a profound effect on the checks I have performed. I am unsure as to how you wish to proceed regarding this.

2.0 Traffic Comments

2.1 Some changes have been made to the car parking. I note that no vehicle manoeuvrability diagrams have been provided for any of the iterations of the design. The visitor parking for dwelling 2 and 3 now no longer have acceptable vehicle manoeuvrability as both spaces have been reduced in width by 200mm each.

The visitor space for dwelling 1 while slightly altered is indicated to be 2.7m wide between walls. As **indicated previously**, this parking space is required to be 3.0m wide and is therefore unsatisfactory. It does not comply with the parking standard.

It is recommended that revised plans showing satisfaction to the above be provided to Council.

2.2 It would be preferable to locate the driveway entry on the northern boundary of the property. As indicated by DPTI previously, it would be better to achieve a separation between the intersection of Pembroke Avenue/Marion Road and the proposed driveway access. I note that the existing dwelling utilised a u-shaped driveway arrangement. The northern crossover would typically be used as an entry driveway while the southern crossover would typically be used as an exit driveway (forward direction).

3.0 General Finished Floor Level (FFL) Consideration

3.1 Council seeks to ensure that the FFL of all new development is protected from inundation when considering a 350mm stormwater flow depth in the adjacent street watertable.

This is typically achieved through establishing the FFL of new development a minimum of 350mm above the highest adjacent street water table.

In association with the above proposed development, no site or road verge level information has been provided and as such it is impossible to determine if the proposal will satisfy the above consideration.

Simply conditioning that a development satisfy this consideration can have its complications with regards to the ultimately required level of the development in relation to neighbouring properties and the related planning considerations this brings about. It may also bring about the necessity for alterations to the design of the development which are outside of the expectations of the applicant (for example; requiring step(s) up from existing buildings to additions).

It is recommended that appropriate site and adjacent road verge survey information be provided to correctly assess the required minimum FFL for this proposal.

4.0 Verge Interaction (with street tree)

4.1 In association with new development, driveways and stormwater connections through the road verge need to be located and shaped such that they appropriately interact with and accommodate existing verge features in front of the subject and adjacent properties.

New driveways and stormwater connections are required to be located a minimum 1.0 metre offset from other existing or proposed driveways, stormwater connections, stobie poles, street lights, side entry pits and pram ramps, etc. (as measured at the front property boundary).

These new features are also desired to be located a minimum of 2.0 metres from existing street trees, although a lesser offset may be acceptable in some circumstances. If an offset less than the desired 2.0 metres is proposed or if it is requested for the street tree to be removed, then assessment for the suitability of such will be necessary from Council's Technical Officer (Arboriculture).

It is recommended that revised plans indicating satisfaction to the above requirements should be provided to Council. The proposed stormwater connection should pass perpendicular through the road verge.

4.2 I note that Council's Arborist has indicated a removal fee for the street tree required to be removed. Please refer to their commentary.

4.3 It should also be nominated for the stormwater connection through the road verge area to be constructed of shape and material to satisfy Council's standard requirements

- 100 x 50 x 2mm RHS Galvanised Steel or
- 125 x 75 x 2mm RHS Galvanised Steel or
- Multiples of the above.

It is recommended that revised plans clearly and accurately indicating satisfaction of the above criteria be provided to Council.

Kind Regards,
Ming

On Fri, Jan 13, 2017 at 4:41 PM, Phil Harnett <pharnett@wtcc.sa.gov.au> wrote:

G'day Ming

On 1 December 2016 you provided comment regarding application 211/499/2016. Your comments were summarised below to the applicant who has now provided amended plans (attached). The key changes include.

1. The proposed visitor space for Dwelling 1 has been increased to 2.7 metres wide and the porch cut back so that the column does not impact upon vehicle manoeuvring.
2. The garage door of Dwelling 1 has been widened to 2.7 meters.
3. Garage door to Dwelling 4 modified. Aisle width not increased to 6 metre minimum.

Can you please review and provide feedback as soon as possible. I expect matter 3 may still cause some issue.

If you have any queries do not hesitate to ask.

Cheers

Phil Harnett

Senior Development Officer - Planning

City of West Torrens

165 Sir Donald Bradman Drive

Hilton SA 5033

Email: pharnett@wtcc.sa.gov.au

From: Phil Harnett

Sent: Wednesday, 7 December 2016 3:09 PM

To: 'John and Maxine demetlica'

Subject: 311-313 Marion Road, North Plympton - Development Number 211/499/2016

Hello John

Council has now reviewed the turn-paths previously provided. Please consider and respond to each of the following.

1. The parking arrangements for 'dwellings 2 and 3' are acceptable.
2. The proposed visitor space of 'dwelling 1' is 2.5 metres wide situated between a column and a solid wall. This does not comply with minimum standards and should be widened to 3 metres.
3. Vehicles are unable to enter the proposed garage of 'dwelling 1' conveniently given a garage door width of 2.4 metres. The garage door should be widened to 2.7 metres.
4. When a car is parked on the right within the garage of 'dwelling 4', a vehicle entering into the left side will have difficulty due to the narrow aisle width (5.5 metres). A minimum aisle width of 6 metres is required.

As previously explained, the associated land division (211/694/2016 - DAC 211/C081/16) does not correspond with the proposed built form. The plan of division will need to be updated and reviewed further. As a reminded, Medium Density Policy Area 19 requires that dwellings within residential flat buildings have an average site area of 150 square metres (exclusive of common property) and a 15 metre frontage for the complete building (exclusive of common property).

Please note that the application may need to proceed to Council's Development Assessment Panel for decision. It is therefore important that all matters are suitably addressed and clearly expressed.

If you have any queries do not hesitate to contact me.

Kind Regards

Phil Harnett

Senior Development Officer - Planning

City of West Torrens

165 Sir Donald Bradman Drive

Hilton SA 5033

Email: pharnett@wtcc.sa.gov.au

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--

Ming Siow

Frank Siow & Associates

P : (08) 8364 1351

M : 0413 414 304

E : ming@franksiow.com.au

Phil Harnett

From: Phil Harnett
Sent: Thursday, 15 December 2016 3:36 PM
To: 'Ming Siow'
Cc: Joseph Ielasi
Subject: RE: 311-313 Marion Road, North Plympton - Development number 211/499/2016

Thanks for looking at this quickly Ming, really appreciate it.

Apologies about the quality of the plans. I will contact the applicant and discuss further.

Cheers.

Phil Harnett
Senior Development Officer - Planning
City of West Torrens
165 Sir Donald Bradman Drive
Hilton SA 5033

Email: pharnett@wtcc.sa.gov.au

From: Ming Siow [<mailto:ming@franksiow.com.au>]
Sent: Thursday, 15 December 2016 3:20 PM
To: Phil Harnett
Cc: Joseph Ielasi
Subject: RE: 311-313 Marion Road, North Plympton - Development number 211/499/2016

Hi Phil,

Please find my comments below:

Memo

To Phil Harnett
From Ming Siow
Date 15/12/2016
Subject 211/499/2016, 311-313 Marion Road, NORTH PLYMPTON

Phil,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

1.0 General Comments

1.1 In scaling the plans to check vehicle manoeuvrability I have found that several annotated dimensions do not correlate with one another. As in, if I scale the drawing using one of the indicated dimensions and check with another, there is a significant difference in some instances. I am unsure as to whether the scanning process has caused this or if the drawing is incorrect. As you can imagine, if the scaling has been done using an 'incorrect' dimension, then this could have a profound effect on the checks I have performed. I am unsure as to how you wish to proceed regarding this.

2.0 Traffic Comments

2.1 Subsequent to initial feedback, a number of changes have been provided by the applicant. I confirm that Dwellings 1, 2, 3 and 4 have acceptable vehicle parking that will allow vehicles to enter and exit in a forward direction.

However, the visitor space for dwelling 1 while slightly altered is indicated to be 2.7m wide between walls. As indicated previously, this parking space is required to be 3.0m wide and is therefore unsatisfactory.

It is recommended that revised plans showing satisfaction to the above be provided to Council.

2.2 It would be preferable to locate the driveway entry on the northern boundary of the property. As indicated by DPTI previously, it would be better to achieve a separation between the intersection of Pembroke Avenue/Marion Road and the proposed driveway access. I note that the existing dwelling utilised a u-shaped driveway arrangement. The northern crossover would typically be used as an entry driveway while the southern crossover would typically be used as an exit driveway (forward direction).

3.0 General Finished Floor Level (FFL) Consideration

3.1 Council seeks to ensure that the FFL of all new development is protected from inundation when considering a 350mm stormwater flow depth in the adjacent street watertable.

This is typically achieved through establishing the FFL of new development a minimum of 350mm above the highest adjacent street water table.

In association with the above proposed development, no site or road verge level information has been provided and as such it is impossible to determine if the proposal will satisfy the above consideration.

Simply conditioning that a development satisfy this consideration can have its complications with regards to the ultimately required level of the development in relation to neighbouring properties and the related planning considerations this brings about. It may also bring about the necessity for alterations to the design of the development which are outside of the expectations of the applicant (for example; requiring step(s) up from existing buildings to additions).

It is recommended that appropriate site and adjacent road verge survey information be provided to correctly assess the required minimum FFL for this proposal.

4.0 Verge Interaction (with street tree)

4.1 In association with new development, driveways and stormwater connections through the road verge need to be located and shaped such that they appropriately interact with and accommodate existing verge features in front of the subject and adjacent properties.

New driveways and stormwater connections are required to be located a minimum 1.0 metre offset from other existing or proposed driveways, stormwater connections, stobie poles, street lights, side entry pits and pram ramps, etc. (as measured at the front property boundary).

These new features are also desired to be located a minimum of 2.0 metres from existing street trees, although a lesser offset may be acceptable in some circumstances. If an offset less than the desired 2.0 metres is proposed or if it is requested for the street tree to be removed, then assessment for the suitability of such will be necessary from Council's Technical Officer (Arboriculture).

It is recommended that revised plans indicating satisfaction to the above requirements should be provided to Council. The proposed stormwater connection should pass perpendicular through the road verge.

4.2 I note that Council's Arborist has indicated a removal fee for the street tree required to be removed. Please refer to their commentary.

4.3 It should also be nominated for the stormwater connection through the road verge area to be constructed of shape and material to satisfy Council's standard requirements

- 100 x 50 x 2mm RHS Galvanised Steel or
- 125 x 75 x 2mm RHS Galvanised Steel or
- Multiples of the above.

It is recommended that revised plans clearly and accurately indicating satisfaction of the above criteria be provided to Council.

Regards

Ming Siow

From: Phil Harnett [mailto:pharnett@wtcc.sa.gov.au]
Sent: Tuesday, 13 December 2016 9:54 AM
To: 'Ming Siow' <ming@franksiow.com.au>
Subject: 311-313 Marion Road, North Plympton - Development number 211/499/2016

G'day Ming

You recently provided comment regarding turning circles for development number 211/499/2016.

I've now received a revised plan (attached) which results in.

- a) a wider garage to dwelling 4
- b) the re-location of the porch post servicing dwelling 1 to enable a wider visitor park.

As priority, can you please provide updated comments on the manoeuvring arrangements.

Let me know if you have any questions.

Cheers.

Phil Harnett
Senior Development Officer - Planning
City of West Torrens
165 Sir Donald Bradman Drive
Hilton SA 5033

Email: pharnett@wtcc.sa.gov.au

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Phil Harnett

From: Frank Siow
Sent: Thursday, 1 December 2016 3:59 PM
To: Phil Harnett
Cc: Joseph Ielasi
Subject: 311-313 Marion Road - DA 211/499/2016 - City Assets Comments

Hi Phil,

Pathways isn't working for me right now. Please find my feedback attached below. If you could upload into pathways that would be great as I'm not sure when the new system will be setup for me. Thanks.

1.0 Traffic Comments

- 1.1 I note that in the previous plans, DPTI raised concerns regarding vehicle manoeuvrability into the proposed parking spaces. I note that no turning path diagrams were provided, however, what looks to be a turning template was drawn on plans. These templates are not satisfactory.

In reviewing the revised parking layout, I confirm that the parking for Dwellings 2 and 3 are acceptable. However, the parking shown for Dwellings 1 and 4 are unsatisfactory.

For dwelling 1, the proposed visitor space measures 2.5m in width between a column and solid wall. This does not comply with minimum standards. This area should be widened to 3.0m. Vehicles are also unable to enter the proposed garage conveniently as the door width is only 2.4m. This garage door should be widened to 2.7m.

For dwelling 4, when a car is parked on the right hand side of the garage, a vehicle entering into the left hand side space will have difficulty in getting into the space. This is due to the narrow aisle width adjacent to this garage (5.5m). The garage should be set back further away from the boundary. An aisle width of 6.0m would be appropriate. Furthermore, the empty space between the garage and the rear boundary appears to be a parking space. This area measures only 2.5m between fence and wall and consequently cannot be considered as a parking space. A width of 3.0m would be required.

It is recommended that revised plans showing satisfaction to the above be provided to Council.

- 1.2 It would be preferable to locate the driveway entry on the northern boundary of the property. As indicated by DPTI previously, it would be better to achieve a separation between the intersection of Pembroke Avenue/Marion Road and the proposed driveway access. I note that the existing dwelling utilised a u-shaped driveway arrangement. The northern crossover would typically be used as an entry driveway while the southern crossover would typically be used as an exit driveway (forward direction).

2.0 General Finished Floor Level (FFL) Consideration

- 2.1 Council seeks to ensure that the FFL of all new development is protected from inundation when considering a 350mm stormwater flow depth in the adjacent street watertable.

This is typically achieved through establishing the FFL of new development a minimum of 350mm above the highest adjacent street water table.

In association with the above proposed development, no site or road verge level information has been provided and as such it is impossible to determine if the proposal will satisfy the above consideration.

Simply conditioning that a development satisfy this consideration can have its complications with regards to the ultimately required level of the development in relation to neighbouring properties and the related planning considerations this brings about. It may also bring about the necessity for alterations to the design of the development which are outside of the expectations of the applicant (for example; requiring step(s) up from existing buildings to additions).

It is recommended that appropriate site and adjacent road verge survey information be provided to correctly assess the required minimum FFL for this proposal.

3.0 Verge Interaction (with street tree)

- 3.1 In association with new development, driveways and stormwater connections through the road verge need to be located and shaped such that they appropriately interact with and accommodate existing verge features in front of the subject and adjacent properties.

New driveways and stormwater connections are required to be located a minimum 1.0 metre offset from other existing or proposed driveways, stormwater connections, stobie poles, street lights, side entry pits and pram ramps, etc. (as measured at the front property boundary).

These new features are also desired to be located a minimum of 2.0 metres from existing street trees, although a lesser offset may be acceptable in some circumstances. If an offset less than the desired 2.0 metres is proposed or if it is requested for the street tree to be removed, then assessment for the suitability of such will be necessary from Council's Technical Officer (Arboriculture).

It is recommended that revised plans indicating satisfaction to the above requirements should be provided to Council.

- 3.2 I note that Council's Arborist has indicated a removal fee for the street tree required to be removed. Please refer to their commentary.

- 3.3 It should also be nominated for the stormwater connection through the road verge area to be constructed of shape and material to satisfy Council's standard requirements

- 100 x 50 x 2mm RHS Galvanised Steel or
- 125 x 75 x 2mm RHS Galvanised Steel or
- Multiples of the above.

It is recommended that revised plans clearly and accurately indicating satisfaction of the above criteria be provided to Council.

Regards
Ming Siow

Preliminary Traffic, Flooding & Stormwater Assessment

Development Application No: 211/499/2016

Assessing Officer: Adam Williams
Site Address: 311-313 Marion Road, NORTH PLYMPTON SA 5037
Certificate of Title: CT-5853/626
Description of Development: Construction of four (4) two storey dwellings

TO THE TECHNICAL OFFICER - CITY ASSETS

Please provide your comments in relation to:

- ☐ On-site vehicle parking and manoeuvrability
- ☐ New Crossover

PLANNING OFFICER - Adam Williams

DATE 13 May, 2016



Memo

To Adam Williams
From Baskar Kannappan
Date 19 May 2016
Subject 211/499/2016, 311-313 Marion Road, NORTH PLYMPTON SA 5037

Default System User,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

1.0 Driveway Access of Main Road

- 1.1 The current driveway layout is short of satisfying standard requirement. As it is servicing more than one property, the driveway to the site will required widening to a minimum of 6.0m wide (+ 300mm offset from fences/walls) for the first 6.0m (typically requested by DPTI). Typical DPTI flaring (70°) occurring on both sides of the access should be also provided. **Please see typical sketch attached.**
- 1.2 Based on discussion with our traffic consultant, due to road intersection closer to this proposed driveway, it is recommended that driveway crossover needs to be relocated to northern boundary of the allotment.
- 1.3 As currently presented, it is noted that visitor vehicle 1 is located within the driveway access area and this may result in conflicting vehicle movements. It is recommended that visitor vehicle should be relocated outside the driveway access area.

It is recommended that revised plans showing a driveway that satisfies the above dot points 1.1, 1.2 & 1.3 should be provided to Council.

2.0 Traffic Comments

- 2.1 Elements of the vehicle manoeuvrability within this development appear to be unsatisfactory in consideration of the requirements of the relevant Australian Standard (AS/NZS 2890.1:2004).

The proposed visitor parking at the rear will not allow vehicles to exit the site in a forward direction. It should be noted that a number of changes to the dwelling will be required and no simple solution can be suggested by Council.

In the revision of the traffic manoeuvrability design, it is required that information be provided to clearly demonstrate the compliance of



manoeuvrability for critical parking spaces and movements using suitable techniques as outlined within AS/NZS 2890.1:2004.

It is recommended that the applicant seek advice from someone suitably experienced in traffic design, to assist them in producing a vehicle manoeuvrability design for this site which complies with the Australian Standard requirements, preferably through the use of either "AutoTrack" or "AutoTURN" demonstration. Reports and drawings should then be submitted to Council.

3.0 Verge Interaction (with street tree)

- 3.1 In association with new development, driveways and stormwater connections through the road verge need to be located and shaped such that they appropriately interact with and accommodate existing verge features in front of the subject and adjacent properties.

New driveways and stormwater connections are required to be located a minimum 1.0 metre offset from other existing or proposed driveways, stormwater connections, stobie poles, street lights, side entry pits and pram ramps, etc. (as measured at the front property boundary).

These new features are also desired to be located a minimum of 2.0 metres from existing street trees, although a lesser offset may be acceptable in some circumstances. If an offset less than the desired 2.0 metres is proposed or if it is requested for the street tree to be removed, then assessment for the suitability of such will be necessary from Council's Technical Officer (Arboriculture).

It is recommended that revised plans indicating satisfaction to the above requirements should be provided to Council.

- 3.2 It is noted that the existing crossover will be made redundant. This crossover should be reinstated to vertical kerb prior to the completion of any building works at the applicant's expense. It should also be indicated on revised plans that any redundant crossovers will be reinstated.

It is recommended that revised plans showing the reinstatement of redundant crossovers be provided to Council.

- 2.2 The proposed development is adjacent to Marion Road. It is recommended that DPTI needs to be referred to consider other planning issues.

4.0 FFL Consideration – Finished Floor Level (FFL) Requirement

- 4.1 In accordance with the provided 'Site Plan' (J&M Demetlica drwg received on 06/05/16), the FFL of the proposed development(10.4) has been assessed as



City of **West Torrens**

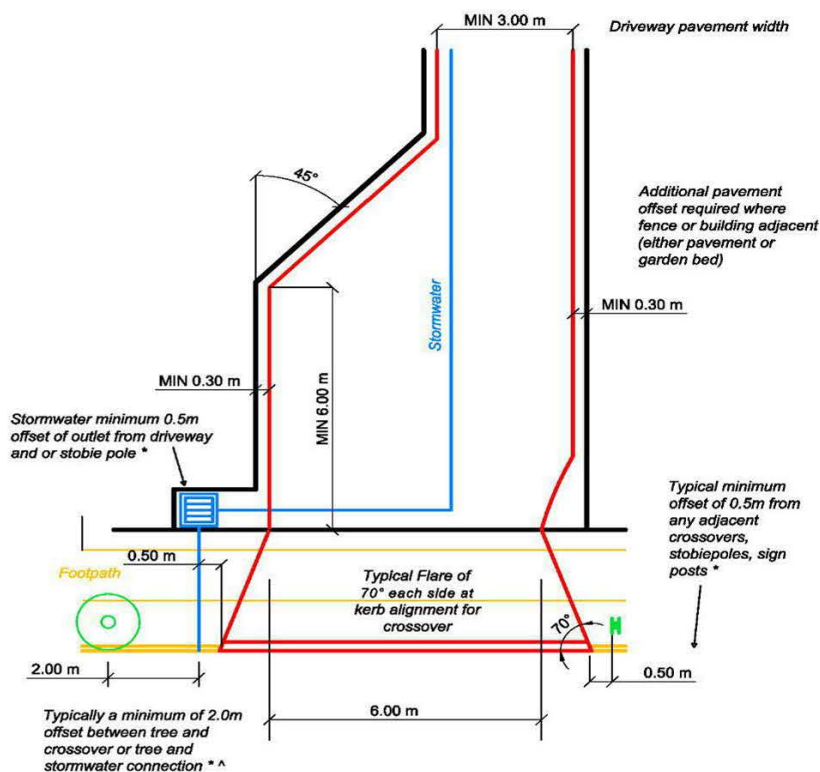
Between the City and the Sea

satisfying minimum requirements in consideration of street and/or flood level information.

Should you require further information, please contact Baskar Kannappan on the following direct extension number 8416 6296

Regards
Baskar Kannappan
 Civil Engineer

ACCESS ARRANGEMENT SERVICING TWO REAR PROPERTY OFF A MAIN ARTERIAL ROAD



NOTES:

* Distance as measured along the kerbline

^ Must be deemed to comply by Council's Technical Officer (Amenity)

Arboricultural Assessment of Street Trees

Development Application No: **211/499/2016**

REFERRAL DUE DATE: 27 May, 2016

Assessing Officer: **Adam Williams**
Site Address: **311-313 Marion Road, NORTH PLYMPTON SA 5037**
Certificate of Title: **CT-5853/626**
Description of Development **Construction of four (4) two storey dwellings**

TO THE TECHNICAL OFFICER – CITY ASSETS

Please provide your comments in relation to:

☐ **The removal of or impact upon the Street Tree**

PLANNING OFFICER - Adam Williams

DATE 13 May 2016

FROM THE TECHNICAL OFFICER

I have examined the plans as requested and provide comments as follow.

As with all development applications it must be proven beyond reasonable doubt that all alternatives have been explored so not to hinder the progress of any street tree(s).

Any proposed development that does not consider "AS4970 Protection of Trees on Development Sites", is likely to require revision until all plans accurately correspond with the specific tree information detailed in this standard.

Verge interaction must consider all services that cross council land including stormwater outlets (and other) which will need to be maintained a minimum of 2.0m from any existing street tree (unless existing or otherwise negotiated).

A site investigation together with the information provided has revealed that the location of the proposed crossover and storm water outlet for the Dwellings will impact on an existing *Pyrus calleryana Chanticleer* street tree.

With reference to the City of West Torrens, Fees and Charges Document 2016-2017 "Tree removal for driveway construction", once Council has assessed all circumstances and considered it acceptable that a street tree can be removed, a fee is calculated based on Council's standard schedule of fees and charges.

The fee is used to offsets the loss of the asset (street tree) to the community, with funds received invested in Council's annual Greening Program.

As a result of the proposed crossovers on Marion Road, City Works has considered the health, structure, form, useful life expectancy, and age of the street tree and will support its removal.

A fee of \$654.00 will be required prior to the commencement of any work.

Please note, under no circumstances is any individuals other than council staff permitted to interfere with a street tree. If pruning etc. is required, council must be notified via the appropriate request, and council staff will perform all works associated with the community asset.

Final crossover locations will be confirmed once appropriate consultation has been received from the applicant and they have submitted "an application to construct a vehicle crossing place(s) across council land".

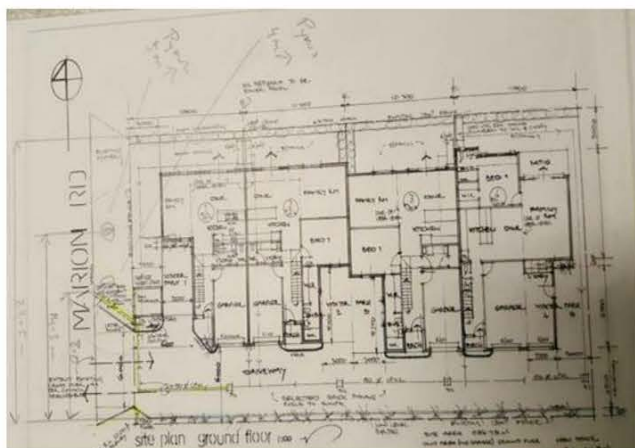
**Rick Holmes
Arboriculture Assistant
165 Sir Donald Bradman Drive
Hilton SA 5033**

Telephone: 8416 6333

Fax: 8443 5709

Email: rholmes@wtcc.sa.gov.au

DATE: 12/07/2016







Contact
Telephone 7109 7016
Facsimile 8303 0604

Planning Services
7109 7016
8303 0604



26th July 2016

Mr Terry Buss
City Manager
City of West Torrens
165 Sir Donald Bradman Drive
HILTON SA 5033

Dear Sir

**Re: Proposed Development Application No. 211/C081/16 (ID 54553)
for Land Division (Community Title Plan) by Kaiz Zaman**

Further to my letter dated 17th June 2016 and to assist the Council in reaching a decision on this application, copies of the reports received by the Commission from agencies that it has consulted have been uploaded for your consideration.

IT IS REQUESTED PURSUANT TO SECTION 33 (1) (c) OF THE DEVELOPMENT ACT, 1993 THAT THE COUNCIL INCLUDE IN ITS DEVELOPMENT APPROVAL THE FOLLOWING REQUIREMENTS OF THE COMMISSION.

1. The financial requirements of the SA Water Corporation shall be met for the provision of water supply and sewerage services (SA Water H0046913).
SA Water advises on receipt of the developer details and site specifications an investigation will be carried out to determine if the connection/s to the development will be costed as standard or non standard.
2. Payment of \$19464 into the Planning and Development Fund (3 allotment/s @ \$6488 /allotment).
Payment may be made by credit card via the internet at www.edala.sa.gov.au or by phone (8303 0724), by cheque payable to the Development Assessment Commission marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Level 5, 136 North Terrace, Adelaide
3. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the Development Assessment Commission for Land Division Certificate purposes.

Council's particular attention is drawn to the comments by the DPTI – Transport Services for this application advising amended plans addressing the issues raised be forwarded for review and comment. Should such plans not be forthcoming, refusal of this application is strongly recommended.

The developer must inform potential purchasers of the community lots in regards to the servicing arrangements and seek written agreement prior to settlement, as future alterations would be at full cost to the owner/applicant.

IT IS ALSO REQUIRED THAT COUNCIL PROVIDE THE DEVELOPMENT ASSESSMENT COMMISSION WITH:

- a) the date on which any existing building(s) on the site were erected (if known);
- b) the postal address of the site; and
- c) a copy of its Decision Notification Form (via EDALA) pursuant to Regulations 60 (4) (b) ii and 44 respectively.

IT IS RECOMMENDED THAT THIS INFORMATION BE INCORPORATED INTO COUNCIL'S ADVICE WHEN REPORTING THAT THEIR REQUIREMENTS (IF ANY) HAVE BEEN FULLY SATISFIED.

Yours faithfully,

A handwritten signature in black ink, appearing to read "P. Hodgson", with a long, sweeping horizontal stroke extending to the right.

Phil Hodgson
Unit Manager, Land Titles Office
as delegate of the
DEVELOPMENT ASSESSMENT COMMISSION
Q:\PLANNINGSERVICES\TEMPLATES\STATEMENTS\ELECTRONIC\TFF2R-CT



25 June 2016

Our Ref: H0046913

The Chairman
Development Assessment Commission
136 North Terrace
ADELAIDE SA 5000

Dear Sir/Madam

PROPOSED LAND DIVISION APPLICATION NO: 211/C081/16 AT NORTH PLYMPTON

In response to the abovementioned proposal, I advise that pursuant to Section 33 of the Development Act it is necessary for the developer to satisfy this Corporation's requirements, which are listed below.

The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.

Subject to our new process, on receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non standard fees.

The developer must inform potential purchasers of the community lots of the servicing arrangements and seek written agreement prior to settlement, as future alterations would be at full cost to the owner/applicant.

Yours faithfully

James Ettridge
for MANAGER LAND DEVELOPMENT & CONNECTIONS

SA Water
Level 6, 250 Victoria Square
ADELAIDE SA 5000
Ph (08) 7424 1119
Inquiries James Ettridge
Telephone 74241119

In reply please quote 2016/00300/01, Process ID: 404734
 Enquiries to Vittorio Varricchio
 Telephone (08) 8226 8393
 Facsimile (08) 8226 8330
 E-mail dpti.luc@sa.gov.au



Government of South Australia

Department of Planning,
 Transport and Infrastructure

06/07/2016

**SAFETY AND SERVICE –
 Traffic Operations**

GPO Box 1533
 Adelaide SA 5001

Telephone: 61 8 8226 8222
 Facsimile: 61 8 8226 8330

ABN 92 366 288 135

The Presiding Member
 Development Assessment Commission
 GPO Box 1815
 ADELAIDE SA 5001

Dear Sir,

SCHEDULE 8 - REFERRAL RESPONSE

Development No.	211/C081/16
Applicant	Kaiz Zaman
Location	311 Marion Road, North Plympton
Proposal	Land Division (1 into 4)

I refer to the above development application (Unique ID 54533) forwarded to the Safety and Service Division of the Department of Planning, Transport and Infrastructure (DPTI) in accordance with Section 37 of the *Development Act 1993*. The proposed development involves development adjacent a main road as described above.

The following response is provided in accordance with Section 37(4)(b) of the *Development Act 1993* and Schedule 8 of the *Development Regulations 2008*.

THE PROPOSAL

The application proposes a complete redevelopment of the site into four residential allotments.

CONSIDERATION

It is DPTI policy to minimise the number of access points on the arterial road network in the interests of road safety, therefore the use of a single shared access point to/from Marion Road to serve all of the proposed dwellings is supported in-principle.

However, it has been noted that the proposed access is located opposite the Marion Road / Pembroke Avenue junction and does not comply with AS/NZS 2890.1:2004, Fig. 3.1 'Prohibited Locations of Access Driveways'. Subsequently, it is strongly recommended that the access to/from the site be located adjacent the northern property boundary to maximise the separation between the site access and the Marion Road / Pembroke Avenue junction. This would involve reversing the proposed development layout.

The shared access should be a minimum of 6.0 metres wide at the property boundary to allow for two-way simultaneous movements and incorporate a clear area of 6.0

10561360

2

metres by 6.0 metres inbound from the property boundary to allow vehicles to store off-street while waiting for another vehicle to enter or exit the property. This 6.0 x 6.0 metre access area must remain clear of any impediments to vehicle manoeuvring (such as meters, vegetation, letterboxes and parked cars). The obsolete crossover/s should also be closed and reinstated to Council standard kerb & gutter at the applicant's expense. Furthermore, a minimum separation of 1.0 metre should be provided between the shared access and the existing tree.

Additionally, to further reduce the likelihood of conflicting movements, it is recommended that any garages and on-site car parking be located a minimum of 6.0 metres from the Marion Road property boundary.

It is also DPTI policy that vehicles should enter and exit arterial roads in a forward direction in the interest of road safety. It is noted that, subject to future garages on the site being appropriately located, sufficient on-site manoeuvring areas is available to enable passenger vehicles to enter and exit Marion Road in a forward direction.

CONCLUSION

DPTI does not support the application in its current form. It is strongly recommended that an amended plan showing:

- All access to/from the site being located adjacent the northern property boundary to maximise the separation between the access and the Marion Road / Pembroke Avenue junction;
- The shared access being a minimum of 6.0 metres wide at the property boundary and incorporating a clear area of 6.0 metres by 6.0 metres inbound from the property boundary;
- The shared area remaining clear of any impediments to vehicle manoeuvring (such as meters, vegetation, letterboxes and parked cars);

be uploaded to EDALA and forwarded to DPTI for review and comment. Should such plans not be forthcoming, refusal of the application is recommended.

Yours sincerely,


MANAGER, TRAFFIC OPERATIONS
For **COMMISSIONER OF HIGHWAYS**

10561360

6.4 27A Stephens Avenue, TORRENSVILLE

Application No 211/74/2017

DEVELOPMENT APPLICATION DETAILS

DEVELOPMENT PROPOSAL	Construct a two-storey detached dwelling with portico and double garage under main roof
APPLICANT	Fairmont Homes Group Pty Ltd
LODGEMENT DATE	23 January 2017
ZONE	Residential Zone
POLICY AREA	Torrensvile Character Policy Area 28
APPLICATION TYPE	Merit
PUBLIC NOTIFICATION	Category 2
REFERRALS	Internal <ul style="list-style-type: none"> City Assets - Engineering
DEVELOPMENT PLAN VERSION	5 May 2016
MEETING DATE	9 May 2017

RECOMMENDATION

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/74/2017 by Fairmont Homes Group Pty Ltd to undertake construction of a two-storey detached dwelling with portico and double garage under main roof at 27a Stephens Avenue (allotment 702) (CT 6139/550) subject to the following conditions of consent:

Council Conditions

- The development shall be undertaken in accordance with the plans and information detailed within the application, except where varied by any condition(s) listed below.
- The finished floor level shall be in accordance with the submitted 'Drainage Plan' (Job Number 1612022 - Drawing Number CRD - Dated January 2017).
- All stormwater design and construction shall be in accordance with Australian Standards and recognised engineering best practices to ensure that stormwater does not adversely affect any adjoining property or public road and for this purpose stormwater drainage shall not at any time:
 - Result in the entry of water into a building; or
 - Affect the stability of a building; or
 - Create unhealthy or dangerous conditions on the site or within the building; or
 - Flow or discharge onto the land of an adjoining owner; and not flow across footpaths or public ways.
- All driveway, parking and manoeuvring areas shall be formed (surfaced with concrete, bitumen or paving) and properly drained, and shall be maintained in a reasonable condition at all times.
- External materials and finishes shall be low-light reflective to prevent glare.

BACKGROUND

The development proposal is presented to the Development Assessment Panel (DAP) for the following reason/s:

- With regard to sites where the Development Assessment Panel has previously refused an application within the last five years, all similar applications on the site shall be assessed and determined by the Development Assessment Panel

PREVIOUS OR RELATED APPLICATION(S)

211/125/2011 - Second Storey addition to existing dwelling with ground floor additions and alterations, part demolition of existing dwelling and the construction of a single storey detached dwelling. - Development Plan Consent Granted 08 June 2011

211/200/2013 - Land Division, Torrens Title, create one additional allotment - Development Approval Granted 17 May 2013

211/723/2013 - Construction of an upper storey additional, cellar, carport and verandah and front masonry fence to an existing dwelling and construction of a new two-storey dwelling to rear of the existing dwelling - Development Plan Consent Refused 01 August 2014

- Information required by Council not received.

211/310/2016 - Construction of two-storey dwelling with garage under main roof - Development Plan Consent Refused 13 September 2016

- Council Wide, Design and Appearance Principle of Development Control 1, 21 and 4.
Reason: The setback will not make a positive contribution to the streetscape.
- Council Wide, Residential Development, Principle of Development Control 4
Reason: The design and appearance of the proposed dwelling is not in keeping with the existing or desired character of the locality and policy area.
- Residential Zone Objective 4 and Principles of Development Control 5 and 8
Reason: The proposed development does not contribute to the desired character of the zone.
- Torrensvile Character Policy Area 28, Objective 1 and Principle of Development Control 2
Reason: The proposed development is not consistent with the desired character for the policy area.

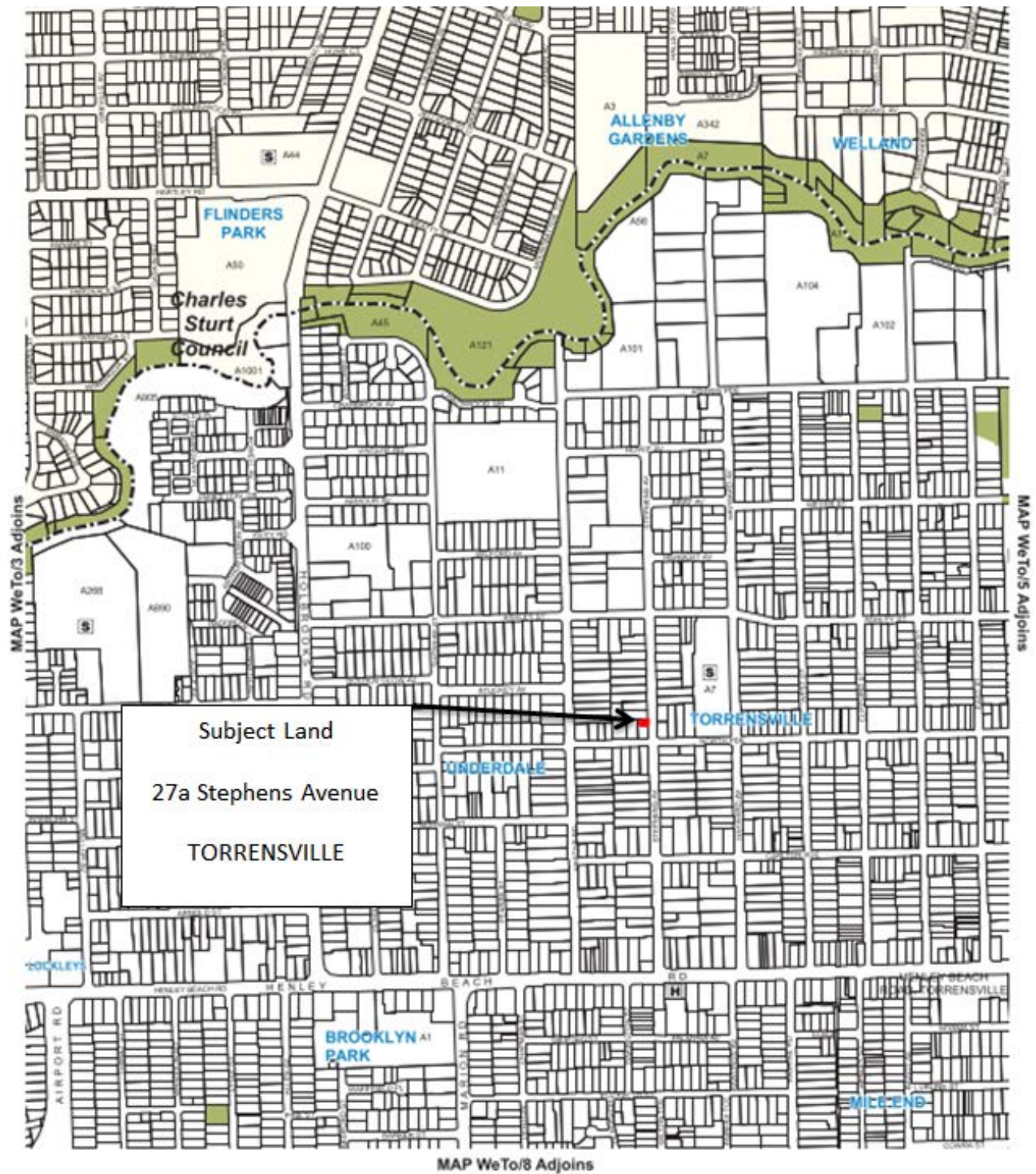
SITE AND LOCALITY

The subject land is described as allotment 702, Deposited Plan 93516 as contained in Certificate of Title Volume 6139 Folio 550. The site is more commonly known as 27a Stevens Avenue, Torrensville.

The site is rectangular in shape and comprises 311 square metres with frontage to Stephens Avenue. The site is reasonably flat and void of trees. The site is smaller than most allotments within the locality which typically range from 700 square metres up to 1100 square metres. The site was created as part of the land division of 124 North Parade, Torrensville (211/200/2013).

The locality is characterised by detached dwellings and tree-lined streets. Dwellings within the locality are predominantly single storey however two-storey buildings exist and in particular two-storey development is currently under construction at 124 North Parade which adjoins the site immediately to the south.





Location Map WeTo/4

- School
- Other Health Services
- Local Reserves
- Development Plan Boundary

WEST TORRENS COUNCIL
Consolidated - 5 May 2016

PROPOSAL

The proposal is for construction of a two-storey detached dwelling with portico and double garage under main roof.

A full copy of the relevant plans are attached, refer **Attachment 1**

PUBLIC NOTIFICATION

The application is a Category 2 form of development pursuant to the procedural matters of the Residential Zone.

Properties notified:	10 properties were notified during the public notification process.
Representations:	0 representations were received.

REFERRALS

Internal

- City Assets - Engineering

A full copy of the relevant report is attached, refer **Attachment 2**.

ASSESSMENT

The subject land is located within the Residential Zone and more particularly Torrensville Character Policy Area 28 as described in the West Torrens Council Development Plan. The main provisions of the Development Plan which relate to the proposed development are as follows:

<u>General Section</u>		
Crime Prevention	Objectives	1
	Principles of Development Control	1, 2 & 3
Design and Appearance	Objectives	1 & 2
	Principles of Development Control	1, 2, 3, 4, 9, 10, 11, 12, 13, 14, 15, 21 & 22
Landscaping, Fences and Walls	Objectives	1 & 2
	Principles of Development Control	1, 2, 3, 4 & 6
Orderly and Sustainable Development	Objectives	1, 2, 3, 4 & 5
	Principles of Development Control	1, 3 & 5
Residential Development	Objectives	1, 2, 3 & 4
	Principles of Development Control	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 27, 28, 29, 30 & 31
Waste	Objectives	1 & 2
	Principles of Development Control	1, 2, 3, 4, 5 & 6

Zone: Residential Zone	
Desired Character Statement:	
<p>This zone will contain predominantly residential development. There may also be some small-scale non-residential activities such as offices, shops, consulting rooms and educational establishments in certain locations. Non-residential activities will be complementary to surrounding dwellings.</p> <p>Allotments will be at very low, low and medium densities to provide a diversity of housing options in different parts of the zone. The range of allotment sizes will support the desired dwelling types anticipated in each policy area, and the minimum allotment sizes shall be treated as such in order to achieve the Desired Character for each policy area and, in turn, reinforce distinction between policy areas. Row dwellings and residential flat buildings will be common near centres and in policy areas where the desired density is higher, in contrast to the predominance of detached dwellings in policy areas where the distinct established character is identified for protection and enhancement. There will also be potential for semi-detached dwellings and group dwellings in other policy areas.</p> <p>Residential development in the form of a multiple dwelling, residential flat building or group dwelling will not be undertaken in a Historic Conservation Area.</p> <p>Landscaping will be provided throughout the zone to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.</p>	
Objectives	1, 2 and 3
Principles of Development Control	1, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14 and 17

Policy Area: Torrensville Character Policy Area 28	
1. Desired Character Statement:	
<p>The policy area will contain predominantly detached dwellings and some semi-detached dwellings.</p> <p>Allotments will vary in size from low to very low density with wide street frontages and even deeper side boundaries. Subdivision will reinforce the existing allotment pattern which is a significant positive feature of the policy area.</p> <p>New development will be complementary to the key character elements of Victorian-era villas, cottages, inter-war bungalow and tudor-style dwellings in the policy area, rather than dominating or detracting from them, particularly as viewed from the street. Key elements of this character include pitched roofs, veranda / porticos and masonry building materials. There will be predominantly one storey buildings, with some two storey buildings designed in a manner that is complementary to the single storey character of nearby buildings. Setbacks will be complementary to the boundary setbacks of nearby older dwellings.</p> <p>There will be no garages/carports forward of the main facade of buildings. Fencing forward of dwellings will be low to provide views of built-form that define the character of the policy area. Any driveway crossovers will be carefully designed and located to ensure the preservation of street trees which have an important positive impact on the streetscape.</p>	
Objectives	1
Principles of Development Control	1 and 2

QUANTITATIVE ASSESSMENT

The proposal is assessed for consistency with the prescriptive requirements of the Development Plan as outlined in the table below:

DEVELOPMENT PLAN PROVISIONS	STANDARD	ASSESSMENT
STREET SETBACK Residential Zone PDC 8	The average setback of adjacent buildings.	<p>Adjacent setbacks</p> <p>27 Stephens Avenue = 9.22m</p> <p>124 North Parade = 0m (on boundary with Stephens Avenue - secondary street frontage)</p> <p>Average Setback between adjacent buildings = 4.6m</p> <p>Proposed Setbacks = 3m up to 5.5m</p> <p>Does Not Satisfy</p>
SIDE SETBACKS Residential Zone PDC 11	<p>Side</p> <p>1m where the vertical side wall is 3m or less</p> <p>2m where the vertical side wall measures between 3m and 6m</p>	<p>0.95m and 1.05m</p> <p>Does Not Satisfy</p> <p>2m and 3m</p> <p>Satisfies</p>
REAR SETBACKS Residential Zone PDC 11	<p>Rear</p> <p>Single storey component = 3m</p> <p>Two storey component = 8m</p>	<p>3.1m setback</p> <p>Satisfies</p> <p>8m</p> <p>Satisfies</p>
PRIVATE OPEN SPACE Residential Development PDC 19	60m ² with a minimum dimension of 4m for allotments between 300m ² and 500m ²	<p>62.6m²</p> <p>Satisfies</p>

LANDSCAPING Module: Landscaping, Fences & Walls PDC: 4	10%	29.6% (including private open space) Satisfies
CARPARKING SPACES Transportation and Access PDC 34	2 car-parking spaces per dwelling, one of which is covered.	3 covered, 1 un-covered Satisfies
GARAGE MAXIMUM FLOOR AREA Residential Development PDC 16	60m ²	37.7m ² Satisfies
GARAGE MAXIMUM WALL HEIGHT Residential Development PDC 16	3m	2.7m Satisfies
GARAGE MINIMUM SETBACK FROM PRIMARY ROAD FRONTAGE Residential Development PDC 16	No closer to the primary road than any part of its associated dwelling	Satisfies
GARAGE MAXIMUM LENGTH ALONG BOUNDARY Residential Development PDC 16	8m or 50% of the length along that boundary, whichever is less	6.4m Satisfies
SITE FACILITIES AND STORAGE Residential Development PDC 31	8m ³	>8m ³ minimum (excess covered space in garage) Satisfies

QUALITATIVE ASSESSMENT

In assessing the merits or otherwise of the application, the proposed development satisfies the relevant Development Plan provisions with the exception of the following, as discussed under the following sub headings:

Land Use and Zoning

The Residential Zone and Torrensville Character Policy Area 28 will contain predominantly residential development. Dwellings are envisaged within the Residential Zone and more specifically, detached dwellings are envisaged within Torrensville Character Policy Area 28.

The proposed land use and detached nature of the proposed dwelling is therefore appropriate to the zone and policy area.

Design and Appearance

The Desired Character within Torrensville Character Policy Area 28 states

"New development will be complementary to the key character elements of Victorian-era villas, cottages, inter-war bungalow and tudor-style dwellings in the policy area, rather than dominating or detracting from them, particularly as viewed from the street. Key elements of this character include pitched roofs, veranda / porticos and masonry building materials. There will be predominantly one storey buildings, with some two storey buildings designed in a manner that is complementary to the single storey character of nearby buildings. Setbacks will be complementary to the boundary setbacks of nearby older dwellings".

When viewed from Stephens Avenue, the proposal would quite obviously be two-storey. The proposal has not been designed in a manner that replicates the prevailing single storey form found elsewhere within the locality. The façade does however have pitched roofs, a porch, masonry features by way of rendered quoins and sandstone veneer, varied roof lines with gables and proportionate windows. The façade is well articulated and proportioned which minimises visual bulk and scale.

The overall height of the proposal would be 7.4 metres to the apex of the roof. In comparison, the authorised dwelling additions currently under construction at 124 North Parade would have a total height of 9.2 metres to the apex of the roof. Whilst the desired character seeks predominantly one-storey form, the proposal is considered complementary to nearby buildings.



Figure 1: 24 North Parade, Torrensville

The key character elements of Victorian-era villas, inter-war bungalows and Tudor-style dwellings are displayed in 'Figures 2, 3 and 4' below.



Figure 2: Victorian-era Villa - 128 North Parade, Torrensville



Figure 3: Inter-war Bungalow - 26 Stephens Avenue, Torrensville



Figure 4: Tudor Style Dwelling - 21 Stephens Avenue, Torrensville

Setbacks

Ground and upper level side and rear setbacks are achieved other than the ground level setback from the northern side boundary. The shortfall of 0.05 metres is minor and of no consequence. The reduced setback would not result in unreasonable visual impact or overshadowing and would not detrimentally impact upon the presentation of the streetscape or surrounding character.

The existing dwelling at 27 Stephens Avenue is setback approximately 9.2 metres from the front property boundary. 124 North Parade is a corner allotment with Stephens Avenue as the secondary frontage. The dwelling at 124 North Parade is built to the Stephens Avenue boundary (Refer *Figure 1*) and therefore has a 0 metre setback. The setback difference between neighbouring dwellings is greater than 2 metres. Therefore the average setback of neighbouring dwellings (4.6 metres) should be applied to the proposal.

The proposal would be setback 3 metres with the garage setback behind at 5.5 metres from the front property boundary. Given its staggered nature (3 metres up to 5.5 metres), the proposed average setback is 4.25 metres. Technically, the proposal does not achieve the front setback in accordance with the Development Plan. With 28 Stephens Avenue setback approximately 4 metres and 30 Stephens Avenue setback approximately 3 metres, it is acknowledged that dwellings nearby have similar front setbacks to that proposed. In the context of the locality, the proposed setback is considered acceptable and would not detrimentally impact upon the character of the locality or the presentation of the streetscape.

Overlooking and Overshadowing

General Section, Residential Development PDC 27 states

"Except for buildings of 3 or more storeys, upper level windows, balconies, terraces and decks that overlook habitable room windows or private open space of dwellings should maximise visual privacy through the use of measures such as sill heights of not less than 1.7 metres or permanent screens having a height of 1.7 metres above finished floor level".

Upper level balconies, terraces or decks are not proposed. Side and rear facing windows would be have sill heights a minimum 1.7 metres above internal floor level. A condition enforcing this requirement is appropriate should planning consent be granted.

General Section, Residential Development PDC's 11 and 12 states

"Development should ensure that north-facing windows to habitable rooms of existing dwelling(s) on the same allotment, and on adjacent allotments, receive at least 3 hours of direct sunlight over a portion of their surface between 9.00 am and 5.00 pm on the 21 June".

"Development should ensure that ground-level open space of existing buildings receives direct sunlight for a minimum of two hours between 9.00 am and 3.00 pm on 21 June to at least the smaller of the following:

- (a) half of the existing ground-level open space*
- (b) 35 square metres of the existing ground-level open space (with at least one of the area's dimensions measuring 2.5 metres)".*

The proposal would not unreasonably overshadow 27 Stephens Avenue or 126 North Parade due to the path of the sun.

124 North Parade may be prone to some shadow by the proposal during particular times of the day however it must be noted that the proposal achieves ground floor side setbacks and exceeds upper level side setbacks with regard to the shared boundary. As such, the proposal is not considered to impose an unreasonable level of overshadowing.

Colours and Materials

External walls and roofs of buildings should not incorporate highly reflective materials which will result in glare to neighbouring properties or drivers. In addition, the desired character of Torrensville Character Policy Area 28 desires the use of masonry building materials. Proposed external materials are shown below.

Roof	Colorbond
Walls	Sandstone veneer with rendered quoins to façade Face brick and 'James Hardie' cladding to remainder

Neither external material would be highly reflective or result in glare. The majority of the façade would incorporate sandstone and rendered materials reasonably appropriate in the context of Torrensville Character Policy Area 28.

Site Storage

A dwelling should incorporate a minimum storage area of 8 cubic metres for goods and chattels. The proposal far exceeds the minimum 8 cubic metres as per the Development Plan. In addition to the store provided under the stairwell, the proposal exceeds car parking requirements and could use half the garage for storage purposes.

SUMMARY

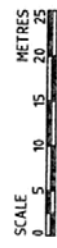
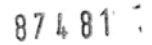
Reasonable attempts have been made to ensure a façade that is complementary to the policy area and surrounding character despite the dwellings height. The proposed gable roof lines are somewhat reminiscent of inter-war bungalows. Proportioned and well-spaced windows are characteristic of Victorian-era villas. The proposal has a porch and masonry features by way of rendered quoins and sandstone veneer as desired by the policy area and reasonably preserves the amenity of adjoining allotments.

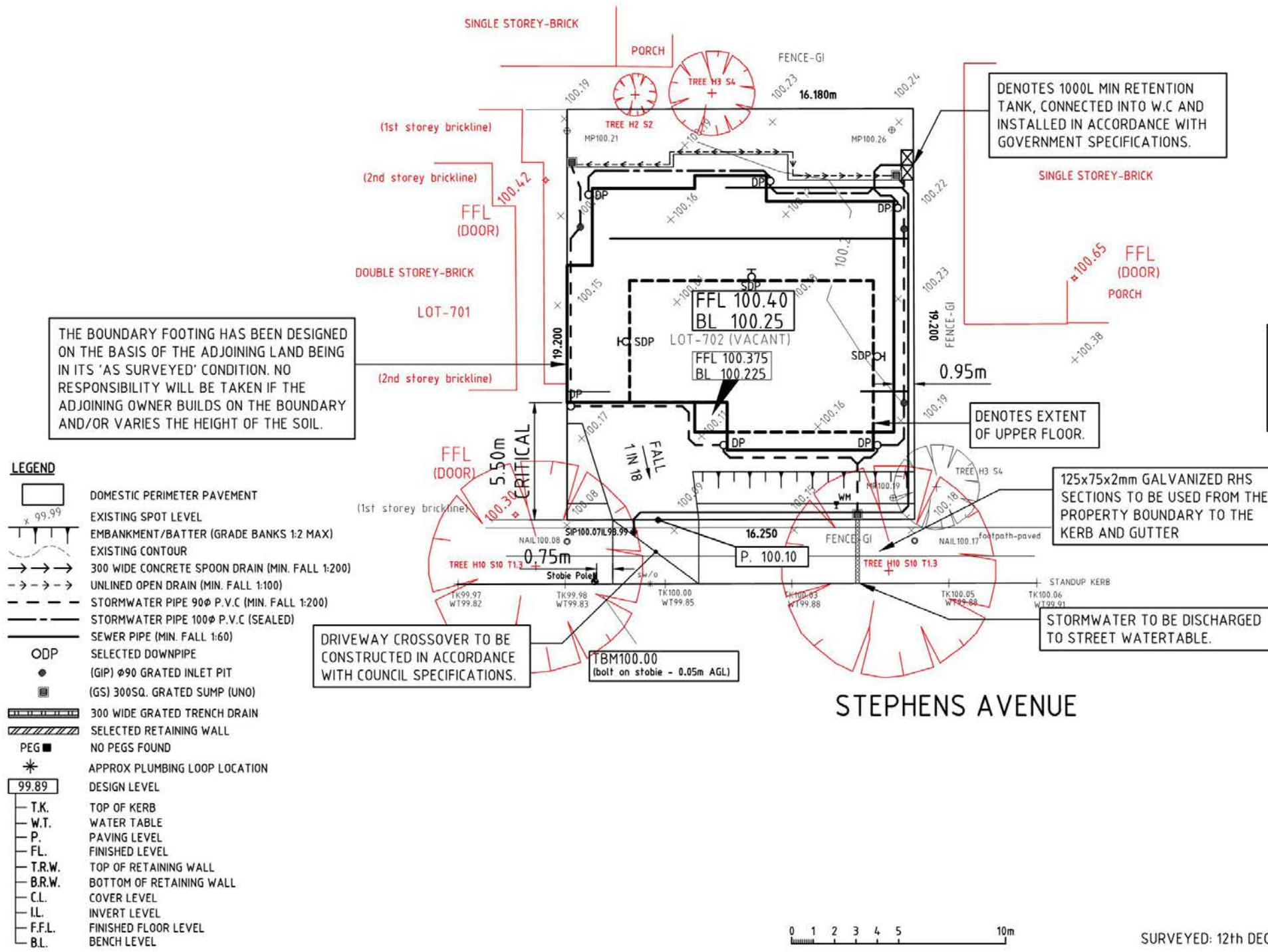
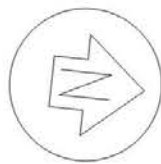
Having considered all the relevant Objectives and Principles of the Development Plan, the proposal is considered to be not seriously at variance with the Development Plan.

On balance the proposed development sufficiently accords with the relevant provisions contained within the West Torrens Council Development Plan Consolidated 05 May 2016 and warrants Development Plan Consent.

Attachments

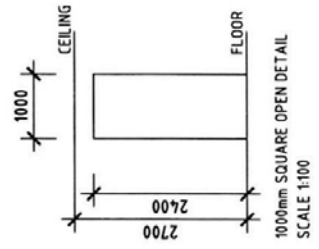
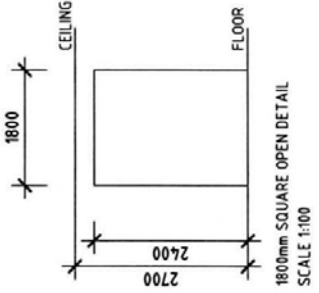
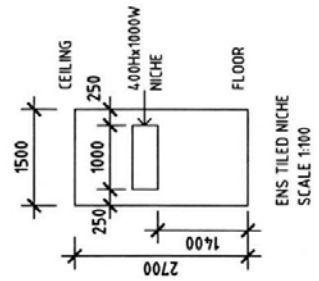
- 1. Application Plans and Details**
- 2. Referral Comments**



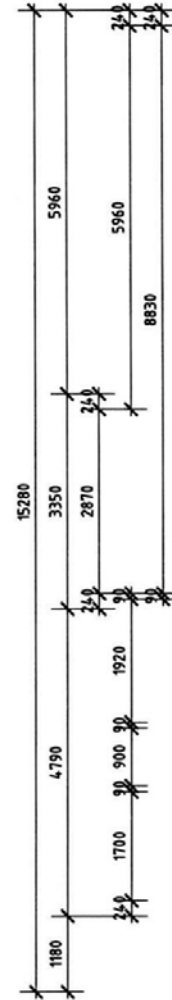


A.	REVISED DRIVEWAY	DM	GM	15.3.17
No.	REVISION	DRAWN	CHECK'D	DATE
SITE				
PROPOSED RESIDENCE				
AT: LOT 702 STEPHENS AVENUE				
TORRENSVILLE SA				
FOR: WADE KEITH HARRISON & NATASHA ANN MORRISON				
TITLE				
DRAINAGE PLAN				
Soil Testing & Residential Footing Design Specialists				
Level 6, 100 Pirie Street				
Adelaide SA 5000				
Telephone (08) 8231 9877				
Facsimile (08) 8410 1405				
A Division of TMK & Associates				
ACN 008 080 046				
SAF CONSULTING ENGINEERS				
SCALES		JOB No.		
DRAWN		1612022		
DATE		Jan-17		
ENGINEER		DWG. No. CRD/A FAIR		

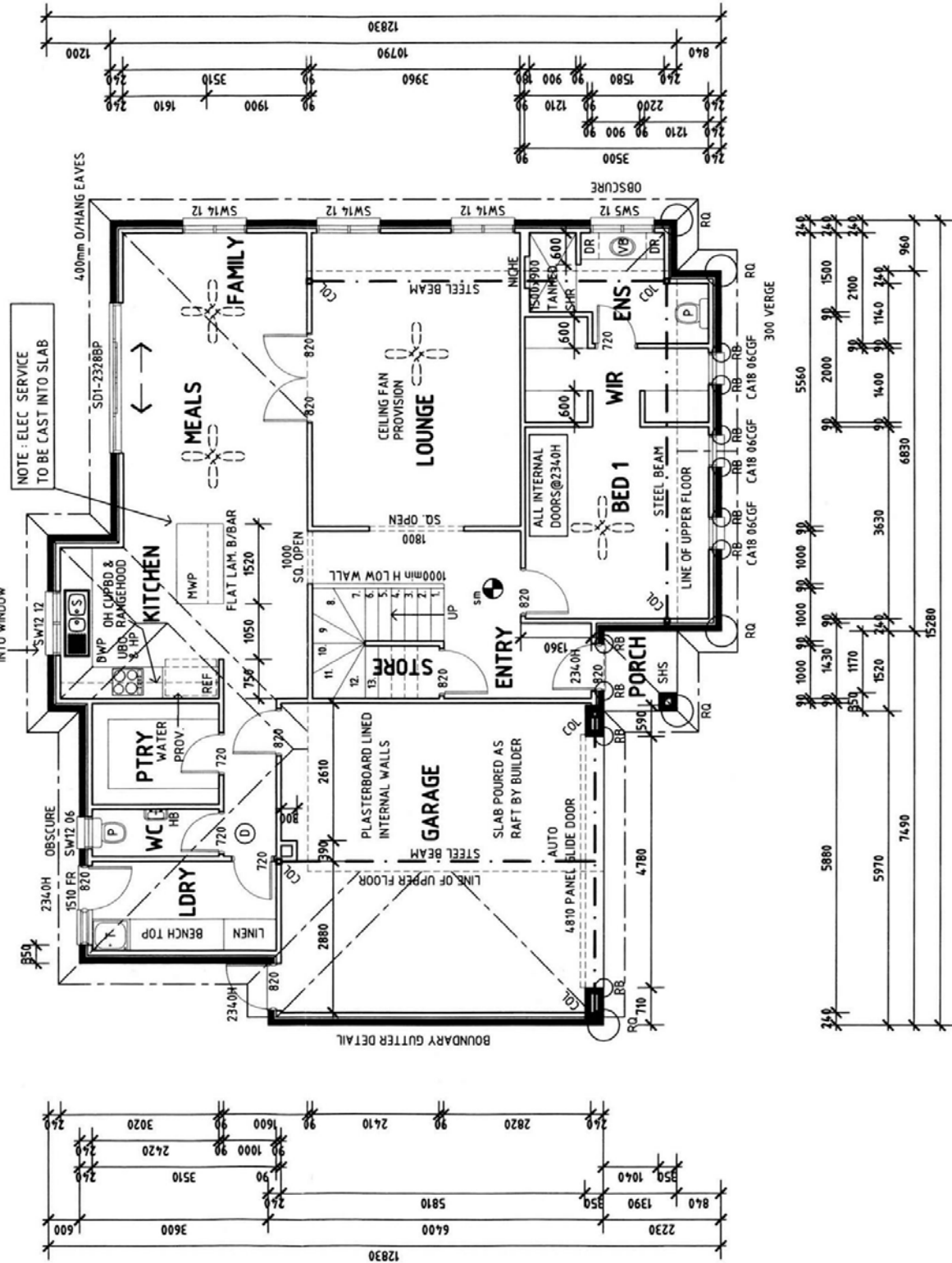
JOB NO: 87481	HOUSE TYPE: OWNERS
--------------------------------	-------------------------------------




DUCTED REVERSE A/C



PLUMBING LOOP TO TOILET
INC. SINGLE WATERPROOF
POWER POINT. RAINWATER
TANK BY OWNER





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 PO Box 179 Hindmarsh SA 5007
 P fairmonthomes.com.au
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 Consented Fmk (08) 8212 9884
 ASN 26 110 542 353
 Country FREE Call 1800 638 076
 Builders Licence No: 188913

I/WE HAVE READ ARCHITECTURAL PLANS, ELEVATIONS & SELECTIONS THOROUGHLY & ACCEPT THESE PLANS AS FINAL FOR CONSTRUCTION.

FINAL PLAN APPROVED

/

PROPOSED DWELLING FOR : W. HARRISON & N. MORRISON

AT LOT : 702 STEPHENS AVENUE TORRENSVILLE

AREAS sqm	drawn : HN	written dimensions are to be taken in preference to scaled drawings, contractors to verify levels and commencement of building set out.
main building	122.43	date : 03.01.17
verandah and porches	72.90	checked : X
allotment	2.11	date : X
garages and carports	37.60	council : X
total	234.64	

WINDOWS & AS DOORS ARE DENOTED BY CODE ONLY. THESE ARE NOT ACTUAL SIZES. EXAMPLE : SW 1815 OR SD 18 OR SIMILAR ARE CODES ONLY.

JOB NO:

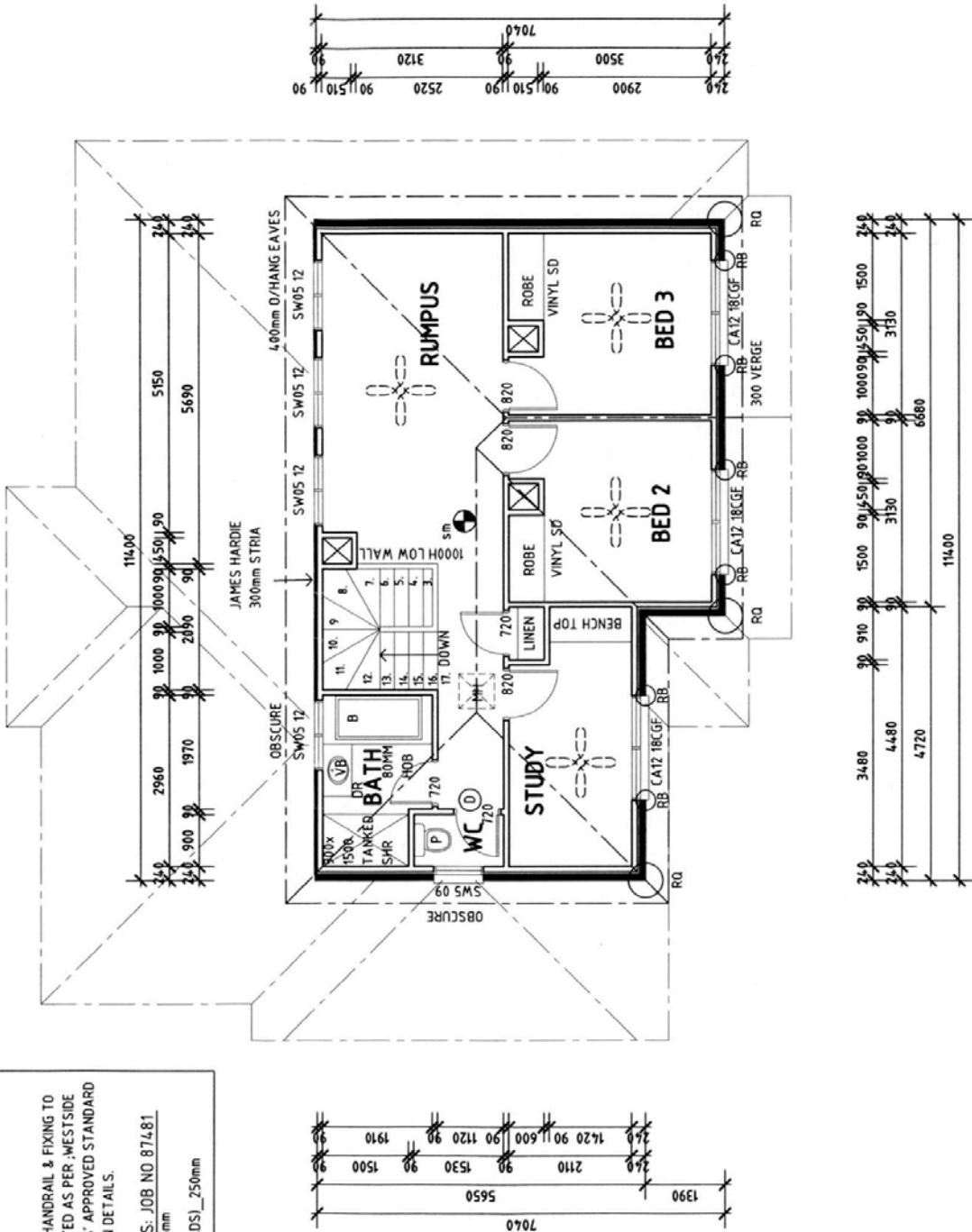
87481

TRIM CEILINGS PARALLEL TO ALL ANGLED WALLS.
TRIM ALL VALLEY & HIP INTERSECTIONS FOR CEILING LININGS.

INTERNAL:
STAIRS & BALUSTRADE TO BE CONSTRUCTED AS PER 'BCL' JOINERIES' APPROVED STANDARD CONSTRUCTION DETAILS.






EXTERNAL:
BALUSTRADE, HANDRAIL & FIXING TO BE CONSTRUCTED AS PER 'WESTSIDE BALUSTRADES' APPROVED STANDARD CONSTRUCTION DETAILS.

STAIR NOTES: JOB NO 87481
RISER_184.5mm
GOING (TREADS)_250mm



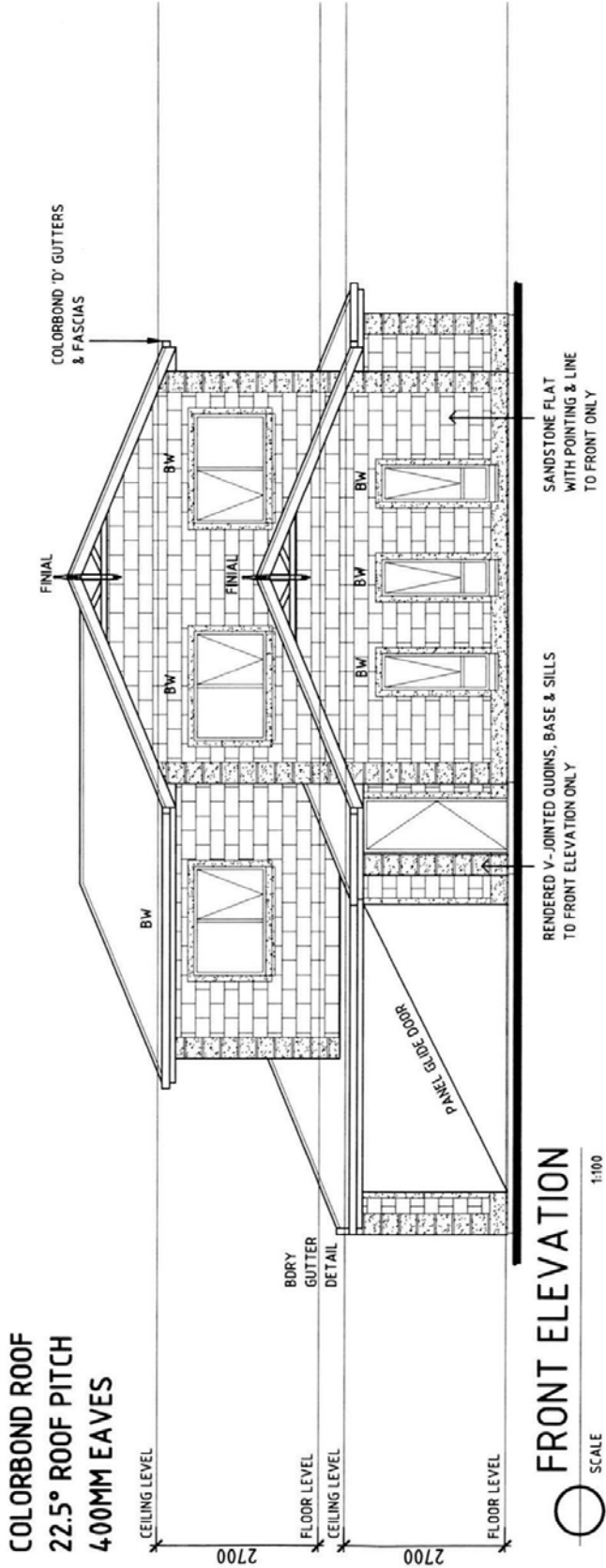
UPPER PLAN

SCALE 1:100

LEGEND:	 HH: DENOTES 600 X 600 ROOF ACCESS DOOR	NOTES:	GARAGE & CARPORT CEILING LINED WITH NON COMBUSTIBLE MATERIAL	AMENDMENTS :	DATE
	 ES: ESCAPE HINGES WHERE SHOWN				
	 SM: DENOTES SELF CONTAINED SMOKE ALARM AS PER A.S. 3186 - HARD WIRED				
	 EX: EXHAUST FAN				
	 SK: 600x600 VENTED SKYLIGHT				
			EXTERNAL DOORS & WINDOW HEAD HEIGHTS MAY VARY WITH CEILING HEIGHTS ABOVE 2400mm. ALL DOORS WILL BE FITTED WITH AN EXTERNAL FLASHING AS REQUIRED.	X	X

JOB NO: 87481		HOUSE TYPE: OWNERS		ELECTRICAL		PLUMBING	
				LPTS TV PTS	INC DBLS	HWS	
WIND SPEED N1-28 M/S	BUSHFIRE N/A	BRICKS				BATHROOM	TANKING TO SHR
ROOF PITCH 25°	EAVES 4,00MM					BATH / SPA	
EXT. WALL INS. R2.0				EXHAUST FANS		TAPS	
CEILING INS. R4.0 (INC. GARAGE/CARPORT)				R/HOOD		PAN, CISTERN	
INT. WALL INS. R2.0		MORTAR				ENSUITE	TANKING TO SHR
BETWEEN TWO STOREY INS. R2.0		QUOINS		OVEN		BATH / SPA	
TILES / C-BOND		BASE SILLS		HP		BATH / SPA	
WINDOWS (A & L)				D-WASHER PROV INC P/P		BATH / SPA	
WINDOW GRIDS				HWS		BATH / SPA	
SKIRTS / DR AVES				COLOUR L/P & P/P		PAN, CISTERN	
WIN LININGS/ WIN AVES		CEILING HEIGHT 2700mm & 2700mm		A.C. PROV.		VANITY / WC	
FRONT DOOR		WALLS		GAS HEATER		TAPS	
SIDELIGHT		SILLS		GAS POINT		PAN, CISTERN	
INT. DOORS		PIERS		TELSTRA CONDUIT		LAUNDRY	
GAR/ CAR/ LDRY/ DR		SUNKEN		CONSUMER MAINS		TROUGH	
GARAGE POURED AS RAFT BY BUILDER		RAKED		3 PHASE POWER		TAPS	
DRY-WAY/PATHS/ALFRESCO BY OWNER		F.B.W.		W/PROOF P/P FOR RW TANK		KITCHEN	
VER / POR		BAY		YES/NO		SINK	
DOOR FURNITURE		HEIGHT		ROLLERDOOR		TAPS	
DEADLOCKS		OPENINGS		PANEL GLIDE DOOR		DISHWASHER PROV	
DOOR WEATHER SEALS		BRICKS				RAINWATER	
KEYLOCKS		DELIVERED				DEEP DRAINAGE	
						RAINWATER TANK BY OWNER / BUILDER	
						PLUMBING LOOP TO TOILET x	
PAINTING (WASHABLE)		WALLS		CEILING			
DOORS		SKIRTS / AVES		EAVES WORN WHITE			
HANDRAIL & NEWELL POSTS		FRONT DOOR		GUTTER			
BALLUSTERS		GAR/ CAR/ LDRY/ DR		FASCIA			
STRINGERS				D/ PIPES			
TREADS & RISERS		GABLE TRIM		POSTS			
HANDRAIL & NEWELL POSTS				GABLE INFILL			
BALLUSTERS							
STRINGERS							
TREADS & RISERS							

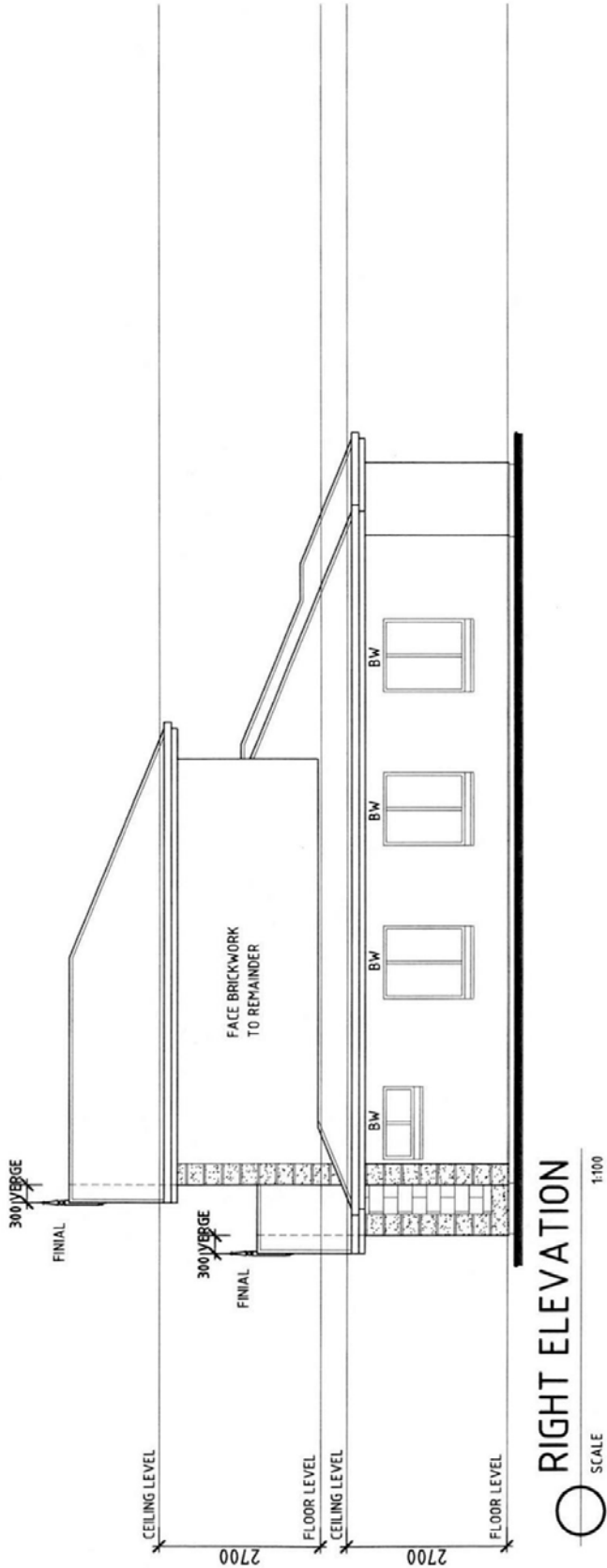
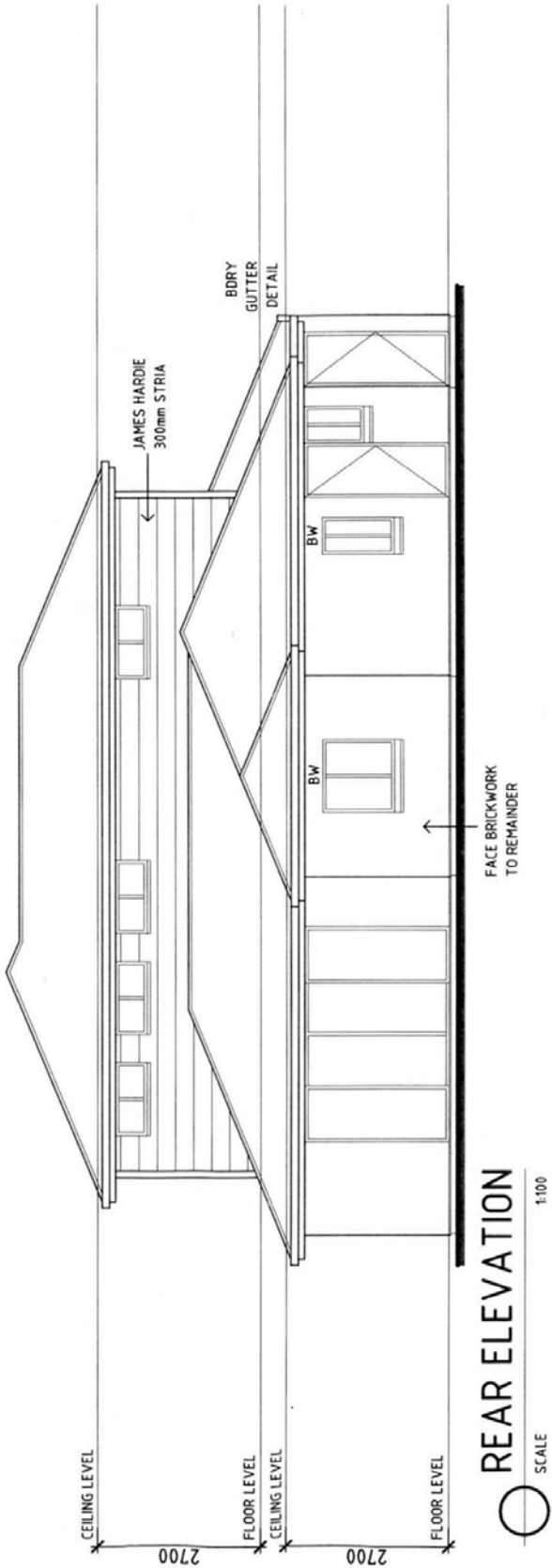
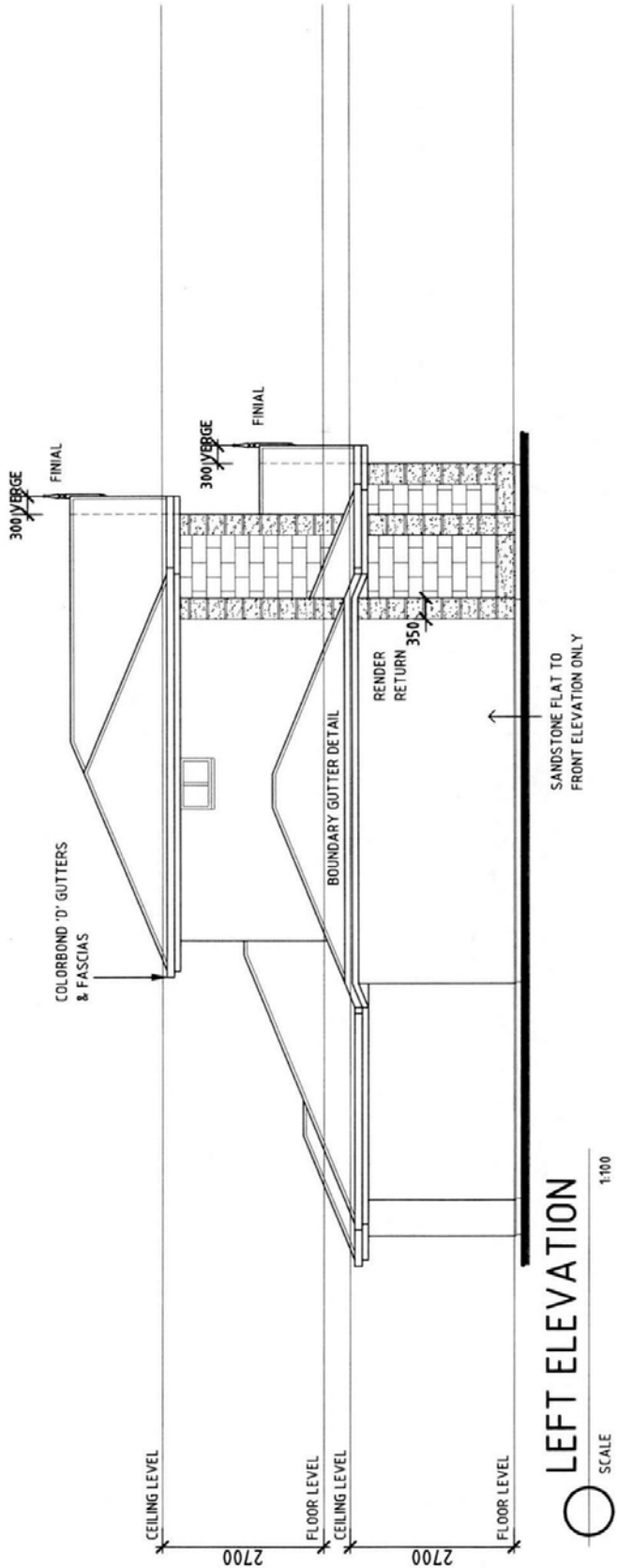
DUCTED REVERSE A/C



FairmontHomes <i>Build for life!</i>		I/WE HAVE READ ARCHITECTURAL PLANS, ELEVATIONS & SELECTIONS THOROUGHLY & ACCEPT THESE PLANS AS FINAL FOR CONSTRUCTION.		PROPOSED DWELLING FOR: W. HARRISON & N. MORRISON AT LOT: 702 STEPHENS AVENUE TORRENSVILLE	
Fairmont Homes Group Pty Ltd Ph (08) 8112 3112 Fax (08) 8212 9893 Construction Fax (08) 8212 9894 Country FREE Call 1800 638 076		21-24 North Tor Adelaide 5000 P O Box 179 Hindmarsh SA 5007 fairmonthomes.com.au ABN 26 110 542 553 Builders Licence No: 186013		AREAS sqm ground floor 122.43 upper floor 72.50 porch 2.11 garage 37.60 total 234.64	
FINAL PLAN APPROVED		DRAWN: HN DATE: 03.01.17 CHECKED: X DATE: 2.11 COUNCIL: X		WRITTEN DIMENSIONS ARE TO BE TAKEN FROM THESE PLANS. CONTRACTORS TO VERIFY LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF BUILDING SET OUT. WINDOWS & AS DOORS ARE DENOTED BY CODE ONLY. THESE ARE NOT ACTUAL SIZES. EXAMPLE: SW 1815 OR SD 18 OR SIMILAR ARE CODES ONLY.	

JOB NO:
87481

TRIM CEILINGS PARALLEL TO
ALL ANGLED WALLS.
TRIM ALL VALLEY & HIP
INTERSECTIONS FOR CEILING LININGS



LEGEND:		NOTES:	
	MH: DENOTES 600 X 600 ROOF ACCESS DOOR		CJ: DENOTES CONTROL JOINT IN B/WORK
	ES: ESCAPE HINGES WHERE SHOWN		BD: DENOTES RENDERED QUOIN
	SM: DENOTES SELF CONTAINED SMOKE ALARM AS PER A.S. 3786 - HARD WIRED		RB: DENOTES RENDERED BAND
	EX: EXHAUST FAN		BW: DENOTES BRICKWORK OVER OPENING
			IP: DENOTES INFILL PANEL OVER OPENING
			DP: DENOTES DOWNPIPE (INDICATIVE ONLY)
			LL: DENOTES STICK ON LEADLIGHT
			SK: 600x600 VENTED SKYLIGHT
GARAGE & CARPORT CEILING LINED WITH NON COMBUSTIBLE MATERIAL		EXTERNAL DOORS & WINDOW HEAD HEIGHTS MAY VARY WITH CEILING HEIGHTS ABOVE 2400mm. ALL DOORS WILL BE FITTED WITH AN EXTERNAL FLASHING AS REQUIRED.	
AMENDMENTS:		DATE	
X		X	

0m

1m

2m

3m

4m

5m

SCALE

1:100

Preliminary Traffic, Flooding & Stormwater Assessment

Development Application No: 211/74/2017

Assessing Officer: Phil Harnett
Site Address: 27A Stephens Avenue, TORRENSVILLE SA 5031
Certificate of Title: CT-6139/550
Description of Development: Construct a two-storey detached dwelling with portico and double garage under main roof

TO THE TECHNICAL OFFICER - CITY ASSETS

Please provide your comments in relation to:

- ☐ Site drainage and stormwater disposal
- ☐ Required FFL
- ☐ On-site vehicle parking and manoeuvrability
- ☐ New Crossover
- ☐ Your advice is also sought on other aspects of the proposal as follows:

.....
.....

PLANNING OFFICER - Phil Harnett

DATE 10 March, 2017



Memo

To Phil Harnett
From Ming Siow
Date 10/3/17
Subject 211/74/2017, 27A Stephens Avenue, TORRENSVILLE SA 5031

Phil Harnett,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

1.0 FFL Consideration – Finished Floor Level (FFL) Requirement

- 1.1 In accordance with the provided 'Drainage Plan' (SAF - Job No. 1612022 - Drawing No. CRD), the FFL of the proposed development (100.40) has been assessed as satisfying minimum requirements (100.23) in consideration of street and/or flood level information.

2.0 Verge Interaction (with street tree)

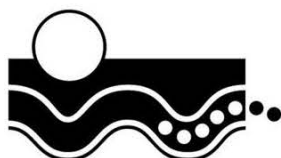
- 2.1 In association with new development, driveways and stormwater connections through the road verge need to be located and shaped such that they appropriately interact with and accommodate existing verge features in front of the subject and adjacent properties.

New driveways and stormwater connections are required to be located a minimum 1.0 metre offset from other existing or proposed driveways, stormwater connections, stobie poles, street lights, side entry pits and pram ramps, etc. (as measured at the front property boundary).

These new features are also desired to be located a minimum of 2.0 metres from existing street trees, although a lesser offset may be acceptable in some circumstances. If an offset less than the desired 2.0 metres is proposed or if it is requested for the street tree to be removed, then assessment for the suitability of such will be necessary from Council's Technical Officer (Arboriculture).

It is recommended that revised plans indicating satisfaction to the above requirements be provided to Council.

- 2.2 A lesser offset of 0.75m to the stobie pole would be acceptable in order to improve vehicle access into the proposed garage. In addition



City of **West Torrens**

Between the City and the Sea

to this, the garage door should be widened to 5.0m to facilitate vehicle manoeuvrability.

It is recommended that the above changes be shown on revised plans.

- 2.3 The proposed stormwater connection is within 2.0m of an existing street tree. This should be relocated slightly to achieve a minimum offset of 2.0m.

It should also be nominated for the stormwater connection through the road verge area to be constructed of shape and material to satisfy Council's standard requirements

- 100 x 50 x 2mm RHS Galvanised Steel or
- 125 x 75 x 2mm RHS Galvanised Steel or
- Multiples of the above.

It is recommended that revised plans clearly and accurately indicating satisfaction of the above criteria be provided to Council.

Should you require further information, please contact Jane Teng on the following direct extension number 8416 6296

Regards

Ming Siow

6.5 23 White Avenue, LOCKLEYS

Application No 211/271/2017

DEVELOPMENT APPLICATION DETAILS

DEVELOPMENT PROPOSAL	Construction of a carport, alfresco, swimming pool and safety fence and a masonry front fence with sliding gate
APPLICANT	Betty Douflias
APPLICATION NO	211/271/2017
LODGEMENT DATE	08/03/2017
ZONE	Residential Zone
POLICY AREA	Low Density Policy Area 21
APPLICATION TYPE	Merit
PUBLIC NOTIFICATION	Cat 1
REFERRALS	Internal <ul style="list-style-type: none"> ▪ City Assets External <ul style="list-style-type: none"> ▪ Nil
DEVELOPMENT PLAN VERSION	5 May 2016
MEETING DATE	9 May 2017

RECOMMENDATION

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to REFUSE Development Approval for Application No. 211/271/2017 by Betty Douflias to construct a carport, alfresco, swimming pool and a safety fence and a masonry front fence with sliding gate at 23 White Avenue Lockleys (CT 5923/408) for the following reasons:

1. The proposed development is contrary to
 - Design and Appearance Council Wide Objectives 1
Reason: The proposal does not exhibit a high design standard that reinforces the positive aspects of the local environment.
 - Design and Appearance Council Wide Principles of Development Control 13 & 15
Reason: The proposal does not have a co-ordinated appearance that maintains the attractiveness of the locality and the dwelling entry point is not readily perceptible from the public realm.
 - Landscaping, Fences and Walls Council Wide Objectives 2
Reason: The proposal will not be in keeping with the locality or the Desired Character of the Policy Area.
 - Landscaping, Fences and Walls Principles of Development Control 6
Reason: The proposal will not be compatible with existing predominant, attractive fences in the locality, will not enable visibility of the buildings from the street to allow casual surveillance and will not be constructed of non-flammable materials.
 - Design and Appearance Council Wide Principles of Development Control 21
Reason: the proposal does not have a similar or compatible setback with buildings on adjoining land.

- Residential Development Council Wide Principles of Development Control 4, 8, 16
Reason: The proposal will detrimentally impact the visual amenity of the site and locality.
 - Residential Development Council Wide Principles of Development Control 18, 19, 20 & 21
Reason: The proposal does not provide enough private open space.
 - Residential Zone Objective 4
Reason: The proposal does not contribute to the Desired Character of the Zone
 - Residential Zone Principles of Development Control 5 & 8
Reason: The proposal is not consistent with the Desired Character of the Zone and Policy Area and it will not have a setback that is the same as one of the adjacent buildings.
-

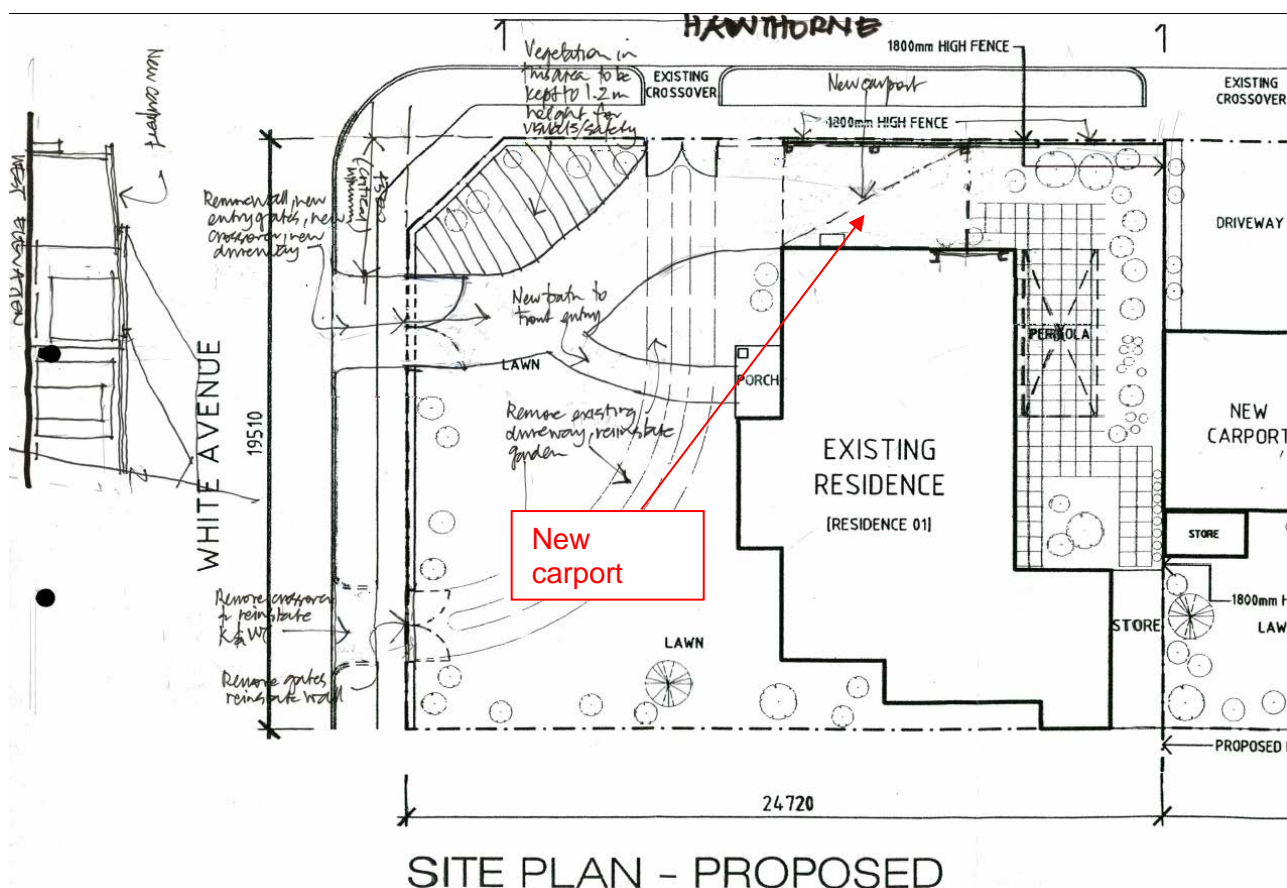
BACKGROUND

The development proposal is presented to the Development Assessment Panel (DAP) for the following reason:

- All applications where the assessing officer recommends refusal, shall be assessed and determined by the DAP.

This allotment was created via application 211/1565/2003 where a portion of the rear of the allotment was divided to create two new allotment 23 White Ave (subject site) and 8 Hawthorn St.

During the assessment of the above application, the amount and location of POS and off street vehicle parking was considered to be issues and the Applicant was requested to amend their plans to provide both behind the main face of the dwelling and to also decommission one of the vehicle crossovers. The plans were changed and the application gained an approval, however the application has not been completed in accordance with these approved plans.



The current owners of the dwelling have recently lodged and then subsequently withdrawn two applications. One being for a front fence and carport forward of the dwelling and the other for a swimming pool forward of the dwelling. The carport in the withdrawn application was to be located in the same position as the proposed alfresco area (**Attachment 1**), albeit 1m deeper.

Once the Applicant was informed that staff could not support such an application and it would go to the DAP with a recommendation for refusal, they withdrew both applications.

PREVIOUS OR RELATED APPLICATIONS

- DA 211/144/2017 - Swimming pool (withdrawn)
- DA 211/1464/2016 - Construction of a carport and brush and masonry front fence (withdrawn)
- DA 211/1565/2003 - Land Division - Torrens Title (DAC no; 211/D603/03)
- DA 211/1065/2003 - Alterations and additions to existing dwelling and the construction of a new dwelling

SITE AND LOCALITY

The land is irregular in shape and located in the south eastern corner of the White Ave and Hawthorne St intersection. It is formally described as Allotment 61 Deposited Plan 64890 in the area named Lockleys, more commonly known as 23 White Ave, Lockleys.

With a primary frontage of 20.76m to White Ave and a secondary frontage to Hawthorne St of 21.67m it results in an area of 478m². There is currently a single storey detached dwelling exhibiting a conventional design and a shade sail constructed on the allotment. The dwelling is setback approximately 10m from White Ave and 3.6m from Hawthorne St.

The allotment currently has three vehicular access points, one from White Ave and two from Hawthorne St, although as previously discussed one of these should have been reinstated to upright kerb.

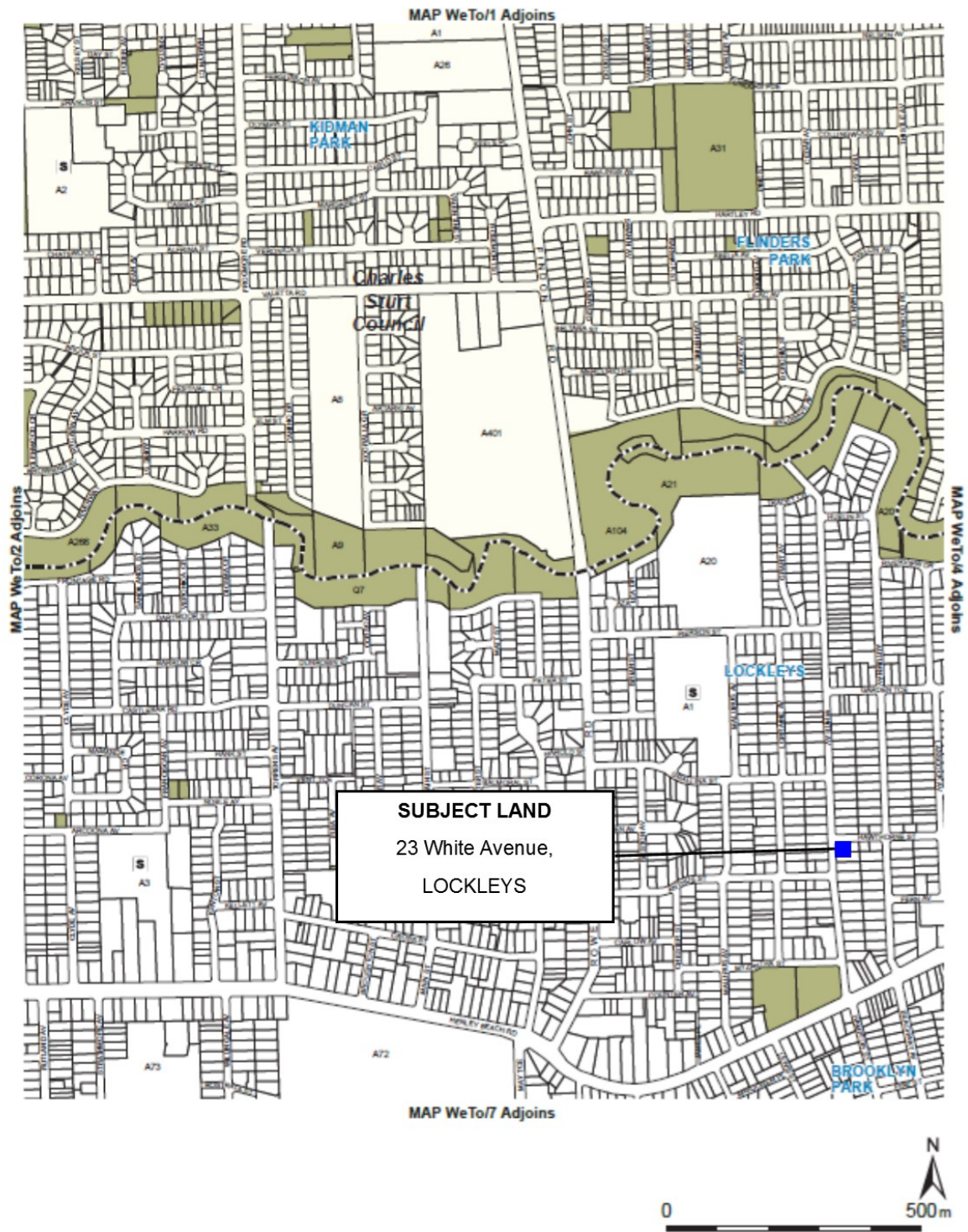
The allotment is flat and formally landscaped with grass and sculpted bushes in the front yard. There are two mature street trees in front of the property one on each of the street frontages.

The locality is residential in nature characterised by single storey detached dwellings at low density. There are some examples of infill development on corner allotments such as the subject site. There is a strong character in terms of dwelling setbacks, dwelling design and open vegetated front gardens. All dwellings in the locality have carports or garages located behind the main face of the dwellings and the older dwellings have only a single carport or garage. Where front fences exist, they are either low or of an open style that allows the dwelling and front door to be easily viewed from the public realm.

The locality is not within a flood zone or aircraft noise area.

Overall it is considered that the prevailing character of the locality provides a high level of amenity for its residents.





Location Map WeTo/3

- School
- Local Reserves
- Development Plan Boundary

WEST TORRENS COUNCIL
Consolidated - 5 May 2016

PROPOSAL

It is considered that the proposal is best described as follows:

"Construction of a carport, alfresco, swimming pool and safety fence and a masonry front fence with sliding gate."

The proposal seeks to construct the swimming pool, front fence and alfresco forward of the dwelling and the carport behind the dwelling.

The front fence will be 1.9m high and will have masonry pillars and plinth with a brush fence infill. The fence will have a double width sliding gate in line with the existing crossover on White Ave, that it also shown on the plans to be widened. There is also a pedestrian access gate fronting Hawthorne St.

The alfresco will be built on the southern boundary for a length of 4.73m, have an eave height of 2.7m and a total height of 4.2m

The carport will also be built to the boundary and due to its flat roof design will have an eave and total height of 3.4m

The swimming pool is below ground and shown to be surrounded by a 1200mm high safety fence. The pool pump is located adjacent the northern boundary next to the pedestrian access in the front fence.

REFERRALS

Internal

- City Assets

Concerns were raised about the redundant crossover on Hawthorne Street that hasn't been shown to be closed. Should the Panel wish to approve the proposed development, a condition should be added to reinstate this crossover to upright kerb and gutter.

ASSESSMENT

The subject land is located within the Residential Zone and more particularly Low Density Policy Area 21 as described in the West Torrens Council Development Plan. The main provisions of the Development Plan which relate to the proposed development are as follows:

<u>General Section</u>		
Crime Prevention	Objectives	1
	Principles of Development Control	1 & 2
Design and Appearance	Objectives	1 & 2
	Principles of Development Control	1, 3, 13 & 15
Landscaping, Fences and Walls	Objectives	2
	Principles of Development Control	6
Residential Development	Objectives	1
	Principles of Development Control	4, 6, 7, 8, 14, 15, 16, 18, 19, 20, 21 & 35
Transportation and Access	Objectives	2
	Principles of Development Control	23, 24, 34 & 44

Zone: Residential Zone	
Desired Character Statement:	
<p><i>This zone will contain predominantly residential development. There may also be some small-scale non-residential activities such as offices, shops, consulting rooms and educational establishments in certain locations. Non-residential activities will be complementary to surrounding dwellings.</i></p> <p><i>Allotments will be at very low, low and medium densities to provide a diversity of housing options in different parts of the zone. The range of allotment sizes will support the desired dwelling types anticipated in each policy area, and the minimum allotment sizes shall be treated as such in order to achieve the Desired Character for each policy area and, in turn, reinforce distinction between policy areas. Row dwellings and residential flat buildings will be common near centres and in policy areas where the desired density is higher, in contrast to the predominance of detached dwellings in policy areas where the distinct established character is identified for protection and enhancement. There will also be potential for semi-detached dwellings and group dwellings in other policy areas.</i></p> <p><i>Residential development in the form of a multiple dwelling, residential flat building or group dwelling will not be undertaken in a Historic Conservation Area.</i></p> <p><i>Landscaping will be provided throughout the zone to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.</i></p>	
Objectives	4
Principles of Development Control	1, 4, 5 & 8

Policy Area: Low Density Policy Area 21	
Desired Character Statement:	
<p><i>This policy area will have a low density character. In order to preserve this, development will predominantly involve the replacement of detached dwellings with the same (or buildings in the form of detached dwellings).</i></p> <p><i>There will be a denser allotment pattern and some alternative dwelling types, such as semi-detached and row dwellings, close to centre zones where it is desirable for more residents to live and take advantage of the variety of facilities focused on centre zones. Battleaxe subdivision will not occur in the policy area to preserve a pattern of rectangular allotments developed with buildings that have a direct street frontage. In the area bounded by Henley Beach Road, Torrens Avenue and the Linear Park, where the consistent allotment pattern is a significant positive feature of the locality, subdivision will reinforce the existing allotment pattern. Buildings will be up to 2 storeys in height. Garages and carports will be located behind the front façade of buildings. Buildings in the area bounded by Henley Beach Road, Torrens Avenue and the Linear Park will be complementary to existing dwellings through the incorporation of design features such as pitched roofs, eaves and variation in the texture of building materials.</i></p> <p><i>Development will be interspersed with landscaping, particularly behind the main road frontage, to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer. Low and open-style front fencing will contribute to a sense of space between buildings.</i></p>	
Objectives	1
Principles of Development Control	1 & 2

QUANTITATIVE ASSESSMENT

The proposal is assessed for consistency with the prescriptive requirements of the Development Plan as outlined in the table below:

DEVELOPMENT PLAN PROVISIONS	STANDARD	ASSESSMENT
PRIMARY STREET SETBACK <i>Residential Zone</i> PDC 8	same as one of the adjacent buildings 21 White Ave = 8.6m 25 White Ave = 8.7m	7m (alfresco) Does Not Satisfy
SECONDARY STREET SETBACK <i>Residential Zone</i> PDC 9	Vertical wall height - Less than 3m - 2m (min.) - 3m or greater - 3m (min.)	3.62m (carport) Satisfies
SIDE/REAR SETBACKS <i>Residential Zone</i> PDC 11	Side 0m (for a maximum of 8m floor)	0m (alfresco built to boundary) for 4.7m Satisfies
	Rear No requirement	0m Carport built to boundary Satisfies
BUILDING HEIGHT <i>Residential Zone</i> PDC 6	2 storeys or 6m	2.7m (Alfresco) 3.5 (Carport) Satisfies
PRIVATE OPEN SPACE <i>Residential Development</i> PDC 19	300-500m ² - 60m ² (min.), of which 10m ² may comprise balconies, roof patios and the like, provided they have a minimum dimension of 2m. - Minimum dimension 4m. - 16m ² (min.) at the rear of side of dwelling, directly accessible from a habitable room.	0m ² (total) 0m (min. dimension) 0m ² (accessed from habitable room) Does Not Satisfy The area to the rear and side of the dwelling is being used by the tool shed, carport and clothes lines. Therefore none of it meets the requirements of POS. This application seeks to use the front yard as POS.

CARPARKING SPACES <i>Transportation and Access</i> <i>PDC 34</i>	Detached, semi-detached, row and multiple dwellings - 2 car-parking spaces required, 1 of which is covered	3 spaces provided Satisfies
--	--	---

QUALITATIVE ASSESSMENT

In assessing the merits or otherwise of the application, the proposed development satisfies the relevant Development Plan provisions with the exception of the following, as discussed under the following sub headings:

Visual dominance

A part of this proposal seeks to erect a structure forward of the dwelling which has been shown on the plans to be an Alfresco. Staff initially challenged the nature of this structure as it was directly accessible from a crossover and proposed sliding gate. The Applicant's amended their plan to include a 1m high wall across the front of the alfresco to demonstrate that it wouldn't be used for vehicle parking.

It is accepted that this structure couldn't be used to park a car underneath, however from the public realm or adjacent properties it still has all the hallmarks of a carport, as:

- it is a similar size to a carport;
- it is located in inline with the proposed sliding gate to be installed in the new fence; and
- it is inline with the existing crossover which they are seeking to widen.

It is clear from this design that the property owners intend on driving onto the property via this access.

For these reasons I believe that the following provisions in the Development Plan which relate to carports, garages and outbuildings being located behind the façade of the dwelling being relevant to the assessment of this application.

PDC 16 *Garages, carports and residential outbuildings should not dominate the streetscape and not adversely impact on the safety of road users and pedestrians, and be designed within the following parameters:*

2. Parameter	3. Value
<i>Maximum floor area</i>	<i>60 square metres</i>
<i>Maximum wall height</i>	<i>3 metres</i>
<i>Maximum building height</i>	<i>5 metres</i>
<i>Minimum setback from a primary road frontage</i>	<u><i>Garages and carports sited no closer to the primary road frontage than any part of its associated dwelling</i></u> <i>Outbuildings should not protrude forward of any part of its associated dwelling</i>
<i>Minimum setback from a secondary road frontage</i>	<i>0.9 metres or in line with the existing dwelling</i>

<i>Maximum length along the boundary</i>	<i>8 metres or 50 per cent of the length along that boundary (whichever is the lesser)</i>
<i>Maximum frontage width of garage or carport with an opening facing a rear access lane</i>	<i>No maximum</i>
<i>Maximum frontage width of garage or carport opening facing the street</i>	<i>6 metres or 50 per cent of the allotment frontage, whichever is less</i>

The Desired Character statement of the Residential Zone, Low Density policy Area 21 States:

"Garages and carports will be located behind the front façade of buildings."

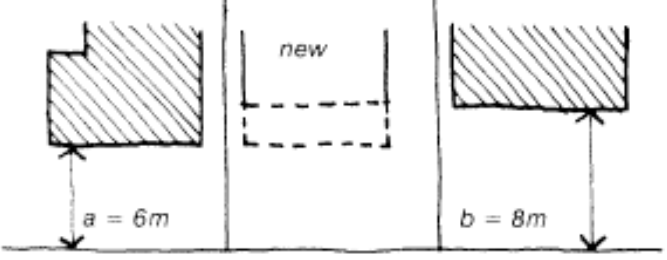
The front façade of the dwelling is setback 10.5m from the front boundary with the proposed alfresco setback 7m from the same boundary. As the alfresco has a pitched roof, a width of 6m and is 3.5m closer to the front boundary than the façade of the dwelling, it is considered that this structure has a visual dominance over the rest of the dwelling. This issue is compounded by the fact that the proposal also includes a 1.9m front fence which will screen all but the roof of the existing dwelling from the public realm and adjoining properties.

It is considered that the proposal does not meet these provisions.

Setbacks

The Development Plan and more specifically the Residential Zone has clear guidance as to how close development should be setback from the front boundary. PDC 8 of the Residential Zone states:

PDC 8 Except where specified in **Medium Density Policy Area 18** and **Medium Density Policy Area 19**, development (including any veranda, porch, etc) should be set back from the primary road frontage in accordance with the following table:

4. Setback difference between buildings on adjacent allotments	5. Setback of new building
6. Up to 2 metres	<p>7. The same setback as one of the adjacent buildings, as illustrated below:</p>  <p>When $b - a \leq 2$, setback of new dwelling = a or b</p>
8. Greater than 2 metres	9. At least the average setback of the adjacent buildings.

As described in the Quantitative Table above, the adjoining buildings at 21 & 25 White Ave are setback 8.6m & 8.7m respectively. As they have setbacks within 2m of one another, the proposed development should be the same as one of them. The proposed Alfresco will be setback 7m, which is 1.6m closer to the front boundary than 21 White Ave.

It is important to note that this provision relates to *any* part of the building, including veranda, porch and the like. The proposed development does not meet this provision.

Visual Impact on Streetscape

There will be a considerable visual impact on the streetscape as there is currently a consistency of front setbacks for dwellings in the locality. There is also a strong character of open front gardens with the dwellings being the most visually prominent structure on the allotment. It is currently possible to stand in the front gardens of most of the dwellings on White Ave and have a relatively uninterrupted view north and south.

The proposal seeks to not only construct a structure forward of the dwelling, but to also significantly screen the dwelling with the erection of a 1.9m high solid fence. This will be the first intrusion of such a development within the locality. Whilst there are other examples of fencing, they are either visually permeable or are on the secondary frontage creating a private rear yard.

Should this development gain approval, it will have an effect on future development especially on the adjoining properties. Assessment of an application against PDC 8 shown above, would allow a building on an adjoining allotment to be constructed with a 7m front setback. This then has the potential to continue along the street altering the character of the area as it goes.

The Design and Appearance section of the Development Plan states:

Obj 1 Development of a high design standard and appearance that responds to and reinforces positive aspects of the local environment and built form.

For the reasons given previously, it is not considered that the proposal is achieving this Objective.

Fencing

The Desired Character of the Policy Area specifically mentions fencing and when it is appropriate. It states:

Low and open-style front fencing will contribute to a sense of space between buildings.

The proposed fencing is 1.9m high and has brush panels in between the rendered masonry columns. This significantly limits the ability to view the dwelling and as a result compromises the sense of space between buildings. The roof of the alfresco and dwelling will still be visible, however as the alfresco is to be built to the boundary, it further erodes the sense of space between buildings from the public realm.

More general guidance about fencing is set out in the Landscaping Fences and Wall section of the Development Plan which states:

PDC 6 Fences and walls, including retaining walls, should:

- (a) not result in damage to neighbouring trees*
- (b) be compatible with the associated development and with existing predominant, attractive fences and walls in the locality*
- (c) enable some visibility of buildings from and to the street to enhance safety and allow casual surveillance*
- (d) incorporate articulation or other detailing where there is a large expanse of wall facing the street*
- (e) assist in highlighting building entrances*
- (f) be sited and limited in height, to ensure adequate sight lines for motorists and pedestrians especially on corner sites*

- (g) *in the case of side and rear boundaries, be of sufficient height to maintain privacy and/or security without adversely affecting the visual amenity or access to sunlight of adjoining land*
- (h) *be constructed of non-flammable materials.*

As part (b), (c), (e) and (h) haven't been met, it is considered that the proposal is at variance to this provision.

Principle of Development Control 8 of the Residential Development Section states:

PDC 8 Entries to dwellings or foyer areas should be clearly visible from the street, or access ways that they face to enable visitors to easily identify individual dwellings.

The proposal does not allow this to happen due to the height of the proposed fence and the fact that the only gate in the White Ave elevation will be an electric sliding gate for vehicles. By way of its design, this will prevent pedestrian access from the primary street (White Ave). There is a pedestrian access from Hawthorne Street, but this too will be 1.9m in height and prevent the front door from being visible from the street.

Car parking Provisions

The proposal provides in excess of the required two off street parking spaces stipulated by the Development Plan. The area at the western end of the allotment (behind the dwelling) is where the proposed carport is to be built. The carport itself is 10.7m deep and it is setback 3.6m from the secondary frontage. This area, 14.33m in length is sufficient to park two vehicles off street with at least one under cover.

This has been noted in order to demonstrate that crossover and sliding gate from White Ave is not required in order to satisfy the requirements of the Development Plan. When staff suggested that these be removed as a compromised position, the Applicant stated that they did not want to amend their application.

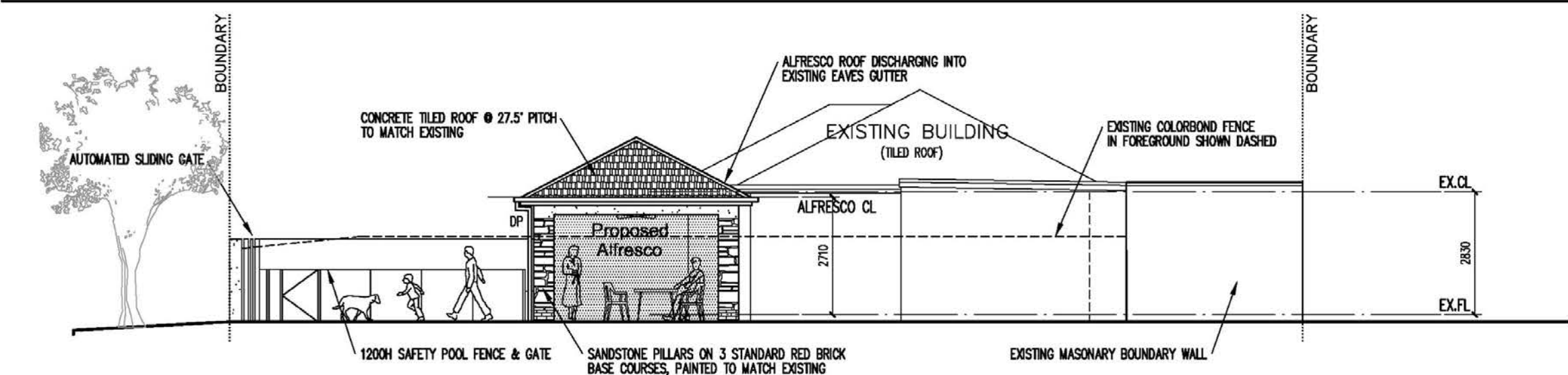
SUMMARY

Having considered all the relevant Objectives and Principles of the Development Plan, the proposal is not considered to be seriously at variance with the Development Plan but on balance, the proposed development does not sufficiently accord with the relevant provisions contained within the West Torrens (City) Development Plan Consolidated 15 May 2017 and as such does not warrant Development Plan Consent.

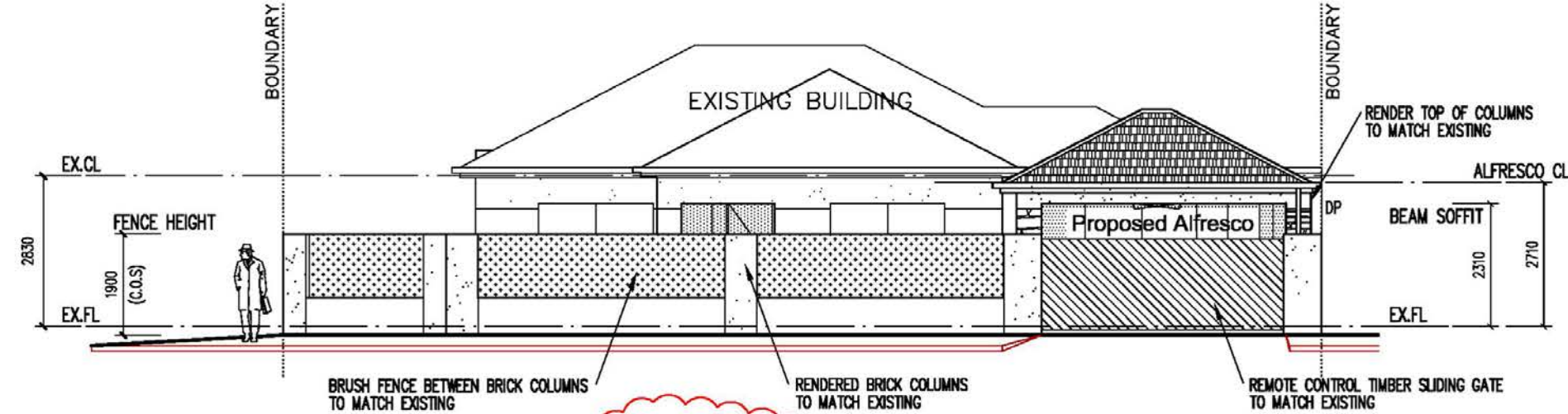
Attachments

1. Site Plan and Elevations





South Elevation



West Elevation (Street view)



West Elevation

"B"	4/4/17	ADDED DWARF WALL TO ALFRESCO WEST ELEV
"A"	7/3/17	ELEVATIONS CHANGED TO SUIT AMENDED PLAN
Issue	Date	Amendment

Project: PROPOSED ALTERATIONS & ADDITIONS
At: 23 WHITE AVE, LOCKLEYS
Client: MR & MRS B. TAYLOR
Title: SOUTH & WEST ELEVATIONS

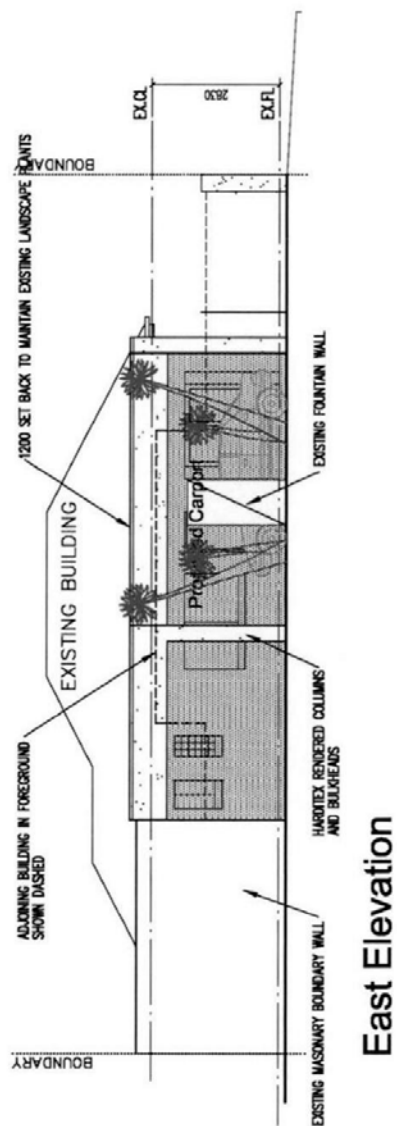
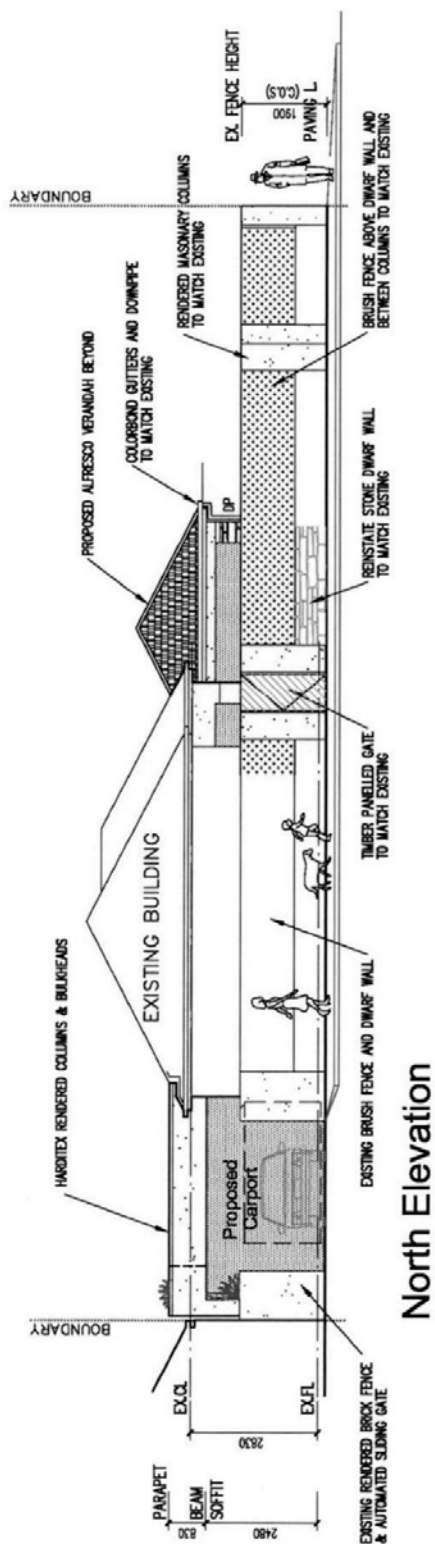
Figured dimensions shall take preference over scaled drawings.
Contractor to verify all levels & dimensions, prior to commencing work.



7 Tait Street
Renown Park 5008
SOUTH AUSTRALIA
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Drawn: CS, GK
Scale: 1:100
Date: NOV'16
Drawing no: 1667-DP3'B'



PRELIMINARY

Issue	Date	Amendment
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Project: PROPOSED ALTERATIONS & ADDITIONS

AL: 23 WHITE AVE, LOCKLEYS

Client: MR & MRS B. TAYLOR

Title: NORTH & EAST ELEVATIONS

Figured dimensions shall take preference over scaled drawings. Contractor to verify all levels & dimensions, prior to commencing work.

PRELIMINARY

Some notes on copyright:
 Legal notice: In part of it which
 Building Designers
 7 Tolt Street
 Remoon Park 5008
 SOUTH AUSTRALIA
 Tel: (08) 8348 3217
 Fax: (08) 8348 3070
 Email: graham@bdc.com.au

Drawn: CSJ/OK
 Scale: 1:100
 Date: 10/01/17
 Project: 1667-DP4

6.6 11 Marker Avenue, MARLESTON

Application No 211/235/2016

DEVELOPMENT APPLICATION DETAILS

DEVELOPMENT PROPOSAL	The construction of a warehouse & store incorporating an ancillary office and amenities and the construction of a carpark and ancillary landscaping - NON-COMPLYING
APPLICANT	Coco Investments (SA) Pty Ltd
APPLICATION NO	211/235/2016
LODGEMENT DATE	7 March 2016
ZONE	Industry Zone Neighbourhood Centre Zone
POLICY AREA	Marleston Policy Area 12 (Neighbourhood Centre Zone)
APPLICATION TYPE	Non-Complying
PUBLIC NOTIFICATION	Category 3
REFERRALS	Internal <ul style="list-style-type: none"> City Assets External <ul style="list-style-type: none"> Nil
DEVELOPMENT PLAN VERSION	5 May 2016
MEETING DATE	09 May 2017

RECOMMENDATION(S)

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/235 /2016 by Coco Investments (SA) Pty Ltd to undertake the construction of a warehouse & store incorporating an ancillary office and amenities and the construction of a carpark and ancillary landscaping at 11 Marker Ave, Marleston (CT 6061/123) subject to the following conditions of consent, reserve matter and subject to concurrence of the Development Assessment Commission;

Reserved Matter

1. A detailed stormwater management plan and stormwater design shall be provided in consultation with City of West Torrens to the satisfaction of the Manager of City Asset prior to the lodgement of building rules consent application. Stormwater surface runoff from the proposed warehouse and the carpark including the open space area as depicted in proposed the 'Stormwater Management Plan', Project Number: 2017-5928MA, Drawing Number C0, Revision P1 Dated 5 April 2017) shall be restricted to the 20L/s in the 20 Year ARI storm event. A functional detention system at the minimum size of 8KL detention system and provisions of stormwater quality sensitive design shall be implemented for the site.

**DEVELOPMENT PLAN CONSENT
Conditions**

1. That the development shall be undertaken and completed in accordance with the plans and information detailed in this application except where varied by any condition(s) listed below.

2. That all driveways, parking and manoeuvring areas shall be formed, surfaced with concrete, bitumen or paving, and be properly drained, and shall be maintained in reasonable condition at all times
 3. That all stormwater design and construction shall be in accordance with Australian Standards and recognised engineering best practices to ensure that stormwater does not adversely affect any adjoining property or public road and for this purpose stormwater drainage shall not at any time:-
 - a) Result in the entry of water into a building; or
 - b) Affect the stability of a building; or
 - c) Create unhealthy or dangerous conditions on the site or within the building; or
 - d) Flow or discharge onto the land of an adjoining owner; and not flow across footpaths or public ways.
 4. All loading and unloading of goods and merchandise shall be carried out upon the subject land and no loading of any goods or merchandise shall be permitted to be carried out in the street in conjunction with the consent herein granted.
 5. No materials or equipment are to be stored outdoors.
 6. All off-street commercial vehicle parking areas must be linemarked in accordance with the approved plans and in accordance with Australian Standards AS 2890.2:2002, Off Street Commercial Vehicle Facilities. Line marking and directional arrows must be maintained such that they remain clearly visible at all times.
-

BACKGROUND

The development proposal is presented to the Development Assessment Panel (DAP) for the following reason:

- All applications for non-complying forms of development shall be assessed and determined by the DAP.

The subject site is unusual in that it is comprised of one allotment but it crosses two different zones, namely the Industry Zone and Neighbourhood Centre Zone. This has implications on the assessment as the proposed development will need to be assessed against the provisions of both zones. Whilst a Store and Warehouse are complying development in the Industry Zone, they are listed as non-complying development within the Neighbourhood Centre Zone.

The Applicant has provided a detailed Statement of Effect which has been added to the end of this report as **Attachment 2**.

PREVIOUS OR RELATED APPLICATIONS

XOLD-3200/1947, Workshop
211/1373/2009, Land Division - Torrens Title, DAC No. - 211/D118/09, Boundary Adjustment
211/19/2015, Construction of two (2) roofed areas
211/19/2015/A, CANCELLED, (SEE DA211/903/2015)
211/903/2015, Minor additions to existing store & warehouse (increase storage roof area)

SITE AND LOCALITY

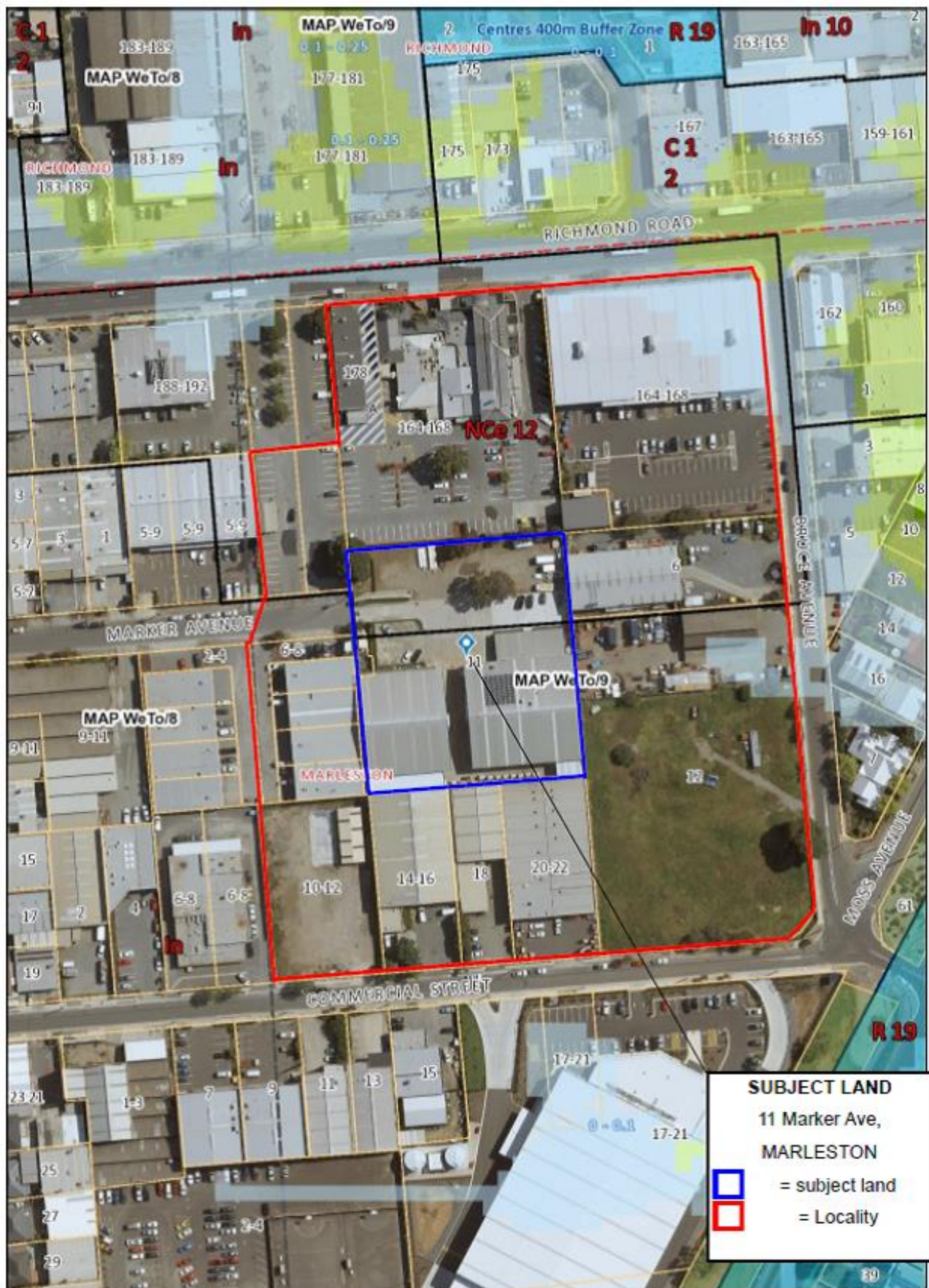
The subject land is described as Allotment 100 Deposited Plan 84221 in the area named Marleston Hundred of Adelaide, as contained in Certificate of Title Volume 6010 Folio 123. The land is more commonly known as 11 Marker Avenue, Marleston.

The subject land is a rectangular shaped allotment of 6034m² in area, located at the eastern end of Marker Ave. The land has a street frontage of 15.24m and a depth of 72.9m. The land currently contains a telecommunications tower, two large industrial buildings and a sealed car parking area. Topography of the land is relatively flat. Vehicular access is gained via a double width crossover onto Marker Ave.

The subject land crosses into two different zones. The majority of the allotment is within the Industry Zone with the remainder in the Neighbourhood Centre Zone and more specifically Marleston Policy Area 12.

The locality consists of a variety of land uses including industrial & commercial. The built form of both types of land uses are similar in that they are large square buildings with Zinalume roofs and large sealed carparks.

The site and locality are shown on the following maps.





WEST TORRENS COUNCIL
Consolidated - 5 May 2016

PROPOSAL

It is considered that the proposal is best described as follows:

"The construction of a warehouse & store incorporating an ancillary office and amenities and the construction of a carpark and ancillary landscaping"

The proposal seeks to build a warehouse, store and ancillary office in a currently vacant portion of the site. This portion of the allotment is currently used for the parking of vehicles. For details of the proposal refer to **Attachment 1**.

NON-COMPLYING

The application is a non-complying form of development, due to it being listed in the Procedural Matters section as non-complying development within the Neighbourhood Centre Zone. The applicant has provided a Statement of Effect pursuant to Regulation 17 of the *Development Regulations 2008*, refer **Attachment 2**. Should the Panel resolve to approve the application, the concurrence of the Development Assessment Commission is required. Alternatively, should the Panel refuse the application, no appeal rights are afforded to the Applicant.

Administration resolved, under delegation to proceed with an assessment of the proposal. The application is now presented for a decision.

PUBLIC NOTIFICATION

The application underwent category 3 public notification, but no representations were received.

REFERRALS

Internal

City Assets

Concerns were raised regarding the following matters;

- Condition that the maximum sized vehicle to enter the site being a Medium Rigid Vehicle (MRV);
- Stormwater collection and reuse;
- Stormwater treatment.

The Applicant has submitted amended plans that have resolved the traffic movement issues. An agreement between the Applicant and City Assets has been reached about the detailed stormwater management plan and a reserved matter has been added to the recommendation to provide this plan prior to the Applicant submitting Building Rules Consent.

ASSESSMENT

The subject land is located within the Industry and Neighbourhood Centre Zones as described in the West Torrens Council Development Plan. The main provisions of the Development Plan which relate to the proposed development are as follows:

<u>General Section</u>		
<i>Bulk Handling and Storage Facilities</i>	<i>Objectives</i>	1
	<i>Principles of Development Control</i>	1, 2, 3 & 4
<i>Centres and Retail Development</i>	<i>Objectives</i>	1, 2 & 3
	<i>Principles of Development Control</i>	1, 2 & 3
<i>Design and Appearance</i>	<i>Objectives</i>	1 & 2
	<i>Principles of Development Control</i>	1, 2, 3, 4, 12, 13, 14, 15, 20 & 21
<i>Energy Efficiency</i>	<i>Objectives</i>	1 & 2
	<i>Principles of Development Control</i>	1, 2 & 3
<i>Industrial Development</i>	<i>Objectives</i>	1, 2, 3, 4 & 5
	<i>Principles of Development Control</i>	1, 2, 3, 6, 8 & 11
<i>Interface between Land Uses</i>	<i>Objectives</i>	1, 2 & 3
	<i>Principles of Development Control</i>	1, 2, 5 & 8
<i>Orderly and Sustainable Development</i>	<i>Objectives</i>	1, 2, 3 & 4
	<i>Principles of Development Control</i>	1, 3, 5, 6 & 7
<i>Transportation and Access</i>	<i>Objectives</i>	2 & 5
	<i>Principles of Development Control</i>	1, 2, 8, 12, 13, 14, 23, 24, 25, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43 & 44

<i>Zone: Industry Zone</i>	
<i>Desired Character Statement:</i>	
Nil	
<i>Objectives</i>	1 & 2
<i>Principles of Development Control</i>	1, 3, 5, 6, 7, 9, 10, 11 & 12

<i>Zone: Neighbourhood Centre Zone</i>	
<i>Desired Character Statement:</i>	
Nil	
<i>Objectives</i>	1 & 2
<i>Principles of Development Control</i>	1, 2, 3 & 5

Policy Area: Marlestone Policy Area 12	
Desired Character Statement:	
<p><i>This policy area will function as a small neighbourhood centre providing a range of services and facilities to cater for the daily and weekly needs of the surrounding population. The centre will have an emphasis on small-scale offices, bulky goods outlets and recreation and community activities which will predominate in the 'Recreation/Community' area as identified on Concept Plan Map WeTo/20 - Marlestone Neighbourhood Centre. Small-scale retail facilities selling primarily food and other convenience goods to service the daily and weekly needs of the surrounding population should be concentrated in the 'Retail Core' area as identified on Concept Plan Map WeTo/20 - Marlestone Neighbourhood Centre.</i></p> <p><i>The total maximum gross leasable retail floor space in the policy area should be in the order of 1500 square metres, the majority of which should occur within the 'Retail Core' area.</i></p>	
Objectives	1
Principles of Development Control	1, 4 & 6

QUANTITATIVE ASSESSMENT

The proposal is assessed for consistency with the prescriptive requirements of the Development Plan as outlined in the table below:

DEVELOPMENT PLAN PROVISIONS	STANDARD	ASSESSMENT
STREET SETBACK Industry Zone PDC 5	3m	37.9 Satisfies
SIDE/REAR SETBACKS Industry Zone PDC 11	Side 3m from one side	64m & 0m setback Satisfies
TOTAL HEIGHT	12m max	7.9m Satisfies
LANDSCAPING Industry Zone PDC 10	10%	12% Satisfies
CARPARKING SPACES Table WeTo/2	11 car-parking spaces required	14 provided Satisfies

QUALITATIVE ASSESSMENT

In assessing the merits or otherwise of the application, the proposed development satisfies the relevant Development Plan provisions with the exception of the following, as discussed under the following sub headings:

Land Use and Zoning

As previously mentioned, the proposed development is listed as a non-complying land use in the Neighbourhood Centre Zone and a complying land use in the Industry Zone. Given that the land use of the site will not change as part of this application, its non-complying status is not considered fatal to the application. It should be noted that the majority of the allotment is located in the Industrial Zone, however the site of the proposed warehouse/store will be in the Neighbourhood Centre Zone portion of the allotment, as shown in the aerial image below. The allotment is outlined in blue with the zone boundary indicated in red.



Figure 1: Aerial image of the subject site showing the Zone boundary

For all intents and purposes this is an industrial site being used for storage and warehouse purposes. The proposed development will maintain this existing land use and expand it into a portion of the allotment that was previously vacant. This is consistent with PDC 7 of the Orderly and Sustainable Development Section of the Development Plan which states:

PDC 7 Vacant or under utilised land should be developed in an efficient and co-ordinated manner to not prejudice the orderly development of adjacent land.

The proposal will not prejudice the neighbouring properties and their commercial/retail land uses. This is because the carpark of these commercial uses is immediately adjacent the subject site. Access to these commercial properties is from Richmond Rd and not Marker Ave.

The zoning anomaly appears to be historical and should be reviewed to place the subject site within one of the two Zones. Due to the extent of the site, existing land use and adjoining land uses also on Marker Ave, it is probable that it will be retained within the Industrial Zone.

With the exception of the non-complying list in the Procedural matters section, the Neighbourhood Centre Zone is silent on stores and warehouses.

The proposal is consistent with both the quantitative and qualitative provisions of the Industry Zone.

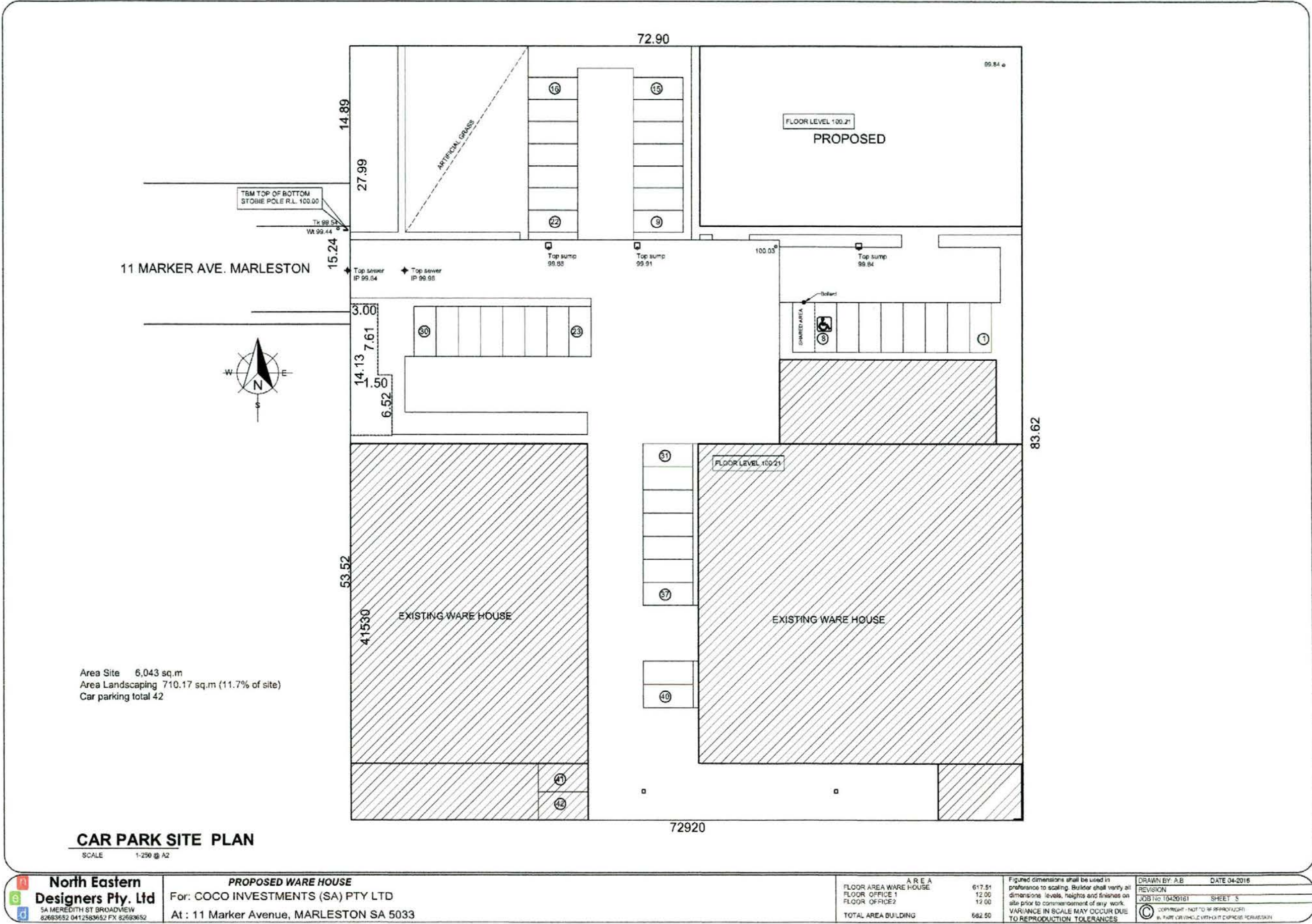
SUMMARY

Despite the non-complying status, the proposed development is consistent with the majority of relevant provisions of the Development Plan and will not be detrimental to the existing or desired character of the locality.

Having considered all the relevant Objectives and Principles of the Development Plan, the proposal is considered to be not seriously at variance with the Development Plan and on balance the proposed development sufficiently accords with the relevant provisions contained within the West Torrens Council Development Plan Consolidated 5 May 2016 and warrants Development Plan Consent.

Attachments

- 1. Site Plan and Elevations**
- 2. Statement of Effect**
- 3. Stormwater Calculations**





North Eastern

Designers Pty. Ltd

SA MEREDITH ST BROADVIEW
82693652 0412583652 FX 82693652

PROPOSED WARE HOUSE

For: COCO INVESTMENTS (SA) PTY LTD

At : 11 Marker Avenue, MARLESTON SA 5033

FLOOR AREA WARE HOUSE	617.51
FLOOR OFFICE 1	12.00
FLOOR OFFICE2	12.00
TOTAL AREA BUILDING	641.51

Figured dimensions shall be used in preference to scaling. Builder shall verify all dimensions levels, heights and finishes on site prior to commencement of any work.

VARIANCE IN SCALE MAY OCCUR DUE TO REPRODUCTION TOLERANCES

DRAWN BY: A.B

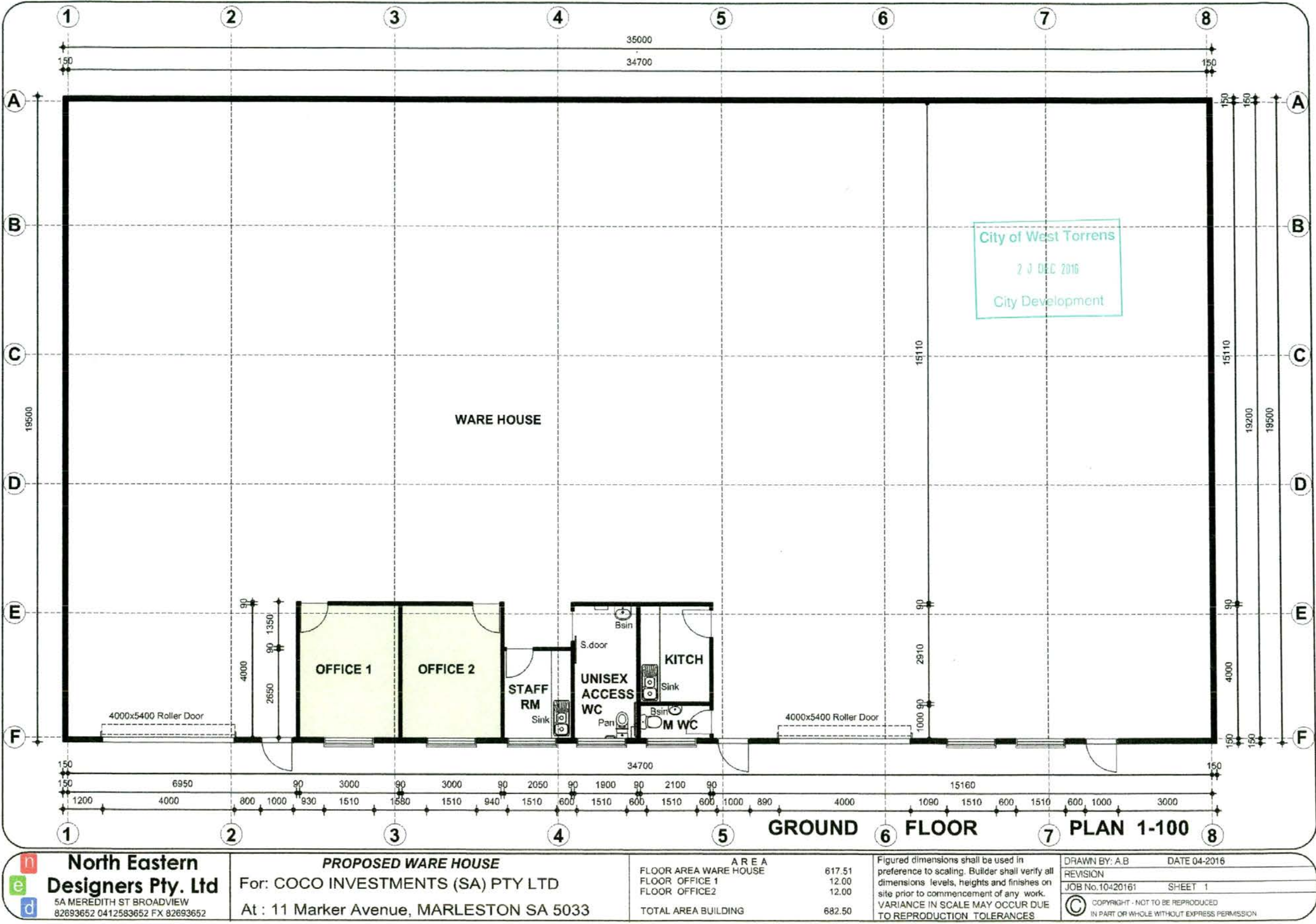
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REVISION

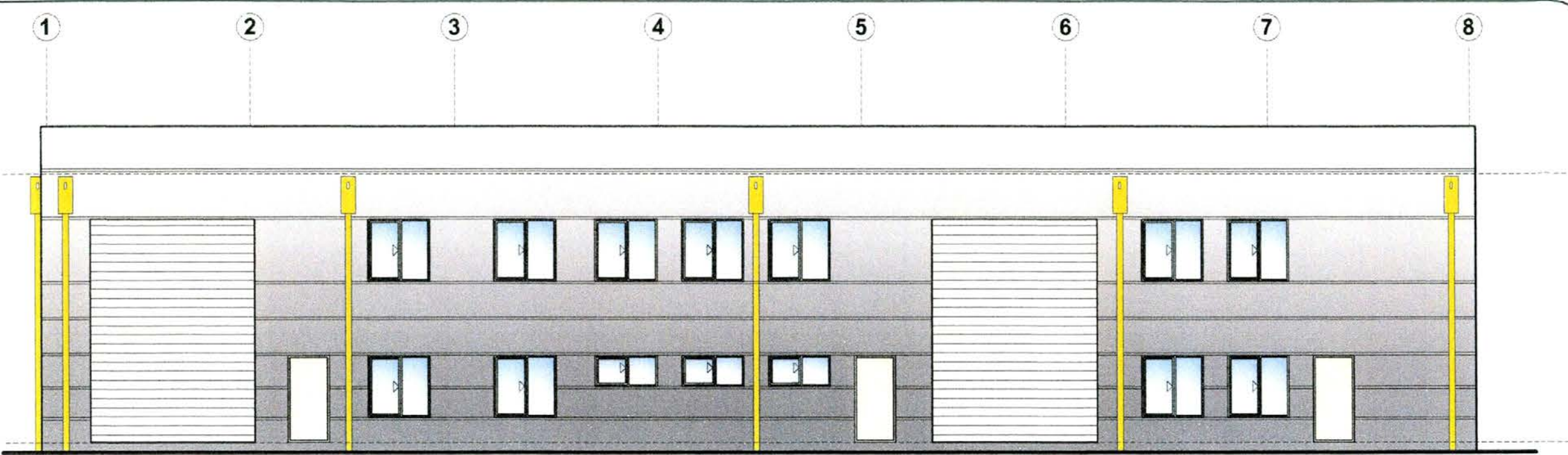
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SHEET 6

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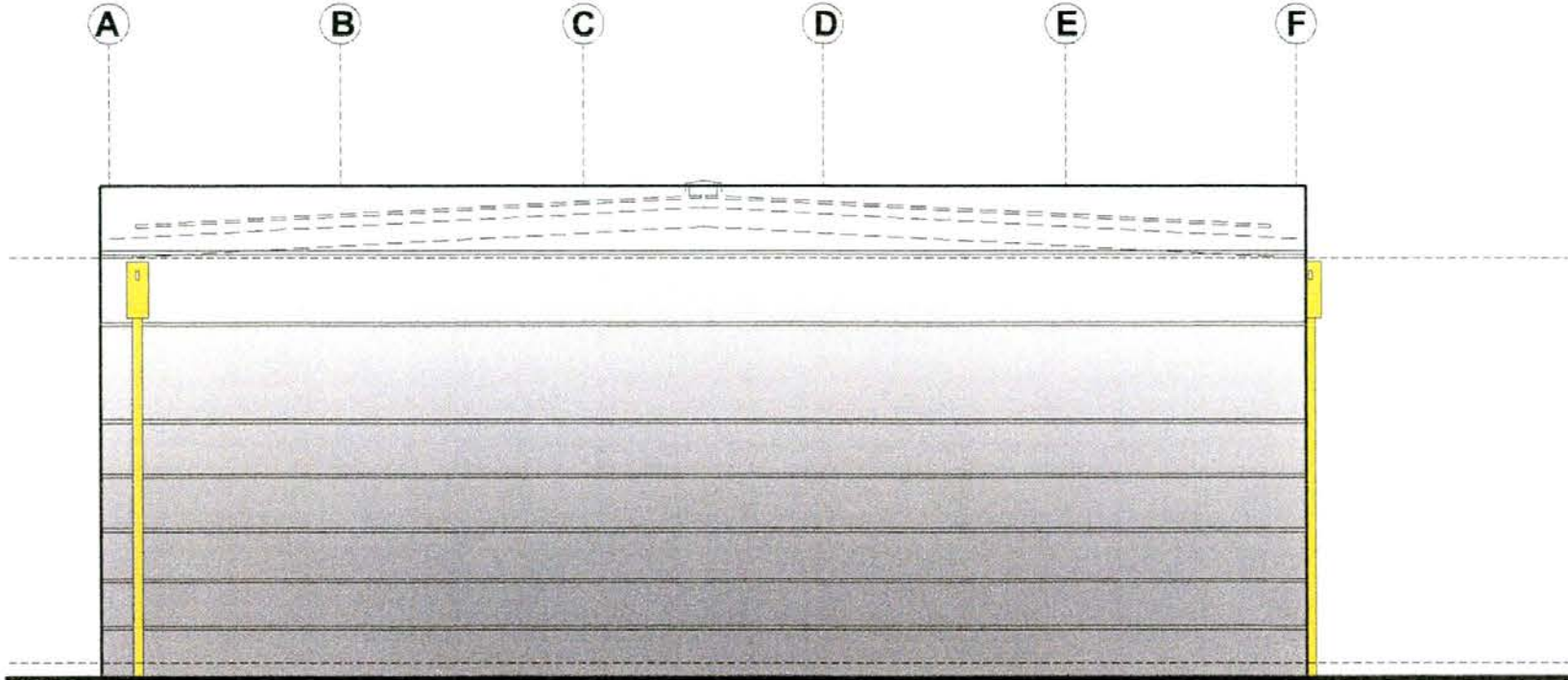


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SOUTH ELEVATION

SCALE 1-100



WEST ELEVATION

SCALE 1-100

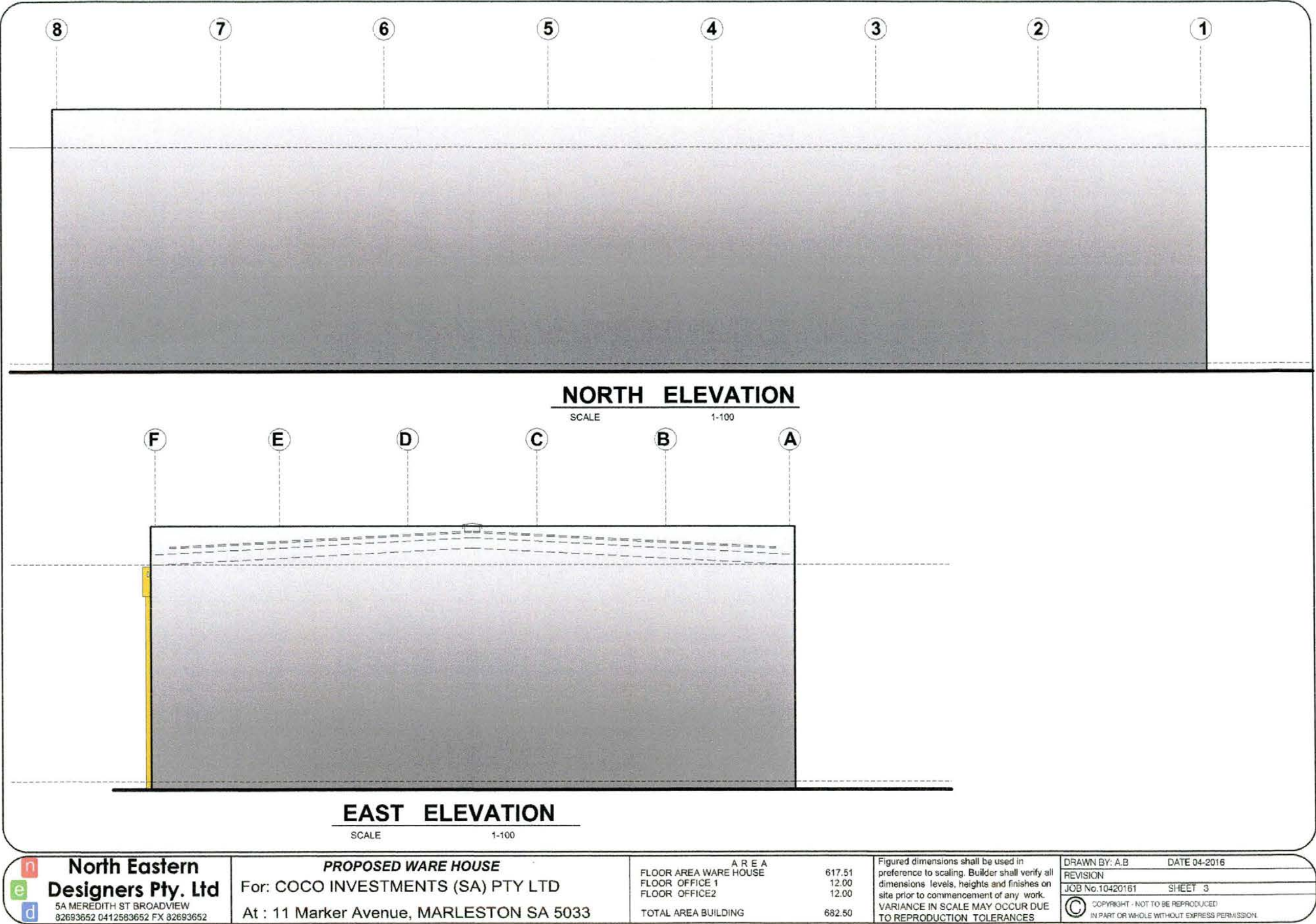
**North Eastern
Designers Pty. Ltd**
5A MEREDITH ST BROADVIEW
82693652 0412583652 FX 82693652

PROPOSED WARE HOUSE
For: COCO INVESTMENTS (SA) PTY LTD
At : 11 Marker Avenue, MARLESTON SA 5033

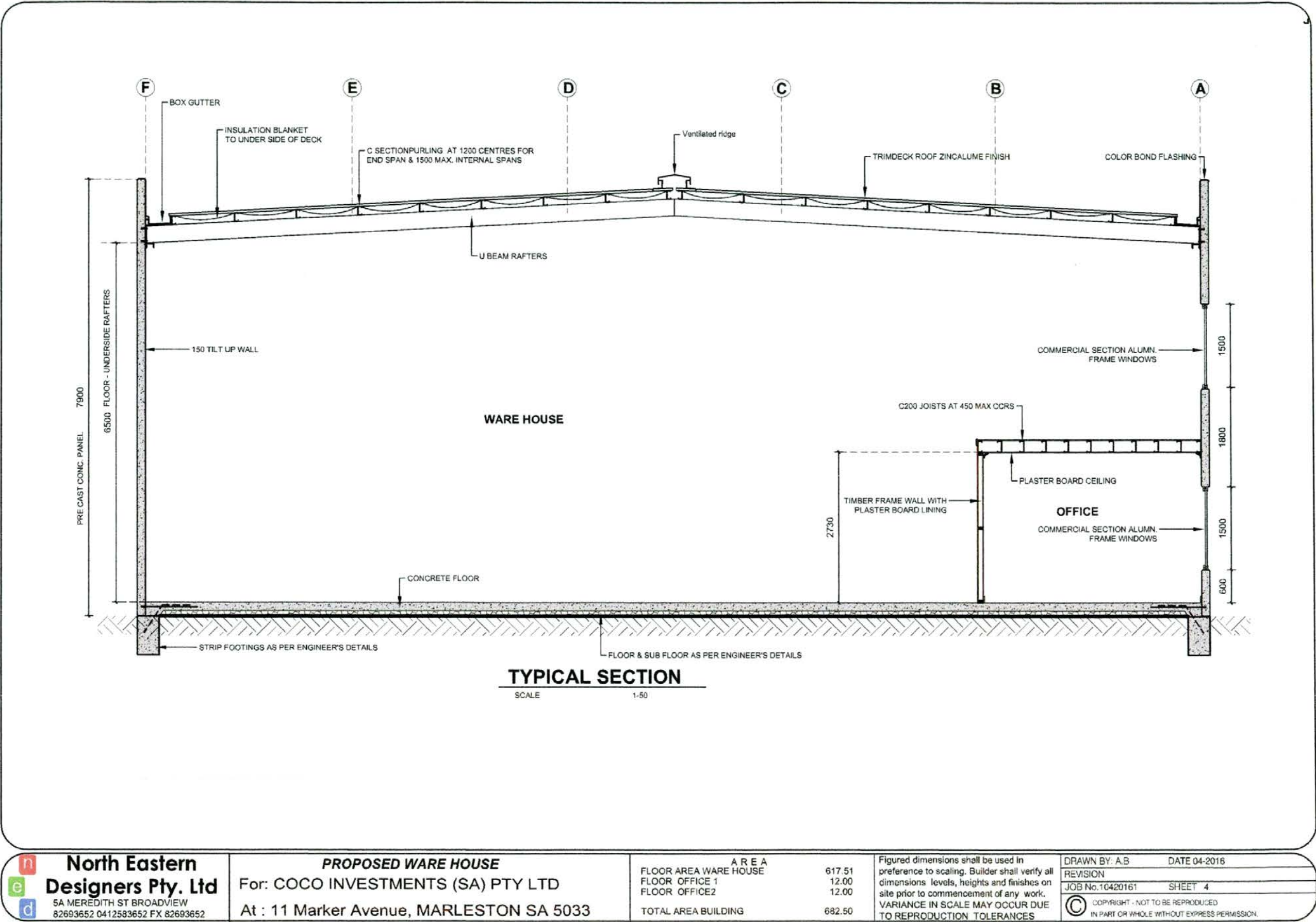
A R E A	
FLOOR AREA WARE HOUSE	617.51
FLOOR OFFICE 1	12.00
FLOOR OFFICE2	12.00
TOTAL AREA BUILDING	682.50

Figured dimensions shall be used in preference to scaling. Builder shall verify all dimensions levels, heights and finishes on site prior to commencement of any work. VARIANCE IN SCALE MAY OCCUR DUE TO REPRODUCTION TOLERANCES

DRAWN BY: A.B DATE 04-2016
REVISION
JOB No.10420161 SHEET 2
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STATEMENT OF EFFECT

FOR A

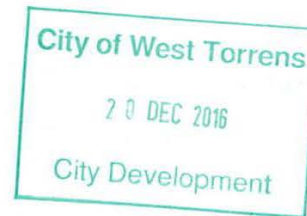
WAREHOUSE AND STORE PROPOSAL

AT

11 MARKER AVENUE
MARLESTON SA 5033

FOR

COCO INVESTMENTS (SA) PTY LTD



Andrew Young Planning
35A Station Avenue
Blackwood SA 5051
Email ajyoung3@bigpond.com
Phone 0407240333

161206CocoInvest(SA)PtyLtdStatementOf Effect

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1. INTRODUCTION

This Statement of Effect has been prepared in relation to an application by Coco Investments (SA) Pty Ltd for the development of a warehouse/store including car parking and landscaping on land at 11 Marker Avenue, Marleston. The subject land presently has two buildings used as warehouses and stores along with car parking and landscaping in accordance with previous Development Approvals.

This report should be read in conjunction with the drawings submitted for the proposal which form part of the development application.

The application requires assessment against the provisions of the City of West Torrens Development Plan, consolidated on 5 May 2016.

The Statement of Effect is prepared pursuant to Regulation 17(4) of the Development Regulations 2008 and in accordance with Sub-Regulation 17(5) which states: -

- (5) The statement of effect must include: -*
- (a) a description of the nature of the development and the nature of its locality; and*
 - (b) a statement of the provisions of the Development Plan which are relevant to the assessment of the proposed development; and*
 - (c) an assessment of the extent to which the proposed development complies with the provisions of the Development Plan; and*
 - (d) an assessment of the expected economic, environmental and social effects of the development on its locality; and*
 - (e) any other information specified by the relevant authority when it resolves to proceed with the assessment of the application (being information which the relevant authority reasonably requires in the circumstances of the particular case),*
and may include such other information or material as the applicant thinks fit.

Prior to preparing the Statement of Effect, the proposed plans have been examined and the subject land and the surrounding locality have been inspected. The proposal has been reviewed with respect to the relevant provisions of the Council's Development Plan.

Drawings prepared by North Eastern Designers Pty Ltd which illustrate the proposal and form part of this application are: -

Job No 10420161

Sheet 1 of 6 Ground Plan
Sheet 2 of 6 South & West Elevations
Sheet 3 of 6 North & East Elevations
Sheet 4 of 6 Typical Section
Sheet 5 of 6 Car Park Site Plan
Sheet 6 of 6 Landscape Plan

2. BACKGROUND

Coco Investments (SA) Pty Ltd has owned the subject land since 27 November 2014. The two warehouse/store buildings have been established on the land for about 20 years. Several development approvals have been issued the first being a land division by the previous property owner prior to the property sale. The other was by the present owner for the addition of canopies for storage on the south side of the subject land this being Development Approval No. 211/903/2015.

The present owner has completed significant areas of landscaping and paving in recent times which has markedly improved the appearance of the property. This work was undertaken at the time of the construction of the canopied areas.



Figure 1 – Photograph of Recent Landscaping

There are four people working full-time five days a week in the eastern of the two buildings and three people working less than half a day for between three and five days a week in the western building. The work force numbers are stable and have been since the present owner took possession of the site. The nature of the business is on-line sales of golf carts and hiring of golf carts with delivery to the purchaser or hirer. Limited work on golf carts occurs on-site.

When sales of carts occur, whether on-line, by phone or visiting customers, carts are delivered to the client and instructions about their use are provided to the purchaser after delivery whether it be at their home, golf club or any other nominated location. The direct delivery of carts is part of the service which is offered by the owner to clients. Golf cart hire may involve the transporting of carts on flat-bed trailers to a location for an event such as the annual V8 super-car event at Victoria Park in March each year. A fully set-up and equipped service and repair vehicle travels to metropolitan, country or remote locations as necessary and experience has proven this to be a far more efficient and effective way to provide this service. The number of clients and customers actually visiting 11 Marker Avenue is quite low.

The staff and customer movements generated by the operations in the eastern building is nine in and nine out per day. The movements generated by the operations in the western building is five in and five out per day. During the occasional major event, like the one cited above, the vehicle movements do increase but not of a significant order.

3. SUBJECT LAND AND LOCALITY

The subject land is at 11 Marker Avenue, Marlestone which is located at the eastern end of that road. The land is described in Certificates of Title Volume 6061 Folio 123 a copy of which is provided in **Attachment A**.

The land has a depth of approximately 72.90 metres and a width of approximately 83.6 metres. The area of the subject land is about 6034 square metres. The frontage to Marker Avenue is 15.24 metres.

There is a parcel of land described in DP 59176 on the western boundary on the right-hand side of the entrance to the property which does not form part of the subject land and it accommodates a telecommunications tower.

The whole of the subject land is relatively flat with two existing buildings, car parking and landscaping and a storm water collection and disposal system for roofed and paved areas. Refer to **Figure 2** for the delineation of the subject land.



Figure 2 – The Subject Land

In forming a view about the extent of the locality considerations have included the location of the subject land at the end of Marker Avenue, the nature of the buildings and uses occurring on the subject land and those around it in an area extending through to Richmond Road and the land just on its north side, through to Bruce Avenue and just beyond to the east, to the south to Commercial Street and just beyond, and to the west side of Grove Avenue. Refer to **Figure 3** for a picture of the locality.

Further matters considered when determining the locality include the traffic generated from the subject land and other traffic movements in the area and noise levels generated on the subject land. Noises are not audible outside the land to other in the area. The general visual exposure of the subject land, and the buildings on it, is very limited due to its location at the eastern end of Marker Avenue, the view of the proposal from surrounding roads and properties, except from the hotel car park, will be very limited. The view of the proposed building from the hotel car park will be obvious but of far smaller proportion and impact the vision and impact of other larger industrial and commercial buildings which can also be seen from the hotel car park.

A key factor in this consideration is the proposed building will have a minor impact in the overall locality due to its appearance, nature of use and level of activity when seen in the context of all development, built form uses and activities in the locality.

In this regard, it is noted the uses in the locality which are in the Neighbourhood Centre Zone include a small group of shops on the corner of Richmond Road and Grove Avenue; a TAB and lotteries call center; snack bar/fish and chips outlet; a hotel with an extensive car park area; a recreational use ("Bounce"); on the "Bounce" land in the south west corner is a store which is accessed from the hotel

car park and used by the hotel; and south of the "Bounce" land is the "BlastMaster" industrial use on a parcel of land which straddles the Neighbourhood Centre/Industrial Zone boundary.

Existing uses on Grove and Marker Avenues include warehouse and stores with small office components. To the immediate south of the subject land is a warehouse/store use while to the south east is vacant industrially zoned land.

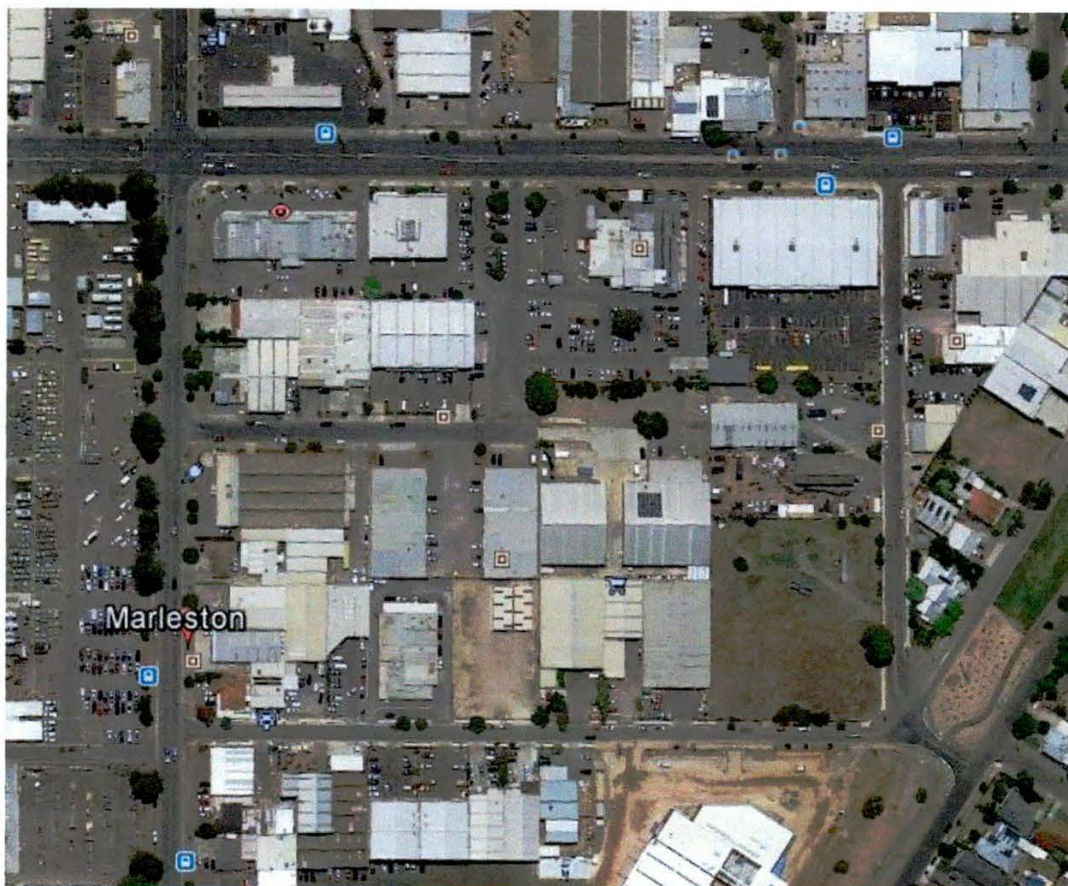


Figure 3 – The Locality

To determine the locality in which the subject land is located a detailed land use survey was undertaken to record the existing uses operating in the area. The character and appearance of the area, traffic movements, noise and a range of other relevant matters which were felt to warrant consideration were also observed and noted.

The notional extent of the locality is best described as that area within Richmond Road, Bruce Avenue, Commercial Street and Grove Avenue. The locality is best described as comprising predominantly industrial uses with a small area of shops, commercial offices, a hotel and a commercial recreational use. The predominant character of the locality is best described as having the appearance and function of industrial and commercial buildings and uses.

4. PROPOSED DEVELOPMENT

The existing buildings and uses on the southern part of the subject land will continue and remain unchanged. These buildings provide spaces for warehousing, storage and office activities with amenities for staff also with the appropriate supporting car parking and landscaping.

The proposed use is for a store/warehouse along with two small offices, a staff room, kitchen area and a uni-gender access toilet and standard form toilet. The drawings accompanying this application indicate the proposal in greater detail with the building located at the north-east corner of the subject land. Two roller doors providing access to the internal space are located at the south side entering from the existing driveway area. The subject land has hard paved car parking, landscaped and turfed areas all in accordance with the Development Plan Provisions. These aspects of the project, which are a higher quality than those which surround it, will upgrade the visual nature of the environment of the locality at large.

The proposed floor area of the new building is some 683 square metres and an additional fourteen (14) car park spaces will be provided. The total floor space on the subject land will be about 2890 square metres and there will be a total number forty-two (42) car parks.

Generally, the materials, textures, finishes and colours will be consistent with those used on other buildings on the subject land.

The applicant, since acquiring the property, has upgraded the appearance of the site by undertaking a considerable clean-up program for the whole site, repainting all of the buildings, significantly upgrading existing landscaping, completed additional planting and added hard paving which has assisted the storm water collection and disposal from the site.

In conjunction with the recently completed canopy additions on the south side of the site, in accordance with Development Approval 211/903/2015, the applicant has undertaken further upgrading of other car park areas, landscaping and improved the appearance of the property beyond that which is required in the approval.

The proposal will be well integrated with the uses and activities on the subject land in terms of design, built form and appearance, traffic movement, car parking and landscaping for the benefit of staff, visitors and the public at large. This will result in all buildings and uses on the subject land achieving a higher standard than that which exists for similar properties in the locality.

5. PLANNING ASSESSMENT

5.1 Zones and Policy Areas

In relation to the zoning the subject land there is an anomaly in that it straddles a zone boundary. Matters like this have usually been identified and corrected many years ago, by aligning zone boundaries with cadastral boundaries. However, this oddity still exists with this titled lot.

The subject land has the southern two thirds in an Industry Zone and the northern third in a Neighbourhood Centre Zone. Refer to **Figure 4** for a composite of parts of relevant Zone Maps WeTo/8 and WeTo/9 from the Council's Development Plan.

The northern third of the land is also within the Marleston Policy Area 12. Refer to **Figure 6** for a composite of parts of relevant Policy Area Maps WeTo/8 and WeTo/9.

The northern third of the subject land is also located within the southernmost part of the Marleston Neighbour Centre as depicted in Concept Plan Map WeTo/20 in Council's Development Plan. Refer to **Figure 6**.

The Policy Area and Concept Plan boundaries were most likely delineated along the zone boundary line without questioning the anomaly.

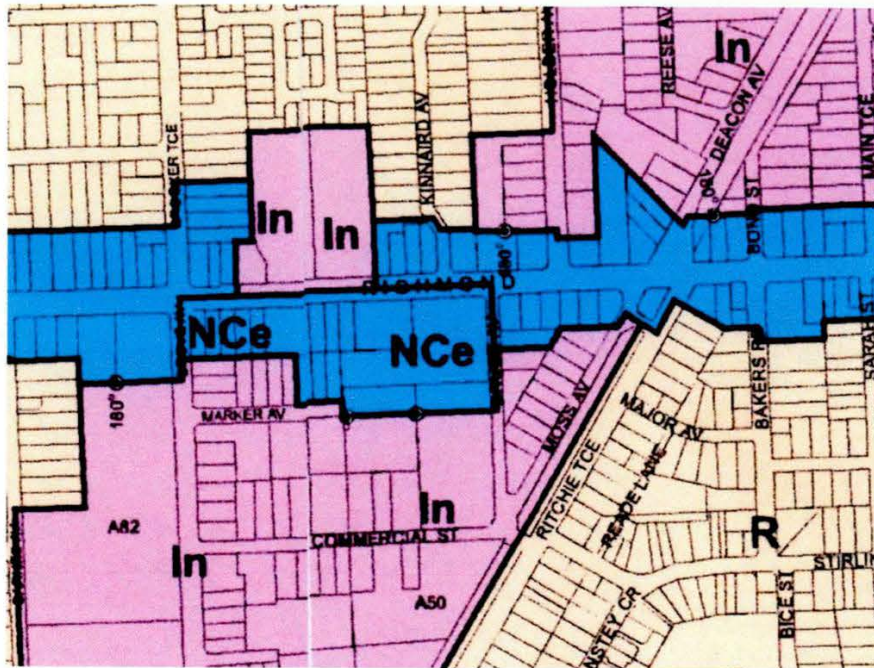


Figure 4 – Composite of parts of Zone Maps WeTo/8 and 9

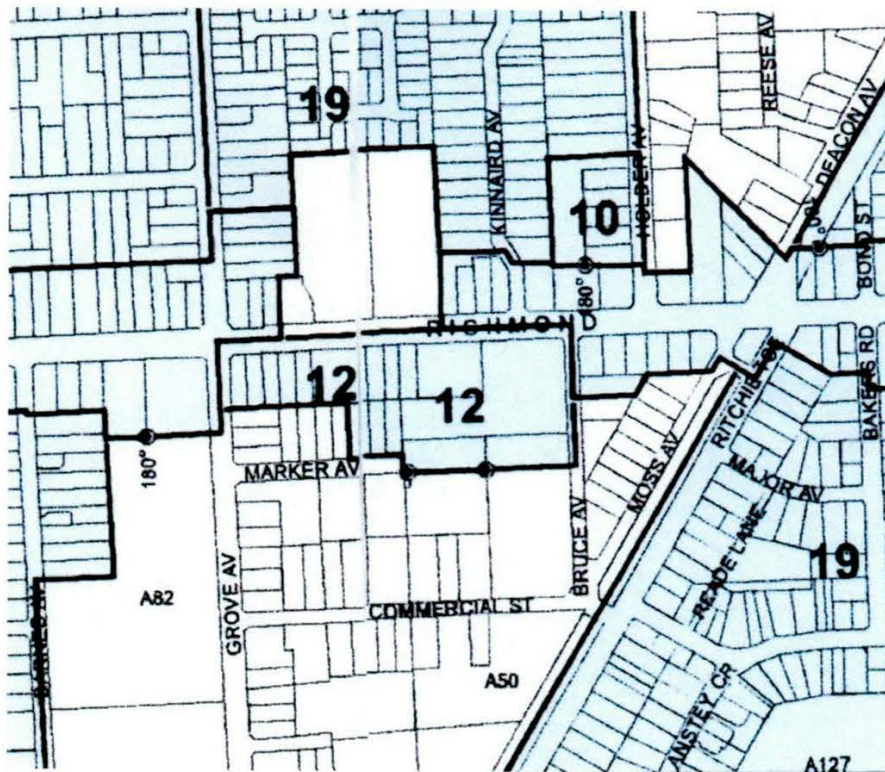


Figure 5 – Composite of parts of Policy Area Maps WeTo/8 and 9

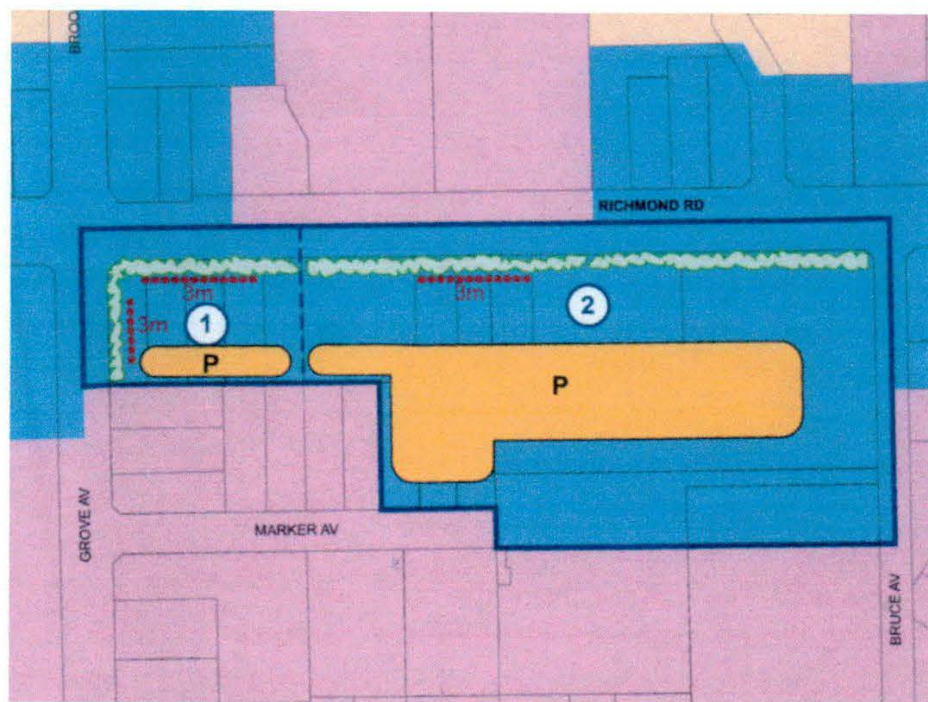


Figure 6 - Part of Concept Plan Map WeTo/20 - Marlestone Neighbourhood Centre

5.2 Classification and Public Notification

Industrial development on land in an Industry Zone is subject to “*consent*” in the West Torrens Council area. However, in this case the subject land straddles a zone boundary with an Industry Zone to the south and a Neighbourhood Centre Zone on the north part of the subject land. Therefore, any industrial development application proposed for the northern part of the same subject land is bound by the Council's Development Plan provisions to be treated as a “*non-complying*” form of development.

Consequently, the application will be subject to Category 3 Public Notification and other consequent statutory procedures and processes.

5.3 Development Plan Provisions

The subject land is situated within the West Torrens Council and therefore requires assessment against relevant provisions of the West Torrens Council Development Plan, consolidated 5 May 2016, being the Plan in force at the time the application was lodged.

The following Development Plan provisions are considered to be relevant to an assessment of the proposed development: -

General Section

Design and Appearance

Objective 1

Principles of Development Control 1 to 4

Relationship to Street and Public Realm Principles of Development Control 13 to 15

Outdoor Storage and Service Areas Principle of Development Control 20

Building Setbacks from Road Boundaries Principle of Development Control 22

Hazards

Objectives 1, 2 and 4

Principles of Development Control 1 to 3

Flooding Principles of Development Control 4 and 6

Industrial Development

Objectives 1 to 5

Principles of Development Control 1 to 6, 8 and 9.

Infrastructure

Objective 3

Principles of Development Control 1, 5 and 6, 7 and 8

Interface between Land Uses

Objectives 1 & 3

Principles of Development Control 1, 2 and 5

Noise Generating Activities Principle of Development Control 8

Air Quality Principle of Development Control 12

Landscaping, Fences and Walls

Objectives 1 and 2

Principles of Development Control 1 to 4 and 6

Orderly and Sustainable Development

Objectives 1 to 5

Principles of Development Control 1, 3 and 8(x)

Siting and Visibility

Principle of Development Control 2 and 8

Transportation and Access

Objectives 1, 2 and 5

Land Use Principle of Development Control 1

Movement Systems Principles of Development Control 2 and 4, 8 and 10 to 14

Access Principles of Development Control 23, 24, and 30

Access for People with Disabilities Principle of Development Control 32

Vehicle Parking Principles of Development Control 35 to 38, 40 to 43

Waste

Objective 1

Principles of Development Control 1 and 2, and 5

Industry Zone

Objective 1

Land Use Principle of Development Control 1

Neighbourhood Centre Zone

Objective 1 and 2

Land Use Principles of Development Control 1 and 2

Marleston Policy Area 12

Objective 1

Desired Character

Land Use Principle of Development Control 1

Form and Character 4 to 7

5.4 Assessment

5.4.1 Land Use

In the previous section the Development Plan provisions, which are considered relevant to the assessment of the proposal, were identified.

Prior to turning to these considerations, it is worth reflecting on the anomaly or oddity of a zone boundary passing through a single titled allotment. Would the drafters of Zone Map WeTo/9, or the drafters of the earlier versions of the map which has existed for two and a half decades or more, have seriously and deliberately drawn the zone boundary to cut through the allotment? It is contended the answer is "No".

Now turning to the assessment of the warehouse and store proposal under these unusual circumstances. The subject land has two buildings in the southern and Industry Zone part of the land while the applicant, and owner of the whole parcel of land, seeks to erect a warehouse and store on the northern part of the land which is within the area designated Neighbourhood Centre Zone.

In Council's Development Plan the Neighbourhood Centre Zone Land Use Principle of Development Control 1 (PDC 1) the proposed development is not a use envisaged for the Zone nor is it in the Marlestone Policy Area 12.

Further the Neighbourhood Centre Zone PDC 2 says: -

Development listed as non-complying is generally inappropriate.

while PDC 3 says: -

Development comprising a variety of residential and non-residential uses should only be undertaken if such development does not prejudice the operation of existing or future non-residential activity within the zone.

Marlestone Policy Area 12 Objective 1 indicates that development should contribute to the character of the policy area. The Desired Character for the Policy Area says in part: -

The policy area will function as a small neighbourhood centre providing a range of services and facilities to cater for the daily and weekly needs of the surrounding population. The centre will have an emphasis on small-scale offices, bulky goods outlets and recreational and community activities which will predominate in the 'Recreation/Community' identified....

.... small scale retail facilities selling primarily food and convenience goods.....concentrated in the 'Retail Core' area....

The Marlestone Policy Area 12 Form and Development PDC 4 discourages development which is not consistent with the desired character. The following PDC 5(a) says: -

the area marked 'Recreational/Community' should primarily accommodate recreation and community activities, particularly hotels, motels, theatres, indoor recreation centres, community centres and places of worship.

It is contended that the proposed warehouse and store on the northern part of the subject land, having regard to a number of factors, does not fall into the category of "inappropriate" those factors being: -

- it will not prejudice the operation of existing or future non-residential activity within the zone;
- there is no likelihood or opportunity of recreational or community activities being established on the subject land or any other uses that could occur in the Neighbourhood Centre Zone;
- the proposal in built form, scale and appearance of the proposal is smaller than the offices, hotel and "Bounce" building fronting Richmond Road in the Neighbourhood Centre Zone;

- will be considerably smaller in built form, scale and appearance than buildings which house bulky goods outlets vis a vis Mile End;
- will be compatible with other buildings in the locality with a similar in built form, scale and appearance;
- will have operating hours considerably less than the hotel, the "Bounce" recreational facility or a bulky goods outlet, and will not generate anywhere near the levels of traffic, car parking and noise as these uses; and
- will be similar to, or less intrusive than, other uses and activities on either side of Marker Avenue and the "BlastMaster" industrial use on the abutting land to the east, the latter being in the Neighbourhood Centre Zone.

It is acknowledged that the Desired Character for the Marlestone Policy Area 12 says that industrial uses are an inappropriate form of development in the Area. As a general requirement, this is sound however, it does not take into account the boundary alignment anomaly.

Concept Plan Map WeTo/20 Marlestone Neighbourhood Centre indicates the northern third the subject land is appropriate for commercial development. The hotel uses a store on adjacent land as an ancillary use. It is contended that the proposal is no different as it can be seen as an ancillary use to the warehoused and store uses on the subject land which are better integrated than the hotel and store.

Having regard to all of the above points it is contended that it will be quite appropriate for the proposed warehouse and store use to be established on the northern third of the subject land

5.4.2 Design and Appearance

When considering the proposal under the heading of Design and Appearance there are a number of matters which are relevant. The first is that development should be of a high design standard and appearance that responds to and reinforces positive aspect of the local environment and built form. It is also expected a locality and a zone will be laid out and linked so that it is easy to understand and navigate.

Development is expected to reflect the desired character of the locality while incorporating contemporary designs that have regard to building height, mass and proportion; external materials, patterns, colours and decorative elements; roof form and pitch; façade articulation and pitch; and verandas, eaves, parapets and window screens. It is discouraged to use highly reflective materials to avoid annoying glare. Further development should be consistent with the desired character for the policy area.

Buildings which are to be located on side boundaries should minimise length and height so that they avoid being seen as disproportionate from adjoining properties.

The proposal has been designed to a high standard and will have quality materials and finishes at least equivalent to or even better than others in the locality. The applicant has sought to achieve an improvement with these aspects of this project. The building and site development will add to and further enhance the local environment and built form through its design, materials, finishes and landscaping throughout the site. Car parking will be hard paved and drained, spaces provided more than required and clearly marked out. Landscaping already has been established and this will be reinforced to further screen car park areas and visually break up paved areas and buildings.

In terms of the Development Plan provisions for design and appearance matters reviewed immediately above it is contended the proposal is entirely consistent with these, with the existing development in the zone (and policy area) and also those envisaged for development in the zone and policy area.

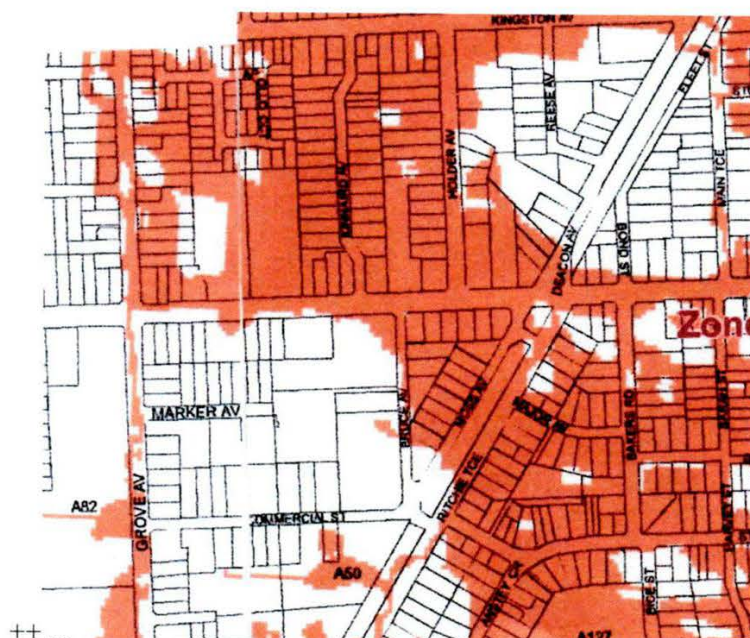
5.4.3 Hazards

The subject land is located at the eastern end of Marker Avenue, Marleston and it is prudent to check if there are any hazards which need be taken into consideration in this assessment.

It is known that some areas of the City are subject to flooding in the event of a 100 years AARI event. Reference was made to Overlay Maps which indicate those areas of Council deemed to be in the threat area. Refer to **Figure 7** being Parts of Overlay Maps WeTo/8and 9 - Development Constraints - Flood Hazard. The subject land is not in the designated Flood Hazard area so this issue is not a factor in the assessment.

5.4.4 Industrial Development

Whilst the proposed warehouse and store is to be located on that part of the subject land immediately north of the Industry Zone it is worth canvassing how it might be assessed as if it were in the Industry Zone. In this regard, it was assessed against the Objectives and Principles of Development Control for Industrial Development. This assessment is not undertaken in detail here but a summary will indicate the general consistency with the relevant provisions.



**Figure 7 – Parts of Overlay Maps WeTo/8and 9-
Development Constraints-Flood Hazard**

The warehouse and store is in accord with all of the Objectives for Industrial Development for development as proposed.

It is on appropriately located land; ready access to transport networks and will not detrimentally impact on those networks; is part of land that is in an Industry Zone; will not cause adverse effects on the health and amenity of those using land in the locality; is compatible with industrial uses adjacent; and will enhance the amenity of the area.

Whilst it proposes a wall height in excess of 3 metres on the boundary of a non-industry use it is consistent with other similar approved buildings on abutting land. Further all vehicles can enter and exit the site in a forward direction; will not create visual impacts on the locality (as illustrated in **Figure 3**) and will not have metal cladding and only contain materials of low reflectivity. Impacts on adjoining uses will not occur as a result of operating hours, traffic, noise fumes and so on.

Landscaping is already, and will continue to be, an integral element of the development especially adjacent to the hotel car park especially to the north-west corner of the site. There is already an existing squash topped tube security fence to the frontage to Marker Avenue with landscaping visible behind and adjacent to the road entry. Either side of the squash topped tube security fence, and between the subject land and adjoining sites, is a corrugated iron fence. Refer to **Figure 1** earlier in this Statement.

The proposed warehouse and store is consistent and compatible with other development on the subject land and adjoining sites.

5.4.5 Infrastructure

The warehouse and store site, for which this application is being made, is serviced by existing public utility infrastructure which will not require upgrading. This ensures the efficient use of the public utilities and other infrastructure which exist in the locality.

There is a comprehensive and integrated storm water collection system already installed on the site which collects all roof water and water landing on the paved and presently unpaved areas. This system includes a silt trap and settlement tank.

5.4.6 Interface between Land Use

There are three Objectives for this topic and an appraisal indicates the proposal will not result in adverse impacts between land uses; will support community health and amenity; and will result in development that is compatible with other land uses in the locality.

By the very nature of the proposed use it will have indiscernible levels of noise; and will not generate anything which will threaten air quality.

5.4.7 Landscaping, Fences and Walls

The provision in this section of the Development Plan aims to ensure that landscaping, fences and walls, as aspects of development, do not take from but contribute to the attractiveness and amenity of the area in which they are located.

While the very nature of the development requires paving for car park areas and for the effective collection and disposal of storm water, there has been considerable landscaping on the site and this will continue as part of this application. The intent is to enhance the appearance of the site at large for adjacent landholders and users and those working and visiting the site.

To this end the proposal will result in planting which reduces the impact of the buildings; enhance the frontage to Marker Avenue; will add to, and provide more areas of landscaping such that it will be excess of ten percent (10%) of the site area; and fences and walls will be consistent with the applicable requirements of the Development Plan.

5.4.8 Orderly and Sustainable Development

The proposed warehouse and store application in the main complies with the Objectives under this section which expect proposals to be orderly and economic to create a safe, convenient and pleasant environment; occur in an orderly sequence and in a compact form for the efficient provision of public services and facilities; and not to prejudice the achievements of the Development Plan.

The final Objective in this section with which the proposal is not consistent with is that it is not in a zone designated for such development. However, the unusual circumstances regarding the zone boundary and the subject land creates mitigating conditions.

The application is also considered against relevant PDCs and in this regard, it is assessed it will not prejudice the development of the zone for its intended purpose in this case as it is a separately titled parcel of land that which cannot be integrated with the land in the Neighbourhood Centre Zone. The proposal does form a compact extension to the existing built-up area.

The final relevant PDC asks that development be undertaken in accordance with the Marlestone Neighbourhood Centre Concept Plan as illustrated in Map WeTo/20.

An assessment and comments about this latter requirement were discussed earlier in this Statement of Effect under **5.4.1 Land Use**.

5.4.9 Siting and Visibility

The siting and visibility are aspects of a development which must be considered. In this regard the building will be sited in a relatively unobtrusive location, grouped together with other like buildings and located such that it is not readily seen from public roads.

Several other requirements under this part have already been addressed under **5.4.2 Design and Appearance**.

5.4.10 Transportation and Access

There are five Objectives for this subject and they are fairly generic in nature however there are some elements more applicable to this application which will be reviewed.

The existing development provides off-street car parking at the rate required for the established use floor areas.

This application includes additional off-street car parks in accordance with requirements for a warehouse and store where the requirement is based on the aggregation of all (or total) floor area on the subject land. There are twenty-seven (27) existing designated car parks provided at present with more area for less formalised parking. There has never been an occasion when all the twenty-seven spaces have been occupied. The total spaces for parking on completion of the project will be forty-two (42).



Figure 9 – Part of Overlay Map WeTo/9 – Strategic Transport Routes

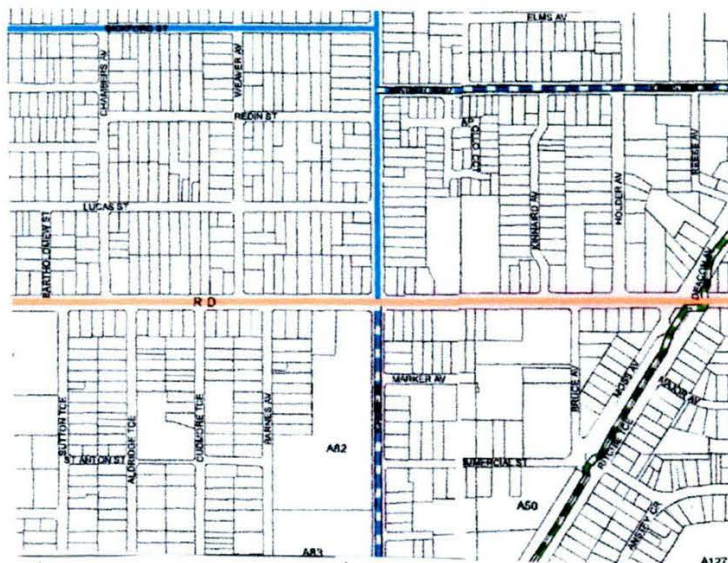


Figure 10 – Part of Overlay Maps WeTo/8 and 9 – Transport

The subject land is appropriately located so that it makes the best use of existing transport facilities and networks. Refer to **Figure 9 - Part Overlay Map WeTo/9 – Strategic Transport Routes** and **Figure 10 – Part Overlay Maps WeTo/8 and 9 – Transport** and these clearly show that Richmond Road is identified as a Strategic Transport Route and also a Secondary Arterial Road. To the east, it links to South Road and to the west to Marion Road both Secondary Arterial Roads. Grove Avenue, at the west end of Marker Avenue, is a Secondary Road. All these designated roads are designed for, and do carry, considerable volumes of heavy vehicles which move freight.

Hence the valid claim the subject land is appropriately located for the existing use on the site as is also the proposed warehouse and store which is the subject of this application.

The proposed warehouse and store use, and the existing uses, on the subject land are so located as to support, by their use, of the existing efficient transport networks in the locality as provided in Transport and Access Land Use PDC 1. Similarly, the proposal is in accord with the Movement Systems PDCs 2, 8, 11 and 12 and 14, Access PDCs 23,

The Development Plan has access requirements for people with disabilities and this application makes suitable provision for these needs by providing a car park space adjacent to the existing main building's entry point. Being centrally located on the site it will also be convenient to customers visiting the new building.

The Vehicle Parking PDCs 34 to 37, and 40 to 43 are applicable to this project and the number of additional car parking spaces provided is fourteen (14).

This basis on which the additional car parking has been calculated firstly, takes into account the total floor area of the existing two warehouse and stores and the car parks provided for these approvals. which, in the main, were issued about twenty years ago, (with the exception of the recently completed canopies to the south of the site). The proposed additional car park spaces have been calculated by applying the proportional requirements as set out in Table WeTo/2 - Off Street Vehicle Parking Requirements for the Industry and Warehouse category plus factoring in the number of car park space needs for parking for disabled drivers. The total number of car parks provided on the site is the result.

In this part, and in accordance with PDC 35, the car parking has been provided consistent with *Australian Standard AS 2890 Parking Facilities*. The provisions of PDC 36(c) to (g), (i) to (k), 37, and 40 to 43.

Where the **Transportation and Access** provision of the Development Plan are relevant as they apply to this application they have been used to ensure that they are appropriately met as detailed above.

4.11 Waste

The nature of the present business at 11 Marker Avenue is such that it produces little waste. Waste which is in the nature of packaging material is removed by commercial contractors on an as needs basis. Waste is presently stored in bins located within the existing buildings or externally located bins at the rear of the existing building on the south-east corner of the site.

Notwithstanding the present and proposed activities there is more than adequate space within the proposed buildings or at the rear of the building at the south-east corner of the site for commercially collected waste to be stored.

5.4.12 Other Considerations

While a warehouse and store use is non-complying in a Neighbourhood Centre Zone as part of the assessment in this Statement of Effect, it is relevant to consider matters which would be used to assess such a proposal in a Neighbourhood Centre Zone. The rationale for this approach is to determine whether the new warehouse and store is sufficiently consistent with the Plan provisions or not. This approach has been adopted because of the most unusual circumstances of the subject land which straddles a zone boundary.

5.4.12.1 Overshadowing

The proposed building is to be located at the north-eastern corner of the subject land. The corner of the building will be immediately adjacent to the hotel store located at the south-western corner of the land on which the "Bounce" building and car park are located.

Immediately east of the proposed building is the "BlastMaster" industrial building. These two buildings will abut and partially overlap on the east boundary. Refer to **Figure 2** or **3** to see the relationship between the two buildings.

The proposed building will not create overshadowing issues as the shadow cast by the sun in the morning through to early afternoon will fall across car park or vehicle movement areas. Later in the afternoon the shadow cast by the proposed building will fall across the "BlastMaster" building and the storage area to the east.

Consequently, shadows cast by the proposed building will have a neutral effect on surrounding land.

5.4.12.2 Relationship to the Street and Public Realm

The main façade of the warehouse and store will face the western boundary and Marker Avenue which is the primary street frontage. The proposed building has been designed to have a well-designed appearance consistent with, or co-ordinated, with the other buildings on the subject land and those generally in the locality. This will be enhanced by the paved areas, extensive landscaping and minimalist signage. This approach has been adopted to enhance the visual appearance of the locality an issue the applicant is very keen to do as the property is at the focal point at the end of Marker Avenue.

5.4.12.3 Boundary Setbacks

The front of the proposed building is setback from the Marker Avenue front boundary 37.9 metres. The north and east walls will be located on the boundary. The north-eastern corner wall of the proposed building abuts the corner of the store on the adjacent land, and will abut approximately half of the "BlastMaster" industrial building to the east.

By the very nature of the hotel car park it is large open area which has been established with fairly sparse landscaping. The north façade of the proposed building will obviously be seen from this area. However, this aspect of the building will not be seen to any real extent from the public realm of Richmond Road or Bruce Avenue.

There are several other walls located on the boundary in this area being the blank west wall of the "Bounce" building and the store on the same rectangle of land as the "Bounce" car park area. This latter building serves as a store for the hotel and is accessed from the south-eastern corner of the hotel car park.

In regard to the proposal's north and east wall setbacks it is considered, on balance, to be in accordance with the Development Plan requirements.

5.4.12.4 Site Coverage

The site area of the subject land is 6034 square metres. The floor area of all buildings on the site will be 2890 square metres. The resultant site coverage will therefore be forty seven percent (47%).

The present version of Council's Development Plan does not stipulate a maximum site coverage for either the Industry or Neighbourhood Centre Zones hence from this aspect the proposal is acceptable. More landscaping will be provided on the subject land than stipulated in the Development Plan. Similarly, the provision of car parking surpasses that required by the Plan. These aspects of the project further indicate the building footprint, and therefore site coverage, is of a good standard and acceptable.

5.4.12.5 Noise

The activities which presently occur on the subject land are low level with the movement of vehicles, being light trucks, trailers, golf carts and motor vehicles. As a result noise levels are low and certainly less than other noises generated on surrounding properties and the from the uses thereon.

Further considering the nature of activity which might occur on the subject land in the future these would need to be consistent with any uses presently, or in the future, being approved for the land.

6. ECONOMIC, ENVIRONMENTAL AND SOCIAL EFFECTS.

6.1 Economic Effects

The proposal for the warehouse and store, along with car parking and landscaping, as an addition to the existing similar uses will provide some economic benefits. There will be a small growth in the present business to allow some additional employment opportunities. Part of the additional floor space of the new building will also allow for the co-location of an ancillary or allied business providing some further employment opportunities.

Additional employees will have a have a positive effect on other local businesses with some increase in economic growth within the locality. As an aside it is noted that the number of car park spaces provided is sufficient for the industrial use given a small number of additional employees, whether the calculation for car parks is based on floor area or employee numbers.

Another economic benefit will be that the proposed use will achieve the "highest and best use" of the land in this location. This will optimise the use of land without it being over-development.

Approval of the proposal will have the additional economic benefit in that existing infrastructure will adequately cope with the small added needs of the building addition with no new and costly infrastructure being required.

6.2 Environmental Effects

The environmental effects have been assessed to be neutral, that is neither beneficial nor negative. It is considered there will be minimal increase in vehicle movements on the subject land or in the locality as a result of the added floor space; no changes to the hours of operation; noise levels will be minimal and certainly no more than presently made by motor vehicles moving to or leaving the site; and there will be no activity that would generate fumes or odours.

Appropriate domestic waste of a minor nature will be disposed through the Council collection service as they are currently. Other waste will be collected by a contracted service providers.

6.3 Social Effects

The proposed additional warehouse and store is expected to have small social benefit. It has been noted there may be several job opportunities created once the proposed building has been completed and should this occur this will have beneficial social effects.

7. CONCLUSION

The proposed development by Coco Investments (SA) Pty Ltd, which presently owns and operates from the subject land, is worthy of favourable support by Council as: -

- it is an addition to an existing use on a parcel of land which is exclusively held in a single titled allotment;
- there is a notable anomaly in Council's Development Plan, which has existed for over twenty years, in that the subject land has the zone boundary which dissects the titled allotment rather than following the standard and accepted practice of being aligned with the cadastral boundary;
- the accepted practice has not been applied to this parcel of land so it can logically be deduced that it was unintentional, or an oversight in drafting, and this view is based on over four decades of planning experience. This has created the dilemma for the owner who wishes to undertake further development on the land consistent with appropriate use on the southern two-thirds of the land;
- there are also a number of relevant matters in Council's Development Plan against which the proposal has been assessed the outcomes of which include that it: -
 - ◆ will integrate compatibly with the uses and activities on the subject land and in the locality in terms of design, built form and appearance, traffic movement, car parking and landscaping;
 - ◆ will not fall into the category of "inappropriate" development as it will not affect the operation of existing or future non-residential activity within the zone;
 - ◆ there is no likelihood or opportunity of recreational or community activities being established on the subject land or any other uses that could occur in the Neighbourhood Centre Zone;
 - ◆ the built form, scale and appearance of the proposal is smaller than the offices, hotel and "Bounce" building fronting Richmond Road in the Neighbourhood Centre Zone and smaller than buildings that house bulky goods outlets vis a vis Mile End;
 - ◆ be compatible with other buildings in the locality with a similar built form, scale and appearance;
 - ◆ have operating hours considerably less than the hotel, the "Bounce" recreational facility or a bulky goods outlet, and will not generate the levels of traffic, car parking and noise as these uses;
 - ◆ similar to, or less intrusive than, other uses and activities on either side of Marker Avenue and the "BlastMaster" industrial use on the abutting land to the east, the latter being in the Neighbourhood Centre Zone;
 - ◆ will have a higher standard of design across the whole of the subject land that reinforces the positive aspects of the local environment;
 - ◆ incorporating contemporary designs that has regard to building height, mass and proportion; external materials, roof form and pitch; façade articulation and pitch; window screens; it does not use highly reflective materials that create glare;
 - ◆ is located on a side boundary and will minimise length and height so that it does not appear disproportionate to adjoining properties.

- ◆ is designed to a high standard and will have quality materials and finishes as good as, or better than a number of others in the locality;
- ◆ car parking will be hard paved and drained and will meet the provisions of *Australian Standard AS 2890 Parking Facilities*;
- ◆ landscaping already has been established, and is to be reinforced, to screen car park areas and visually break up paved areas and buildings;
- ◆ is not located in a Flood Hazard area;
- ◆ is consistent with all the provisions for such development if it were located in the Industry Zone adjacent on the same titled allotment of land;
- ◆ requires no added expenditure for new infrastructure as it will use the existing public utilities within their capacity;
- ◆ will have no adverse impacts between land uses, support community health and amenity, and will be compatible with other land uses in the locality;
- ◆ will have no discernible levels of noise nor will it generate anything that will threaten air quality;
- ◆ has fencing, previously approved, and revamped existing and new landscaping that will enhance the frontage of the property to Marker Avenue and the locality at large;
- ◆ will not prejudice the development of the zone for its intended purpose as it is in a separately titled parcel of land that cannot be integrated with the land in the Neighbourhood Centre Zone;
- ◆ is sited in a relatively unobtrusive location and grouped together with other like buildings such that it is not readily seen by the public at large;
- ◆ is appropriately located so that it makes the best use of Strategic Transport Route Development Plan and Secondary Arterial Roads identified in the Development Plan;
- ◆ will continue to store waste internally or unobtrusively which will be collected by commercial waste disposal contractors while waste of a domestic nature will be collected via the usual Council service as necessary;
- ◆ will have shadows cast in a westerly, and southerly area of the subject land from the morning through to noon and early afternoon which will not affect any adjoining land. In the early to late afternoon shadows will fall across the open storage area of the adjoining industrial property to the east. The shadows will therefore cause no adverse effect on adjoining properties and those using them.
- ◆ make a neutral impact on Marker Avenue and the public realm due to its significant setback on the subject land while the landscaping which exists and which will be reinforced will make a positive contribution;
- ◆ has appropriate and acceptable setbacks from boundaries having regard to surrounding buildings and uses;

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- ◆ will have a site coverage of less than fifty percent (50%) allowing for good areas of open space around all existing buildings on the land and also in relation to others in the locality; and
- ◆ will not generate noise or odours which would cause annoyance to those in the area.

This Statement of Effect has considered the economic, environmental and social effects of the proposal and it is contended that there will be some economic benefits, neutral environmental effects and possibly some social advantages.

A detailed review of the Coco Investments (SA) Pty Ltd proposal has been undertaken against the relevant provisions of the West Torrens Council Development Plan, consolidated 5 May 2016, and it is judged to be appropriate and sufficiently in accordance with Council's Development Plan to warrant approval by Council's Development Assessment Panel and to seek the Development Commissions concurrence of that approval.

Andrew Young LFPIA BA Planning
Principal
Andrew Young Planning

6 December 2016

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ATTACHMENT A

Copy of Certificate of Title for the Subject Land

161206Cocoinvest(SA)PtyLtdStatementOf Effect



Title Register Search

LANDS TITLES OFFICE, ADELAIDE

For a Certificate of Title issued pursuant to the Real Property Act 1986

REGISTER SEARCH OF CERTIFICATE OF TITLE * VOLUME 6061 FOLIO 123 *

COST : \$19.20 (GST exempt)
REGION : EMAIL
AGENT : COLL BOX NO : 193
SEARCHED ON : 20/03/2012 AT : 14:24:52
CLIENT REF PT IND MARKER AVE
PARENT TITLE : CT 5878/405
AUTHORITY : RTC 11414350
DATE OF ISSUE : 15/07/2010
EDITION : 1

REGISTERED PROPRIETORS IN FEE SIMPLE

ALAN CHARLES GRACE AND CHRISTINE ELEANOR GRACE BOTH OF 119 KINGFISHER
CIRCUIT FLAGSTAFF HILL SA 5159 AS JOINT TENANTS

DESCRIPTION OF LAND

ALLOTMENT 100 DEPOSITED PLAN 84221
IN THE AREA NAMED MARLESTON
HUNDRED OF ADELAIDE

EASEMENTS

NIL

SCHEDULE OF ENDORSEMENTS

10225854 MORTGAGE TO BENDIGO BANK LTD.
11414349 ALTERATION OF NAME: BENDIGO BANK LTD. IN MORTGAGE 10225854 IS
NOW BENDIGO & ADELAIDE BANK LTD.

NOTATIONS

DOCUMENTS AFFECTING THIS TITLE

NIL

REGISTRAR-GENERAL'S NOTES

NIL

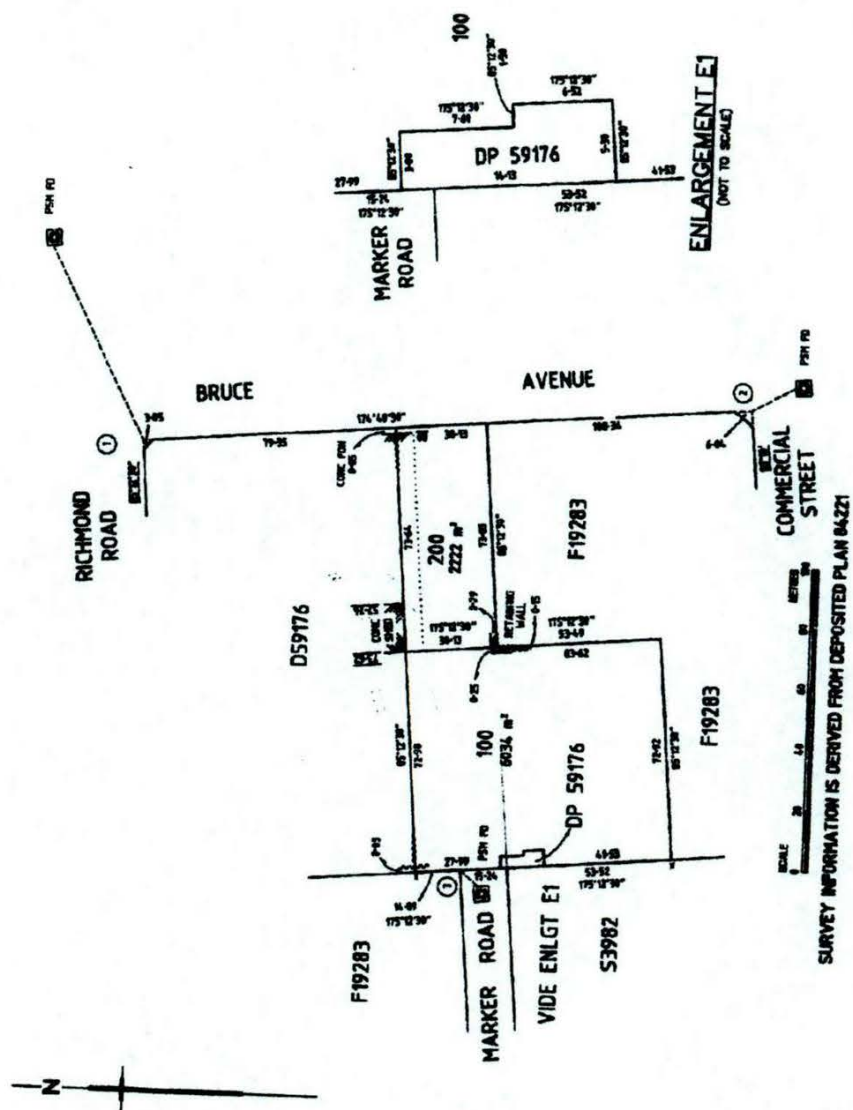
END OF TEXT.

Page 1 of 2

The Registrar-General certifies that this Title Register Search displays the records
maintained in the Register Book and other notations at the time of searching.



LANDS TITLES OFFICE ADELAIDE SOUTH AUSTRALIA
 DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 6061 FOLIO 123
 SEARCH DATE : 20/03/2012 TIME: 14:24:52



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ATTACHMENT B

**Correspondence to Council as Statement Outlining Reason
why the Non-complying Development Application should
Proceed dated 7 March 2016**

161206CocoInvest(SA)PtyLtdStatementOf Effect

ANDREW YOUNG PLANNING

13 Norfolk Street
BLACKWOOD SA 5051

Mobile 0407240333

ajyoung3@bigpond.com

7 March 2016

Mr Tony Kelly
Co-ordinator Development Assessment
City of West Torrens
165 Sir Donald Bradman Drive
HILTON SA 5033

Dear Tony,

Development Application by Coco Investments (SA) Pty Ltd for a Store and Warehouse at 11 Marker Avenue, Marleston including a Statement Outlining Reason why the Non-complying Development Application should Proceed.

Andrew Young Planning acts for Coco Investments (SA) Pty Ltd in relation to this application which we discussed with you during 2015.

This letter is the *Statement Outlining Reasons why the application should Proceed* as the application is for a non-complying use as set out in Council's Development Plan. The application is accompanied by drawings detailing the proposal. It is the first step in the non-complying development application process. Should Council grant approval to proceed a Statement of Effect will be prepared and submitted as the second step in the non-complying Development Application process.

The Subject Land

The whole of the subject land is at 11 Marker Avenue, Marleston which is located at the eastern end of that thoroughfare. The land is described in Certificates of Title Volume 6061 Folio 123 a copy of which is enclosed.

The land has a depth of approximately 72.90 metres and a width of approximately 83.6 metres. The area of the subject land is about 6034 square metres. The frontage to Marker Avenue is 15.24 metres. The whole of the subject land is relatively flat. There is a storm water collection and disposal system for the roofed areas and site run-off all within the subject land.



Figure 1 – The Subject Land.

161206CocoInvest(SA)PtyLtdStatementOf Effect

There is a parcel of land described in DP 59176 on the western boundary which does not form part of the subject land and it accommodates a telecommunications tower.

The Proposed Use

The proposed use is for a store/warehouse. The drawings lodged with this letter indicate the proposal in greater detail with the building located at the north east corner of the subject land. The proposal includes small office spaces and staff amenities within the building. Roller doors for access to the internal space are located at the south side entering from the existing driveway area. Hard paved car parking areas and landscaped and turfed areas are proposed consistent with requirements of the Development Plan for such a use.

The proposal will be integrated in terms of built form, traffic movement, car parking and landscaping with the other buildings and uses on the subject land and of a standard which it is considered will be higher than a number of properties in the surrounding area.

The Locality

The subject land is located south of Richmond Road and east of Grove Avenue. There are a number of uses in the locality which include a small group of shops on the immediate corner of Richmond Road and Grove Avenue. Other uses east of the shops on Richmond Road through to Bruce Avenue include a TAB and lotteries call centre, snack bar/fish and chips, a hotel with extensive car park area, and a recreational use ('Bounce'). The parcel of land on which 'Bounce' is located also contains a store in the south west corner which is accessed from the hotel car park and used by the hotel as a store. Immediately south of 'Bounce' is an industrial use on a parcel of land which straddles the zone boundary.

Existing uses on Grove and Marker Avenues include warehouse and stores with small office components. To the immediate south of the subject land are a warehouse/store use while to the south east is vacant industrially zoned land. The subject land is occupied with store and warehouse uses.

A detailed land use survey was undertaken to determine the existing uses operating in the locality, their character and appearance, traffic movements, noise and a range of other relevant matters that were felt to warrant consideration.

The locality is best described as comprising predominantly industrial uses with a small area of shops, an hotel and a commercial recreational use.

The predominant character of the locality is best described as having the appearance and function of industrial and commercial uses.

Zone and Policy Area

The City of West Torrens Development Plan Consolidated 5 November 2015 indicates that there is a zone boundary passing through the subject land. An Industry Zone is located to the south of the boundary while to the north is a Neighbourhood Centre Zone. The southern two thirds of the subject land is located in the Industry Zone while the north third is located in the Neighbourhood Centre Zone.

It has been known to the writer for over fifteen years that this is one of several anomalies in the Council's Development Plan where a zone boundary bisects a titled parcel of land rather than being aligned along the cadastral boundaries. At that time an amendment was being prepared to regularise these anomalies but for reason unknown the amendment did not proceed.

Development Plan Provisions

The proposal is for a store, warehouse with a small office component which would exist on the Neighbourhood Centre Zone part of the subject land but it would be an integral part of the uses and activities which exist on the southern part of the subject land in the Industry Zone. It will have all the visual and functional attributes of the other uses on the subject land and also with all of the other uses on abutting land.

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While this is a *Statement Outlining Reason why the Non-complying Development Application should*

Proceed it is worth providing a brief overview of the proposal against the relevant provisions of the

Development Plan. A more detailed assessment of the project against the below mentioned Development Plan provisions will occur in the *Statement of Effect* should there be agreement for the application to proceed.

If the store/warehouse were to be located in the Industry Zone area of the subject land an assessment against the relevant Objectives and Principles of Development Control would be required. This has occurred and assessment has been undertaken against the following matters in the General Section of the Development Plan being Building Near Airfields; Design and Appearance; Hazards; Industrial Development; Infrastructure; Interface between Uses; Landscaping, Fences and Walls; Orderly and Sustainable Development; Siting and Visibility; Transportation and Access and Waste. In the Zone Section an assessment was made against Industry Zone.

This assessment led to the view that such a proposal would be worthy of approval on merit if it were to be located entirely within the Industry Zone.

The proposal however is located in the Neighbourhood Centre Zone part of the subject land so an assessment has been undertaken against the relevant provisions of that zone and included the following from the General Section of the Development Plan including Building Near Airfields; Centres and Retail Development; Design and Appearance; Hazards; Infrastructure; Interface between Uses; Landscaping, Fences and Walls; Orderly and Sustainable Development; Siting and Visibility; Transportation and Access and Waste. In the Zone Section an assessment occurred against Neighbourhood Centre Zone including the Objectives and Principles of Development Control, and also the Objectives, Desired Character and Principles of Development Control covered in the Marlestone Policy Area 12.

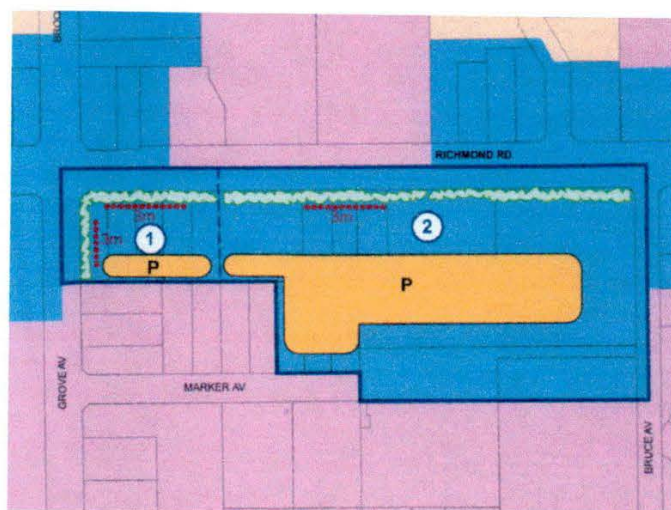


Figure 2 - Part Concept Plan Map WeTo/20 Marlestone Neighbourhood Centre

The Concept Plan Map WeTo/20 Marlestone Neighbourhood Centre (Refer Figure 2) provides a further indication about the way in which Council envisaged the area would develop within the Neighbourhood Centre Zone. There are two areas within the Zone, Area 1 being the *Retail Core* while Area 2 is designated as *Recreational/Community* orientated activities.

Part of Area 2 extends south beyond the cadastral boundaries of the land occupied by the hotel and 'Bounce' into separately titled allotments of land. In planning terms, it makes little sense to envisage these areas would ever be developed with uses consistent with the provisions for the Neighbourhood Centre Zone while the majority of the balance of the titles are within an Industry Zone.

Summary and Conclusion

This *Statement Outlining Reason why the Non-complying Development Application should Proceed* has been prepared for a non-complying Development Application by Coco Investments (SA) Pty Ltd to establish a store and warehouse with a small office component at 11 Marker Avenue, Marleston. The *Statement* is submitted pursuant to Regulation 17 (1) of the Development Regulations 2008.

Council is requested to consider the application as presented and resolve to allow the application to proceed pursuant to Regulation 17(34)(b).

Once advice has been received that the application can proceed the proponent will prepare and lodge the *Statement of Effect* which will provide a detailed assessment of the project against the provisions of the City of West Torrens Development Plan Consolidated 5 November 2105.

It is considered there are two key reasons the application should proceed. Firstly, Development Plans with few exceptions align zone boundaries with cadastral boundaries. There are sometimes extenuating circumstances where this alignment cannot be achieved but this is not the case being discussed here.

In this case, there is a long-standing anomaly in the Development Plan which appears in the Zone Map We To/9, the alignment of which is shown in Figure 1 – The Subject Land above. The zone boundary between the Industry Zone and the Neighbourhood Centre Zone traverses through the subject land which itself is contained within a single titled allotment. This gives rise to lack of clarity and certainty about how the land can be best developed in a consistent and comprehensive manner. As reviewed earlier this anomaly has been known for over fifteen years and earlier attempts to redress the anomaly did not progress.

Secondly, the established uses, the offices, hotel and 'Bounce', have built forms reflecting their commercial nature. Their building height, mass and proportion are those of commercial properties and they provide for larger areas for car parking than do shops. The nature of the development in the adjoining Industry Zone is similar, the building height, mass and proportion and the area provided for car parking is visually compatible. The commercial uses have greater levels of activity during some hours of their operation than do the shops. The adjacent industrial uses have a more evenly spread but lesser levels of activity than the commercial uses.

In relative terms the compatibility between the commercial and industrial uses in this locality is more consistent than with the shops.

The proposed store, warehouse with an office component, described in this application, is of a like nature and will not be inappropriate on the subject land in our view.

Conclusion

We consider on balance there are very good reasons why the non-complying application should be allowed to proceed based on two principle reasons. Firstly, the zone boundary alignment anomaly, secondly the predominance of commercial development immediately abutting the subject land to its north which is of similar characteristics to the proposed. The proposal will compatibly integrate in terms of use, function and form with uses surrounding the subject land, and also with the approved store and warehouse uses on the south side of the subject land.

Should you arrive at the same view we understand that you may have the delegation to give approval for us to proceed with the *Statement of Effect* on behalf of our client.

Please contact us if you have any matter you wish to clarify.

Yours sincerely,

Andrew Young LFPIA BA Planning
Principal
Andrew Young Planning

161206CocoInvest(SA)PtyLtdStatementOf Effect

Page 30 of 31

ATTACHMENT C

**Copy of email in response to telephone message advising
the Statement of Effect could proceed dated 18 May 2016**

161206CocolInvest(SA)PtyLtdStatementOf Effect

DA 211/235/2016 = 11 Marker Avenue, Marleston for a Warehouse
& Store

Actions

Andrew Young

18/05/2016

To: tkelly@wtcc.sa.gov.au Cc: Pete Ormsby



Greetings Tony,

Thanks for your phone message today advising that we can now proceed with the Statement of Effect for this DA. Once all documents are complete we shall lodge the DA for processing.

Regards,

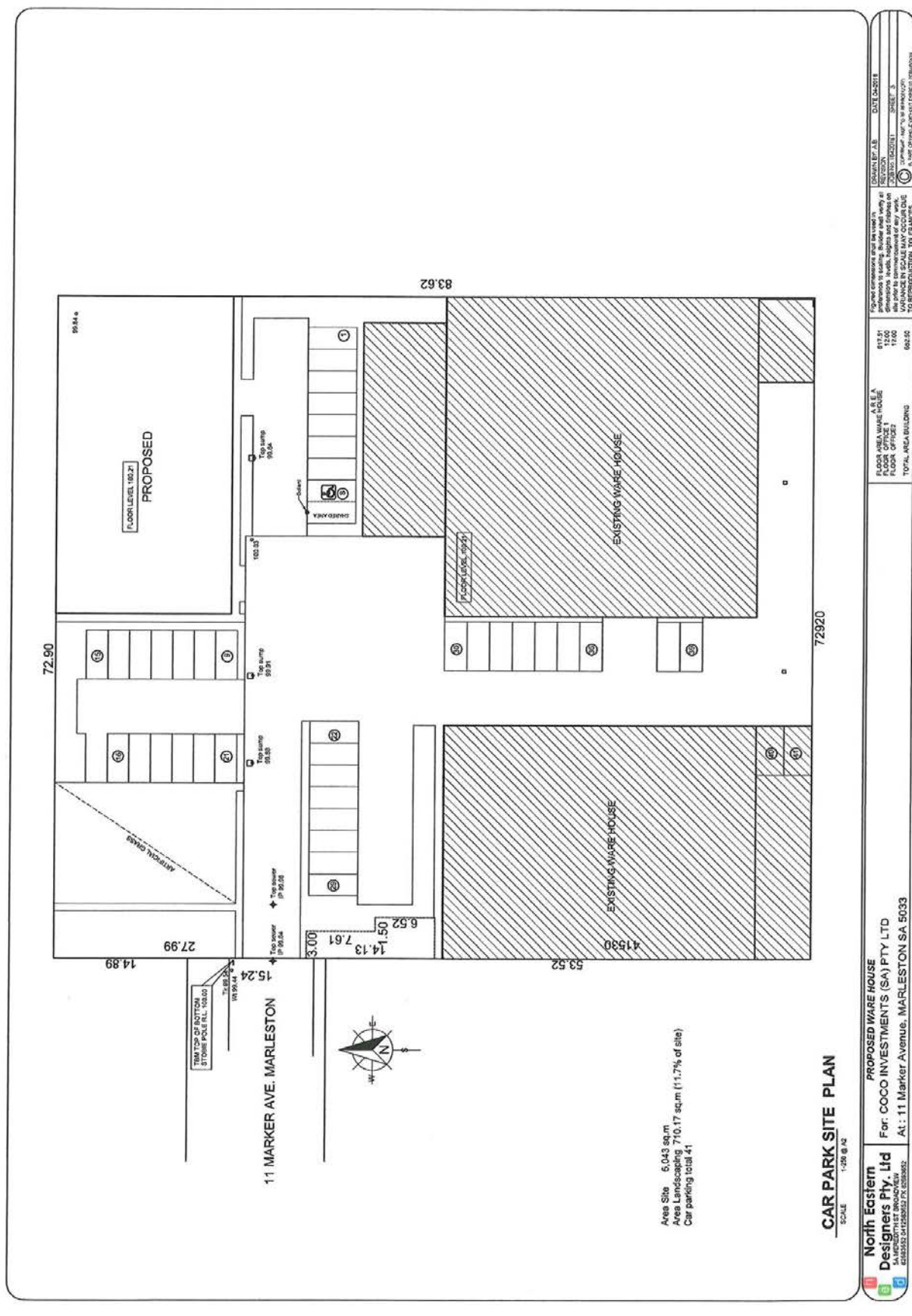
Andrew Young LFPIA BA Planning

Andrew Young Planning

35A Station Avenue

Blackwood SA 5051

Mobile - 0407240333







CONSULTING
ENGINEERS

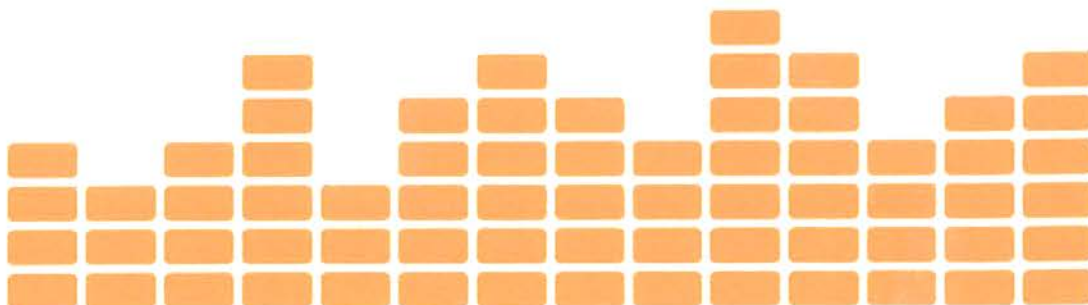
CIVIL STORMWATER CALCULATIONS

11 Marker Avenue, Martleston

Project reference: 2017-5928MA

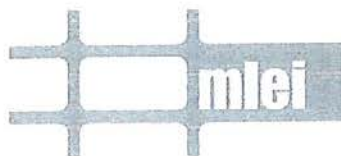
ISSUE A

DATE: 06/04/2017



ADELAIDE: LEVEL 5, 19 GILLES STREET ADELAIDE SA / (08) 8231 2832
PORT LINCOLN: OFFICE 5, 12 LEWIS STREET PORT LINCOLN SA 5606 / (08) 8683 3884
WWW.MLEI.COM.AU / MLEI@MLEI.COM.AU / ABN: 29 125 240 459



CONSULTING
ENGINEERSReference 2017-5728 MAProject 11 Marker Ave, MarlestonChecked by CJGDesigner H.PDate 27/03/2017Index 1Control Requirements:

- Allowable outflow 20L/s
- Pipes to be sized for 20 year ARI

Post-development flow:

Refer 'Post-development Plan'

$$A_{\text{total}} = 1453.9 \text{ m}^2$$

$$A_{\text{carpark}} = 295.6 \text{ m}^2$$

$$A_{\text{roof}} = 684.5 \text{ m}^2$$

$$A_{\text{grass}} = 473.8 \text{ m}^2$$

$$C'_{10} = 0.1 + 0.0133 \left(\frac{I_{10}}{I - 25} \right) \quad \text{where } \frac{I_{10}}{I} = 26.0 \text{ mm/hr}$$

$$= 0.1 + 0.0133 (26.0 - 25)$$

$$= 0.1133$$

Eq 14.12 ARR

 $A_{\text{roof}} \rightarrow S_1 = 1.0$, impervious roof area

 $A_{\text{carpark}} \rightarrow S_2 = 0.9$, significant paved area

 $A_{\text{grass}} \rightarrow S_3 = 0.9$, significant paved area

QUDM, Table 4.05.1

$$\therefore S = \frac{(S_1 A_{\text{roof}}) + (S_2 A_{\text{carpark}}) + (S_3 A_{\text{grass}})}{A_{\text{total}}}$$

$$= \frac{(1.0 \times 684.5) + (0.9 \times 295.6) + (0.9 \times 473.8)}{1453.9}$$

$$= 0.947$$

$$C_{10} = 0.95 + C'_{10} (1 - S)$$

$$= (0.9 \times 0.947) + 0.1133 (1 - 0.947)$$

$$= 0.858$$

Eq 14.11 ARR

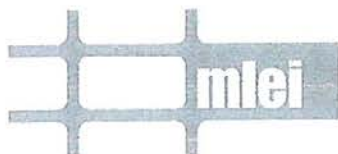
$$C_{20} = F_{20} C_{10} \quad \text{where } F_{20} = 1.05 \text{ from Table 14.6 ARR}$$

$$= 1.05 \times 0.858$$

$$= 0.901$$

Eq. 14.13 ARR

Assume a time of concentration, $t_c = 5 \text{ mins}$

CONSULTING
ENGINEERSReference 297-5928MAProject 11 Marker Ave, MarlestonChecked by EJGDesigner H.PDate 27/03/2017Index 2Detention Calculations:

Refer 'Detention Calculations' excel

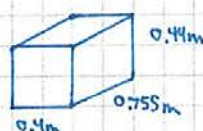
Required detention volume of 7988L for an allowable outflow of 20L/s

1. Adopt a 8000L RWT

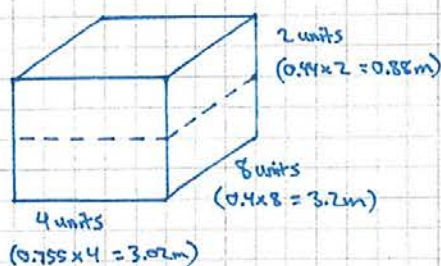
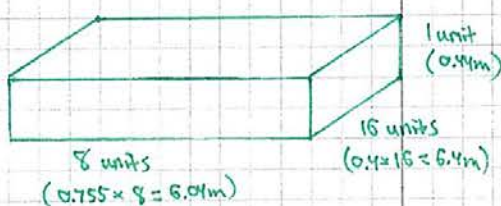
Maximum inflow rate of 44.0L/s.

Detention tank sizing:

Refer "Drainwell Modular detention cell brochure"

Individual unit:Detention volume: 0.132m³

$$\begin{aligned}
 \text{Total units required} &= \text{Required detention volume} \div \text{detention per unit} \\
 &= 8 \div (0.132 \times 0.95) \\
 &= 63.8 \\
 &\approx 64 \text{ units}
 \end{aligned}$$

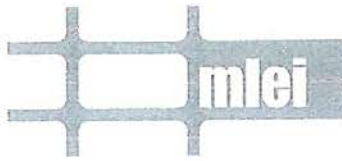
Required unit arrangement:Alternative arrangement:Stormwater Quality:

Refer 'Post-development Plan'

Carpark area of 295.6m² to be treated. Assume $t_c = 5 \text{ mins}$. 1. Using BOM-IFD $\frac{5 \text{ mins}}{20} I = 121 \text{ mm/hr}$ Using ①, $C_{10} = 0.1133$

$$\begin{aligned}
 C_{10} &= (0.9 \times 0.9) + 0.1133(1 - 0.9) \\
 &= 0.8213
 \end{aligned}$$

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CONSULTING
ENGINEERSReference 297-5928 MAProject 11 Marker Ave, Martlesham Checked by SLDesigner H.P Date 27/03/2017 Index 3

$$C_{20} = F_{20} C_{10}$$

$$= 1.05 \times 0.823$$

$$= 0.8624$$

$$Q_{20} = 0.278 \times C_{20} \times \frac{5 \text{ min}}{20} I \times A_{\text{carpark}}$$

$$= 0.278 \times 0.8624 \times 121 \times (295.6 \times 10^{-6})$$

$$= 8.58 \text{ L/s.}$$

∴ Peak flow off carpark area is 8.58 L/s.

Refer Figure 54.11.2(a), assuming a grade of 1%, pipe required is 150mm Ø.

Refer 'Ecosol - Table 10 High Flow Ecosol GPT table'

∴ Required GPT size/model is GPT4200. ✓

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Intensity-Frequency-Duration Table

CJG

Location: 34.950S 138.575E Issued: 27/3/2017

Rainfall intensity in mm/h for various durations and Average Recurrence Interval

Duration	Average Recurrence Interval						
	1 YEAR	2 YEARS	5 YEARS	10 YEARS	20 YEARS	50 YEARS	100 YEARS
5Mins	43.6	58.7	81.5	98.3	121	156	186
6Mins	40.6	54.7	75.7	91.3	112	144	172
10Mins	32.7	44.0	60.6	72.8	89.3	114	136
20Mins	23.2	31.1	42.5	50.8	62.0	78.8	93.4
30Mins	18.6	24.8	33.7	40.1	48.8	61.8	73.1
1Hr	12.3	16.3	22.0	26.0	31.5	39.6	46.6
2Hrs	8.00	10.6	14.1	16.5	19.9	24.9	29.1
3Hrs	6.22	8.21	10.8	12.7	15.2	18.9	22.1
6Hrs	4.03	5.30	6.91	8.03	9.57	11.8	13.7
12Hrs	2.58	3.37	4.35	5.03	5.96	7.32	8.45
24Hrs	1.59	2.07	2.65	3.05	3.61	4.41	5.07
48Hrs	.927	1.21	1.54	1.77	2.08	2.54	2.91
72Hrs	.661	.861	1.09	1.25	1.47	1.79	2.05

aw data: 16.98, 3.52, 0.89, 35, 6.6, 1.61, skew=0.58, F2=4.47, F50=14.98)

© Australian Government, Bureau of Meteorology

Notwithstanding the above notes and limitations, it is the responsibility of the designer to ensure each sub-catchment flow is determined using a suitable coefficient of discharge. The local government may set specific C values to be used within their area.

Table 4.05.1 Fraction impervious vs. development category

Development Category	Fraction Impervious (f_i)
Central Business	1.00
Commercial, Local Business, Neighbouring Facilities, Service Industry, General Industry, Home Industry	0.90
Significant Paved Areas e.g. roads and car parks	0.90
Urban Residential – High Density	0.70 to 0.90
Urban Residential – Low Density (including roads)	0.45 to 0.85
Urban Residential – Low Density (excluding roads)	0.40 to 0.75
Rural Residential	0.10 to 0.20
Open Space & Parks etc.	0.00

Notes:

1. Designer should determine the actual fraction impervious for each development. Local governments may specify default values.
2. Typically for Urban Residential High Density developments:
 - townhouse type development $f_i = 0.7$
 - multi-unit dwellings > 20 dwellings per hectare $f_i = 0.85$
 - high-rise residential development $f_i = 0.9$
3. In Urban Residential Low Density areas f_i will vary depending upon road width, allotment size, house size and extent of paths, driveways etc.
4. See Table 7.02.2 for the definition of Development Categories.

Table 4.05.2 Table of frequency factors

A.R.I. (years)	Frequency Factor (F_T)
1	0.80
2	0.85
5	0.95
10	1.00
20	1.05
50	1.15
100	1.20

Note: Where a coefficient of discharge calculated from Equation 4.5 for an urban catchment exceeds 1.00, it should be arbitrarily set to 1.0 in accordance with the recommendations of Australian Rainfall and Runoff (1998).



JG

Development Detention Volume - 20 YEAR

Cro = Runoff Coefficient

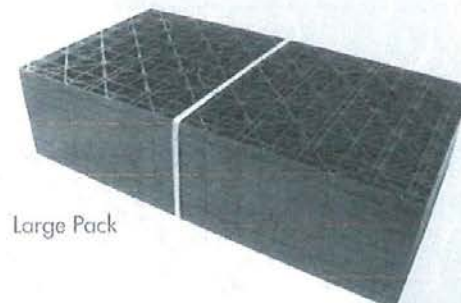
		Area (m2)	tc (mins)	Cro			
ARI 20		1453.9	5	0.901			
Duration	mm/h	In flow L/s		Out flow allowed	Qin - Qout	Detentions size for that duration	
5	121	44.02934219		20	24.02934219	7208.802658	
6	112	40.75443244		20	20.75443244	7471.59568	
7	106.3	38.68032294		20	18.68032294	7845.735633	
8	100.7	36.64260131		20	16.64260131	7988.448631	
9	95	34.56849181		20	14.56849181	7866.985575	
10	89.3	32.4943823		20	12.4943823	7496.629378	
11	86.6	31.51190937		20	11.51190937	7597.860186	
12	83.8	30.49304856		20	10.49304856	7554.99496	
13	81.1	29.51057564		20	9.510575636	7418.248996	
14	78.4	28.52810271		20	8.528102711	7163.606277	
15	75.7	27.54562979		20	7.545629786	6791.066808	
16	72.9	26.52676898		20	6.526768975	6265.698216	
17	70.2	25.54429605		20	5.54429605	5655.181971	
18	67.5	24.56182313		20	4.561823125	4926.768975	
19	64.7	23.54296231		20	3.542962314	4038.977038	
20	62	22.56048939		20	2.560489389	3072.587267	
21	60.7	22.08744687		20	2.087446869	2630.183056	
22	59.4	21.61440435		20	1.61440435	2131.013742	
23	58	21.10497394		20	1.104973944	1524.864043	
24	56.7	20.63193143		20	0.631931425	909.981252	
25	55.4	20.15888891		20	0.158888906	238.3333583	
26	54.1	19.68584639		20	-0.31415361	-490.0796377	
27	52.8	19.21280387		20	-0.78719613	-1275.257736	
28	51.4	18.70337346		20	-1.29662654	-2178.332585	
29	50.1	18.23033094		20	-1.76966906	-3079.224162	
30	48.8	17.75728842		20	-2.24271158	-4036.88084	
31	48.2	17.53896111		20	-2.46103889	-4577.532344	
32	47.6	17.32063379		20	-2.67936621	-5144.383125	
33	47.1	17.13869436		20	-2.86130564	-5665.385171	
34	46.5	16.92036704		20	-3.07963296	-6282.451235	
35	45.9	16.70203973		20	-3.29796028	-6925.716578	
36	45.3	16.48371241		20	-3.51628759	-7595.181198	
37	44.8	16.30177298		20	-3.69822702	-8210.063989	
38	44.2	16.08344566		20	-3.91655434	-8929.743893	
39	43.6	15.86511834		20	-4.13488166	-9675.623074	
40	43	15.64679103		20	-4.35320897	-10447.70153	
41	42.5	15.4648516		20	-4.5351484	-11156.46507	
42	41.9	15.24652428		20	-4.75347572	-11978.75881	
43	41.3	15.02819696		20	-4.97180304	-12827.25183	
44	40.7	14.80986965		20	-5.19013035	-13701.94413	
45	40.2	14.62793022		20	-5.37206978	-14504.58842	
46	39.6	14.4096029		20	-5.5903971	-15429.496	
47	39	14.19127558		20	-5.80872442	-16380.60286	
48	38.4	13.97294827		20	-6.02705173	-17357.90899	
49	37.8	13.75462095		20	-6.24537905	-18361.41441	
50	37.3	13.57268152		20	-6.42731848	-19281.95544	
51	36.7	13.3543542		20	-6.6456458	-20335.67614	
52	36.1	13.13602689		20	-6.86397311	-21415.59612	
53	35.5	12.91769957		20	-7.08230043	-22521.71537	
54	35	12.73576014		20	-7.26423986	-23536.13715	
55	34.4	12.51743282		20	-7.48256718	-24692.47169	
56	33.8	12.29910551		20	-7.70089449	-25875.0055	
57	33.2	12.08077819		20	-7.91922181	-27083.73859	
58	32.7	11.89883876		20	-8.10116124	-28192.04112	
59	32.1	11.68051144		20	-8.31948856	-29450.9895	
60	31.5	11.46218413		20	-8.53781588	-30736.13715	
7988							

specifications

			
Drainwell™ Model		DW1592	DW1992
Dimensions (mm)	Length	755	755
	Width	400	800
	Height	440	440
Volume (m3)		.132	.264
Tanks per m3		7.5	3.7
Weight (Kg)	3 Panels	6.65	12.85
	4 Panels	7.3	14
	5 Panels	7.9	15.15
Maximum Load (tons/m²)	3 Panels (1 Internal)	23.66 t/m²	9.45 t/m²
	4 Panels (2 Internal)	29.76 t/m²	9.61 t/m²
	5 Panels (3 Internal)	32.42 t/m²	16.20 t/m²
Internal Open Area		<95%	<95%
Polymer Type		Polypropylene UV Stabilised	
Service Temp		-20°C to 120°C	
Chemically inert and not affected by Moulds and Algae			

PALLET PACKAGING

Drainwell modules are delivered to site flat-pack on pallets. A forklift is required for unloading of pallets. A full pallet of Drainwell panels weighs approximately 600kg.



EJG

63

AS/NZS 3500.3:2015

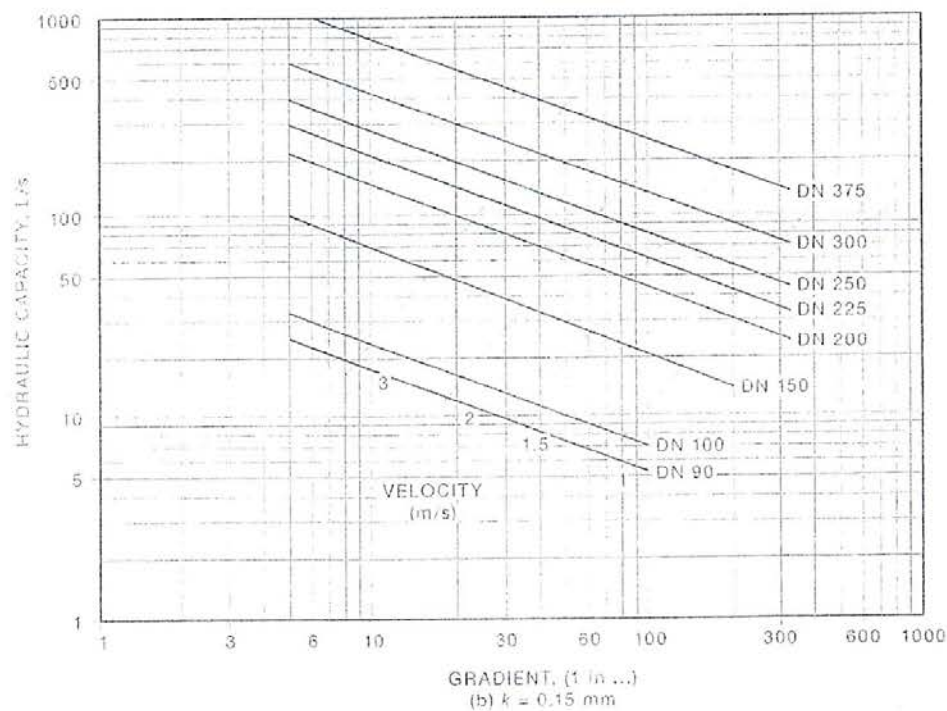
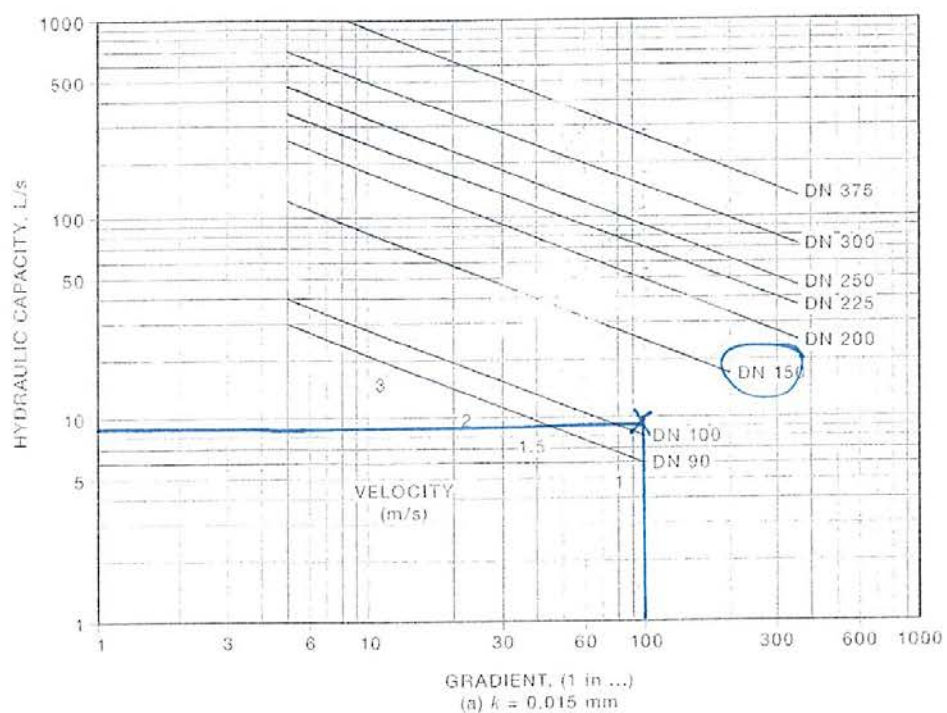


FIGURE 5.4.11.2 (in part) HYDRAULIC DESIGN CHARTS—WATER AT 20°C

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11.2 High Flow Ecosol™ GPT Treatable Flow Rates continued

HIGH FLOW ECOSOL™ GPT - TREATABLE FLOW RATES (L/s)																
Ecosol GPT product code	Gradient	Outlet pipe Diameters (mm)														
		100	150	225	300	375	450	525	600	750	900	1050	1200	1350	1500	1650
GPT 4200	0.5%	4	14	21	26	31										
	1.0%	6	19	22	28	33										
	2.0%	9	25	25	32	37										
	5.0%	10	20	33	43	51										
GPT 4300	0.5%	20	21	50	79	99	116	120	120							
	1.0%	21	23	57	82	103	120	120	120							
	2.0%	23	29	60	87	110	120	120	120							
	5.0%	27	34	87	101	120	120	120	120							
GPT 4450	0.5%			52	93	121	143	163	182	212	240					
	1.0%			60	98	126	150	171	190	223	252					
	2.0%			69	105	137	164	188	209	246	260					
	5.0%			79	124	167	205	239	260	260	260					
GPT 4600	0.5%				120	175	222	260	294	354	403	450				
	1.0%				134	185	231	272	308	371	425	470				
	2.0%				142	197	249	295	336	408	469	470				
	5.0%				161	231	299	363	421	470	470	470				
GPT 4750	0.5%					224	263	298	358	410	456	497	536			
	1.0%					236	278	315	381	437	485	531	573			
	2.0%					258	307	350	427	491	549	601	650			
	5.0%					319	391	457	571	669	730	730	730			
GPT 4900	0.5%							395	487	564	634	695	753	807	855	
	1.0%							417	515	600	674	741	803	860	913	
	2.0%							459	574	673	758	836	908	973	1036	
	5.0%							579	733	900	1030	1050	1050	1050	1050	
GPT 41050	0.5%								622	733	831	916	996	1070	1141	1204
	1.0%								657	777	881	977	1062	1143	1217	1287
	2.0%								726	867	989	1098	1198	1291	1378	1430
	5.0%								919	1139	1323	1430	1430	1430	1430	1430
GPT 41200	0.5%								907	1041	1158	1264	1367	1456	1544	
	1.0%								961	1103	1230	1347	1455	1554	1647	
	2.0%								1066	1231	1392	1515	1639	1756	1866	
	5.0%								1375	1625	1849	1870	1870	1870	1870	
GPT 41350	0.5%									1261	1416	1556	1681	1802	1916	
	1.0%									1337	1501	1643	1791	1924	2045	
	2.0%									1483	1661	1854	2016	2171	2310	
	5.0%									1630	1838	2061	2247	2370	2370	
GPT 41500	0.5%										1684	1863	2073	2175	2313	
	1.0%										1782	1974	2153	2315	2467	
	2.0%										1981	2206	2418	2564	2728	
	5.0%										2180	2441	2677	2902	2930	
GPT 41800	0.5%											2506	2759	2978	3190	
	1.0%											2647	2919	3170	3394	
	2.0%											2936	3251	3540	3803	
	5.0%											3222	3586	3916	4210	

Figure 10-1: Approximate Flow Rates - 1.0% Gradient

Ecosol™
WASTEWATER FILTRATION SYSTEMS



6.7 18 Capper Street, CAMDEN PARK

Application No 211/77/2017 and 211/117/2017

DEVELOPMENT APPLICATION DETAILS

DEVELOPMENT PROPOSAL	Construct two (2) single storey detached dwellings both with porticos, verandahs to alfrescos and single garages under main roof	Land division: Torrens Title; Create one additional allotment
APPLICANT	Coast to Coast Homes Pty Ltd	Mr Steven Downs c/- State Surveys
APPLICATION NO	211/77/2017	211/117/2017
LODGEMENT DATE	24 January 2017	19 January 2017
ZONE	Residential	
POLICY AREA	Low Density Policy Area 20	
APPLICATION TYPE	Merit	
PUBLIC NOTIFICATION	Category 1	
REFERRALS	Internal <ul style="list-style-type: none"> ▪ Arboriculture assistant ▪ City assets External <ul style="list-style-type: none"> ▪ Nil 	
DEVELOPMENT PLAN VERSION	5 May 2016	
MEETING DATE	9 May 2017	

RECOMMENDATION 1

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent and Land Division Consent for Application No. 211/117/2017 by Mr Steven Downs to undertake Land Division at 18 Capper Street, Camden Park (CT5749/276) subject to the following conditions of consent:

DEVELOPMENT PLAN CONSENT

Council Conditions

1. The development must be undertaken and completed in accordance with the plans prepared by State Surveys, Reference 17004, Drawn by EF except where varied by any condition(s) listed below:

LAND DIVISION CONSENT

Council Conditions

1. Prior to the issue of clearance, existing buildings and structures shall be removed.

Development Assessment Commission and SA Water Corporation Conditions

2. The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.

The alteration of internal drains to the satisfaction of SA Water is required.

Subject to our new process, on receipt of the developer details and site specifications an investigation will be carried out to determine of the connections to your development will be standard or non standard fees.

On approval of the application, all internal water piping that crosses the allotment boundaries must be severed or redirected at the developers/owners cost to ensure that the pipework relating to each allotment is contained within its boundaries.

3. Payment of \$5576 into the Planning and Development Fund (1 allotment(s) @ \$6676/allotment).

Payment may be made by credit card via the internet at www.edala.sa.gov.au or by phone (7109 7018), by cheque payable to the Development Assessment Commission marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Ground Floor, 101 Grenfell Street, Adelaide.

4. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the Development Assessment Commission for Land Division Certificate purposes.

RECOMMENDATION 2

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/77/2017 by Coast to Coast Homes Pty Ltd to undertake development at 18 Capper Street, Camden Park (CT5749/276) subject to the following conditions of consent:

Council Conditions

1. The development shall be undertaken and completed in accordance with the plans and information details in the application except where varied by any condition(s) listed below:
2. That the finished floor levels shall be in accordance with the plan provided by Triaxial Consulting Civil Plan Drawing No TX 11998.21, C01, Issue A.
3. That all stormwater design and construction will be in accordance with Australian Standards and recognised engineering best practices to ensure that stormwater does not adversely affect any adjoining property or public road and for this purpose stormwater drainage will not at any time:-
 - a) Result in the entry of water into a building; or
 - b) Affect the stability of a building; or
 - c) Create unhealthy or dangerous conditions on the site or within the building; or
 - d) Flow or discharge onto the land or an adjoining owner; and not flow across footpaths or public ways.
4. That any retaining walls will be designed to accepted engineering standards, and not of timber construction if retaining a difference in ground level exceeding 200mm.

5. The driveways shall be of a shared arrangement instead of separate driveways. The shared driveway shall be a maximum width of 6.6 metres.

Amended plans (subject to Council satisfaction) to reflect the above shall be presented to Council prior to Development Approval.

6. Stormwater connection through the road verge shall be constructed of a shape and material to satisfy Council's standard requirements
 - 100 x 50 x 2mm RHS Galvanised Steel or
 - 125 x 75 x 2mm RHS Galvanised Steel or
 - Multiples of the above.

Amended plans (subject to Council satisfaction) to reflect the above shall be presented to Council prior to Development Approval.

7. That all driveways, parking and manoeuvring areas will be formed, surfaced with concrete, bitumen or paving, and be properly drained and shall be maintained in reasonable condition at all times.
8. That all landscaping will be planted in accordance with the approved plans prior to the occupancy of the development. Any person(s) who will have the benefit of this approval will cultivate, tend and nurture the landscaping and shall replace any landscaping which may become diseased or die.
9. External materials and finished must be low-light reflective.

BACKGROUND

The development proposal is presented to the Development Assessment Panel (DAP) for the following reasons:

- With regard to residential development and land division applications, where all proposed allotments and or sites fail to meet, nor are within 5% of, the minimum frontage widths and site areas designated in respective zones and policy areas within the West Torrens Council Development Plan.

PREVIOUS OR RELATED APPLICATION(S)

Nil

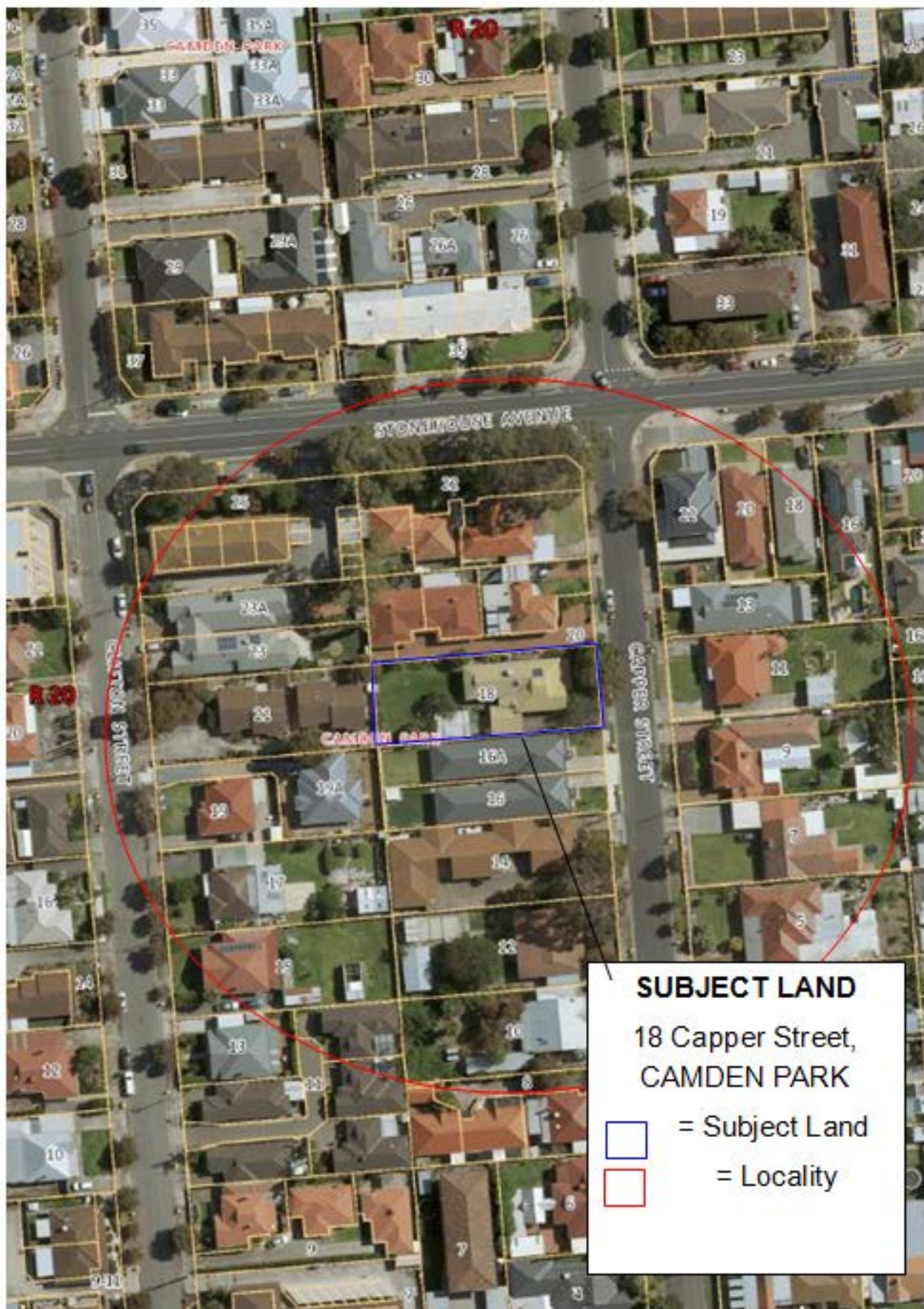
SITE AND LOCALITY

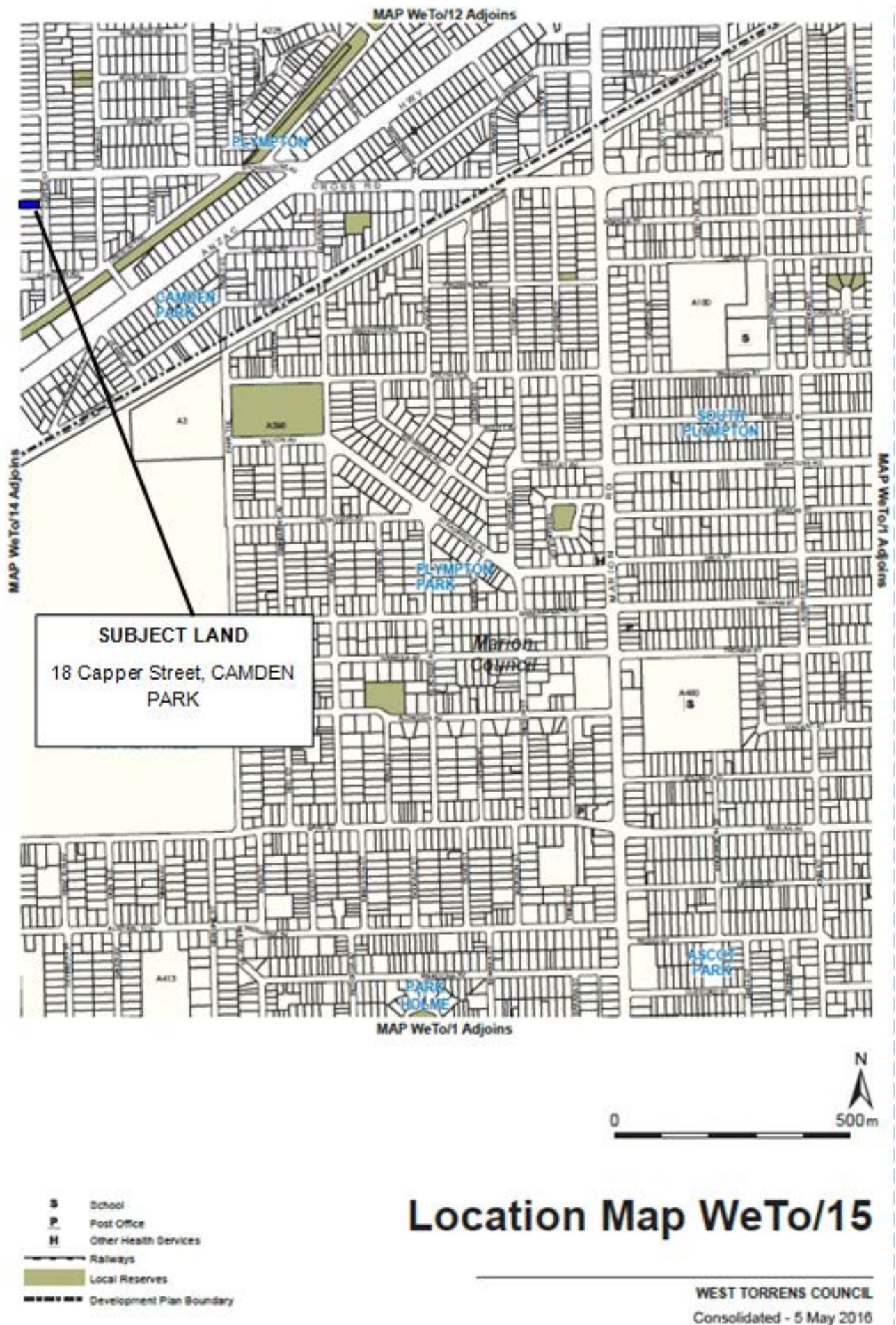
The subject site is rectangular with a frontage to Capper Street and site area totalling 891.9m². The site contains an existing single storey detached dwelling with a number of non-regulated trees on the site.

The locality consists of predominantly single storey detached dwellings, group dwellings and few older residential flat buildings. Some allotments have recently been approved with two dwellings at 16 Capper Street and 23 Clifton Street.

Stonehouse Avenue is some 50 metres to the north and Anzac Highway is some 300 metres to the south and Morphett Road is some 380 metres to the west.

The Subject Land and Locality Map follows:





PROPOSAL

Application 211/77/2017 proposes:

- Construct two (2) single storey detached dwellings both with porticos, verandahs to alfrescos and single garages under main roof.

Application 211/117/2017 proposes a Torrens Title Land Division to create one allotment into two.

The plans and details are included as **Attachment 1** of this report.

PUBLIC NOTIFICATION

The application(s) are a Category 1 form of development pursuant to Section 38 and Schedule 9 of the Development Act and Regulations, Schedule 9 of the Development Regulations 2008, Part 1 (2) (a) (i) and Part 1 (2) (1) (f).

REFERRALS

Application 211/77/2017

Internal

- Arboriculture assistant;
- City assets

External

Application 211/117/2017 was referred to:

- Development Assessment Commission
- SA Water Corporation

A full copy of the relevant report(s) are attached, refer **Attachment 2**.

ASSESSMENT

The subject land is located within the Residential Zone and more particularly Low Density Policy Area as described in the West Torrens Council Development Plan. The main provisions of the Development Plan which relate to the proposed development are as follows:

<u>General Section</u>		
<i>Design and Appearance</i>	<i>Objectives</i>	1, 2
	<i>Principles of Development Control</i>	1, 2, 3, 4, 5, 9, 10, 11, 12, 13, 14, 15, 21
<i>Infrastructure</i>	<i>Objectives</i>	1, 2, 3
	<i>Principles of Development Control</i>	1, 2, 3, 4, 5, 6, 8, 9
<i>Land Division</i>	<i>Objectives</i>	1, 2, 3, 4
	<i>Principles of Development Control</i>	1, 2, 4, 5, 6, 8, 11, 12
<i>Landscaping, Fences and Walls</i>	<i>Objectives</i>	1
	<i>Principles of Development Control</i>	1, 4
<i>Orderly and Sustainable Development</i>	<i>Objectives</i>	1, 2, 3, 4, 5
	<i>Principles of Development Control</i>	1

<i>Residential Development</i>	<i>Objectives</i>	1, 2, 3, 4
	<i>Principles of Development Control</i>	1, 3, 4, 5, 6, 7, 8, 9, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 28, 29, 30, 31
<i>Transportation and Access</i>	<i>Objectives</i>	1, 2
	<i>Principles of Development Control</i>	1, 8, 10, 11, 14, 18, 23, 24, 34, 35, 36, 43, 44
<i>Waste</i>	<i>Objectives</i>	1 & 2
	<i>Principles of Development Control</i>	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15 & 16
<i>Waste Management Facilities</i>	<i>Objectives</i>	1, 2 & 3
	<i>Principles of Development Control</i>	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17 & 18


<i>Zone: Residential Zone</i>	
<i>Desired Character Statement:</i>	
<p><i>This zone will contain predominantly residential development. There may also be some small-scale non-residential activities such as offices, shops, consulting rooms and educational establishments in certain locations.</i></p> <p><i>Allotments will be at very low, low and medium densities to provide a diversity of housing options in different parts of the zone. The range of allotment sizes will support the desired dwelling types anticipated in each policy area, and the minimum allotment sizes shall be treated as such in order to achieve the Desired Character for each policy area and, in turn, reinforce distinction between policy areas. Row dwellings and residential flat buildings will be common near centres and in policy areas where the desired density is higher, in contrast to the predominance of detached dwellings in policy areas where the distinct established character is identified for protection and enhancement. There will also be potential for semi-detached dwellings and group dwellings in other policy areas.</i></p> <p><i>Residential development in the form of a multiple dwelling, residential flat building or group dwelling will not be undertaken in a Historic Conservation Area.</i></p> <p><i>Landscaping will be provided throughout the zone to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.</i></p>	
<i>Objectives</i>	1, 2, 3, 4
<i>Principles of Development Control</i>	1, 5, 6, 7, 8, 10, 11

Policy Area: Low Density Policy Area 20	
Desired Character Statement:	
<p><i>Allotments in the policy area will be at low density, accommodating predominantly detached dwellings and some other dwellings types such as semi-detached and group dwellings. There will be a denser allotment pattern close to centre zones where it is desirable for more residents to live and take advantage of the variety of facilities focused on centre zones. Battleaxe subdivision will not occur in the policy area to preserve a pattern of rectangular allotments developed with buildings that have a direct street frontage.</i></p> <p><i>Buildings will be up to 2 storeys in height. Garages and carports will be located behind the front façade of buildings.</i></p> <p><i>Development will be interspersed with landscaping, particularly behind the main road frontage, to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer. Low and open-style front fencing will contribute to a sense of space between buildings.</i></p>	
Objectives	1
Principles of Development Control	1, 2, 3, 5

QUANTITATIVE ASSESSMENT

The proposal is assessed for consistency with the prescriptive requirements of the Development Plan as outlined in the table below:

DEVELOPMENT PLAN PROVISIONS	STANDARD	ASSESSMENT
SITE AREA (DWELLINGS) Module: Low Density Policy Area 20 PDC 3	340m ² (minimum)	446m ² (average) Satisfies
SITE AREA (LAND DIVISION) Module: Low Density Policy Area 20 PDC 5	340m ²	446m ² (average) Satisfies
FRONTAGE WIDTH (DWELLINGS) Module: Low Density Policy Area 20 PDC 3	10 metres	Dwelling 1: 9.2 metres Does not satisfy by 8.5% Dwelling 2: 9.1 metres Does not satisfy 8.6%

<p>FRONTAGE WIDTH (LAND DIVISION) Module: Low Density Policy Area 20 PDC 5</p>	<p>10 metres</p>	<p>Dwelling 1 (allotment 702): 9.2 metres</p> <p>Does not satisfy by 8.5%</p> <p>Dwelling 2 (allotment 701): 9.1 metres</p> <p>Does not satisfy 8.6%</p>
<p>STREET SETBACK Residential Zone Principle of Development Control 8</p>	<div data-bbox="643 535 1425 801"> <div> Setback difference between buildings on adjacent allotments Setback of new building </div> <div> Up to 2 metres The same setback as one of the adjacent buildings, as illustrated below: </div>  <p>When $b > a$: 2, setback of new dwelling = a or b</p> </div> <p>Adjoining dwellings are 8.2 metres front setback.</p> <p>The proposed front setback for the dwellings is 7 metres.</p> <p>Does not satisfy by 1.2 metres or 15%</p>	
<p>REAR SETBACKS Residential Zone PDC 11</p>	<p>3 metres</p>	<p>13.6 metres to rear verandah setback</p> <p>Satisfies</p> <p>17.5 metres to rear of dwelling</p> <p>Satisfies</p>
<p>SIDE SETBACKS Residential Zone PDC 11</p>	<p>Side walls up to 3 metres - 1 metre</p>	<p>Dwelling 1: northern = 900mm Southern = 950mm</p> <p>Does Not Satisfy by 100mm and 50mm</p> <p>Dwelling 2: northern = 940mm Southern = 900mm</p> <p>Does Not Satisfy by 60mm and 100mm</p>

PRIVATE OPEN SPACE Module: Residential Development PDC 19	60m ² , of which 10 may comprise balconies, roof patios, provided they have a minimum of 2 metres	Dwelling 1 160m ² Satisfies Dwelling 2 159m ² Satisfies
LANDSCAPING Module: Landscaping, Fences & Walls PDC: 4	10%	Approximately 37% Satisfies
CARPARKING SPACES Module: Transportation and Access PDC 34	2 car-parking spaces required, one of which is undercover	2 each for dwellings Satisfies
STORAGE Module: Residential Development PDC 31	8m ³	13m ³ for each with a small garden shed to rear Satisfies

QUALITATIVE ASSESSMENT

In assessing the merits or otherwise of the application, the proposed development satisfies the relevant Development Plan provisions with the exception of the following, as discussed under the following sub headings:

Frontage width

The allotments are short of the 10 metre frontage provision (Low Density Policy Area 20 PDC 3 and 5). Notwithstanding this, the dwellings are designed in a suitable manner ie with single garages, a habitable room and clear entrance with porch to the dwellings, therefore the design is not considered to be compromised by the narrower frontage width.

There are other examples in the locality where allotments of similar size and configuration have been created therefore this allotment frontage is not out of character with the locality.

Street setback

The proposed dwellings present well to the street and while the front setback is slightly forward of the adjoining two dwellings, it is a minor departure and remains a relatively generous setback. (Residential Zone, Principle of Development Control 8).

The front setback is considered to be acceptable with regard to this proposal and the general streetscape.

Side setback

The development proposes side setbacks of between 900mm and 950mm (Residential Zone, Principle of Development Control 11). Both dwellings' side setbacks achieve a minimum of 900mm from the side boundaries, approximately 10% less than the Development Plan minimum, the shortfall is unlikely to be readily discernible from the street or adjoining properties.

SUMMARY

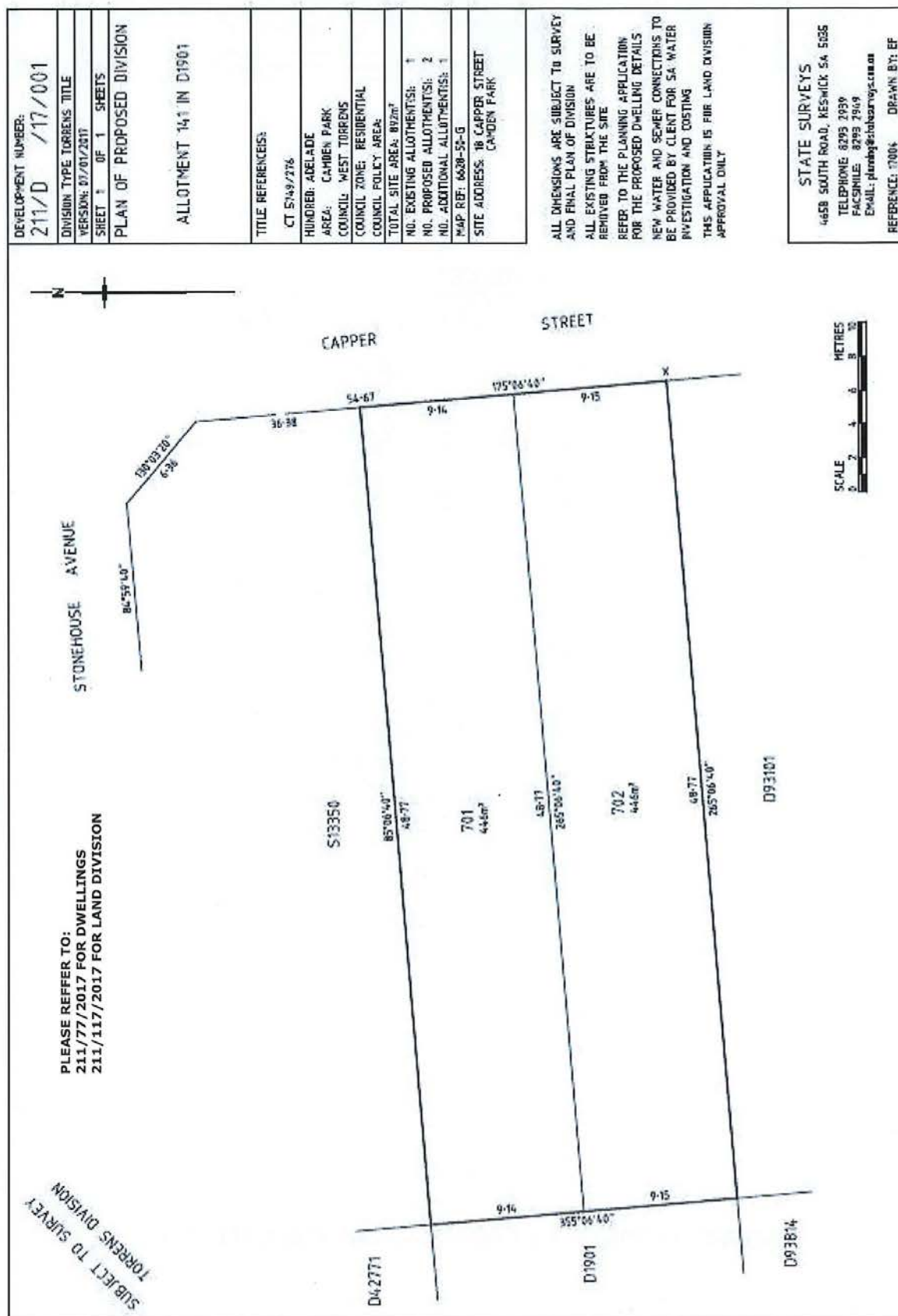
The development proposes for an increased density however remains at low density that is generally in accordance with the provisions of the Development Plan. There are some departures from the Development Plan provisions, however overall these are considered to be minor.

Having considered all the relevant Objectives and Principles of the Development Plan, the proposal is considered to be not seriously at variance with the Development Plan.

On balance the proposed development sufficiently accords with the relevant provisions contained within the West Torrens Council Development Plan Consolidated 5 May 2016 and warrants Development Plan Consent.

Attachments


1. **Proposal Plans**
2. **External and Internal Referrals**




* ALL WORKS SHALL COMPLY WITH S.A DEVELOPMENT ACT & REGULATIONS, NCC, RELEVANT AUSTRALIAN STANDARDS (OF CURRENT ISSUE) & ALL STATUORY AUTHORITY REQUIREMENTS *

PLAN TO BE READ IN CONJUNCTION WITH ENGINEERS AND SURVEYOR LAYOUTS FOR SITE LEVELS, CONTOURS, STORMWATER, SEWER, DRAINAGE & SITE WORKS. ENGINEERS CONSTRUCTION DETAILS TAKE PRECEDENCE OVER DESIGNERS DETAILS.
CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS & DETAILS ON SITE BEFORE COMMENCING ANY WORK.

PROPOSED DEVELOPMENT



EXISTING RESIDENCE



PROPOSED NEW DWELLINGS

PLEASE REFFER TO:
211/77/2017 FOR DWELLINGS
211/117/2017 FOR LAND DIVISION

Stephen & Christine Downs
 Site Address: Lot 141 Copper St
 PHONE: 0423 982 472
 FAX: dartbord@tpg.com.au
 EMAIL: dartbord@tpg.com.au

Stephen Downs
 Camden Park 5038
 SCALE: 1:277
 DATE: 3/31/2017
 LIC No. 8LD225824
 ABN 99138061891

Coast to Coast Homes
 PHONE: 1300 810 945
 FAX: (08) 8825 1155
 880 PAYNEHAM ROAD
 PAYNEHAM
 SA 5070
 www.c2ch.com.au | sales@c2ch.com.au

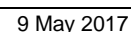
DISCLAIMER:
 THE ACCURACY OF THESE DRAWINGS ARE FULLY INTENDED BUT ARE NOT GUARANTEED, THEREFORE ALL CONTRACTORS & OWNERS ARE TO VERIFY AND CROSS CHECK ALL WRITTEN DIMENSIONS AND LEVELS OF THE PROJECT WITH THE BUILDER BEFORE ORDERING MATERIALS, COMMENCING ANY ON SITE WORK OR ENGAGING OTHER CONTRACTORS/PARTIES INVOLVED WITH THIS PROJECT.

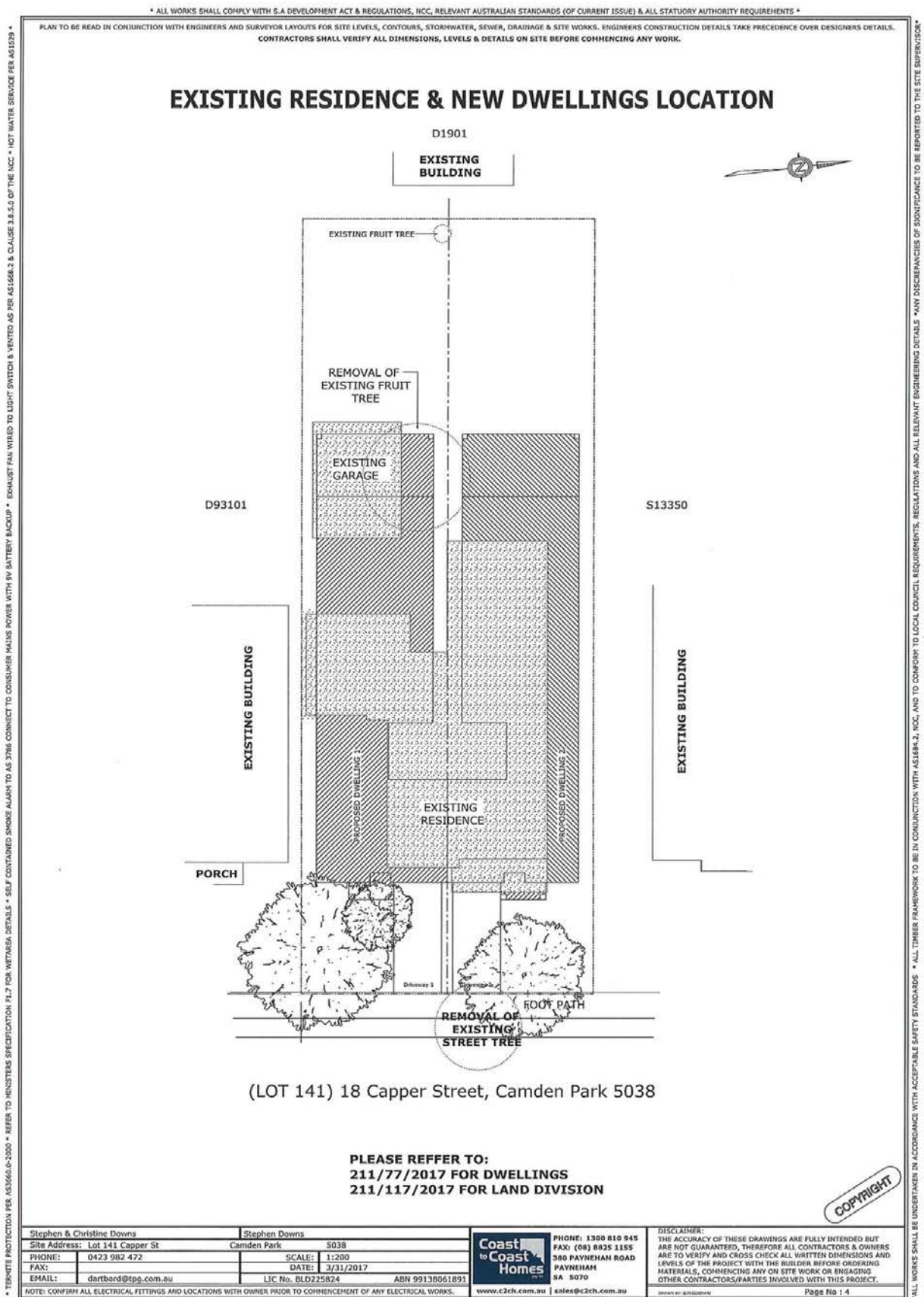
NOTE: CONFIRM ALL ELECTRICAL FITTINGS AND LOCATIONS WITH OWNER PRIOR TO COMMENCEMENT OF ANY ELECTRICAL WORKS.

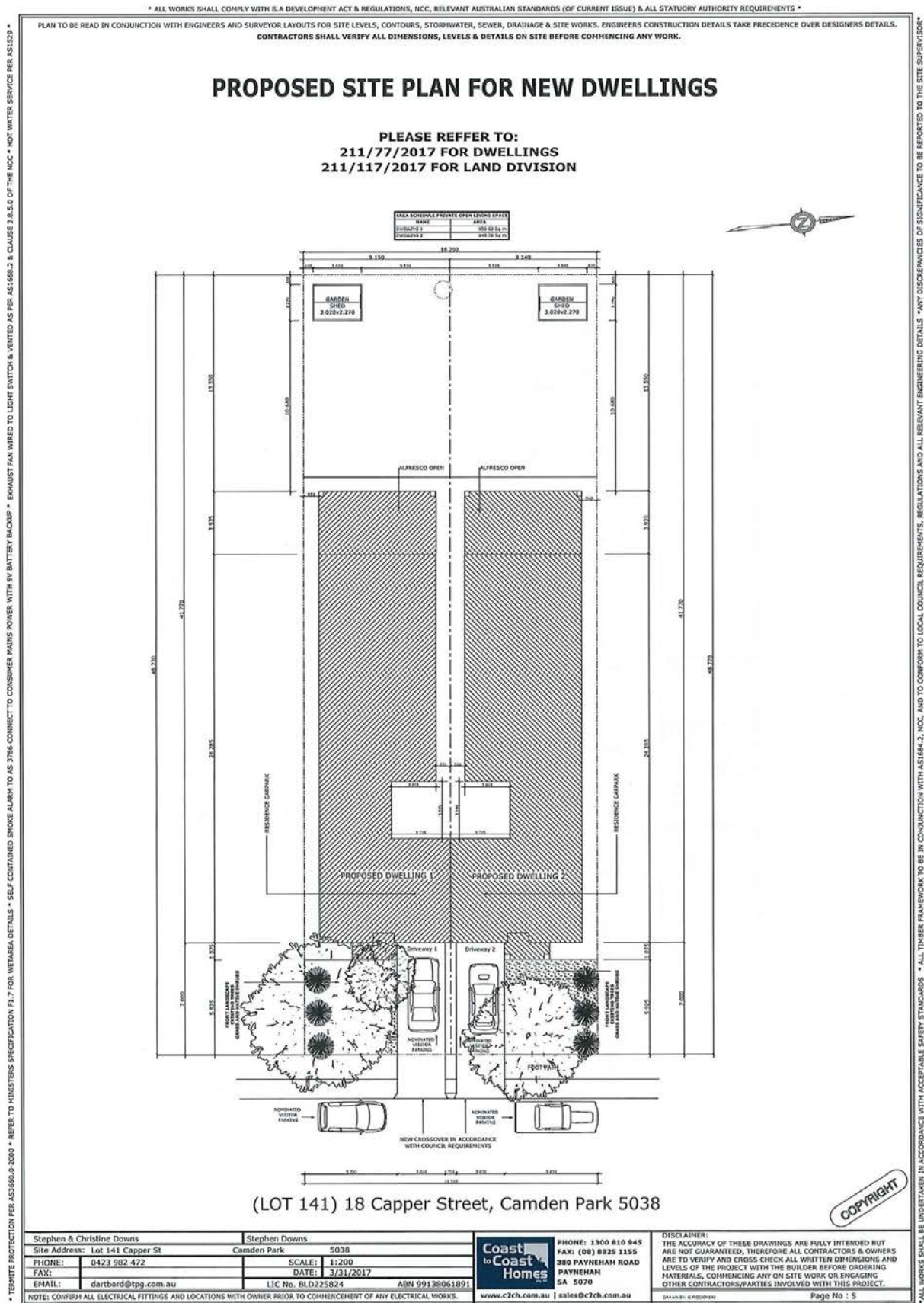
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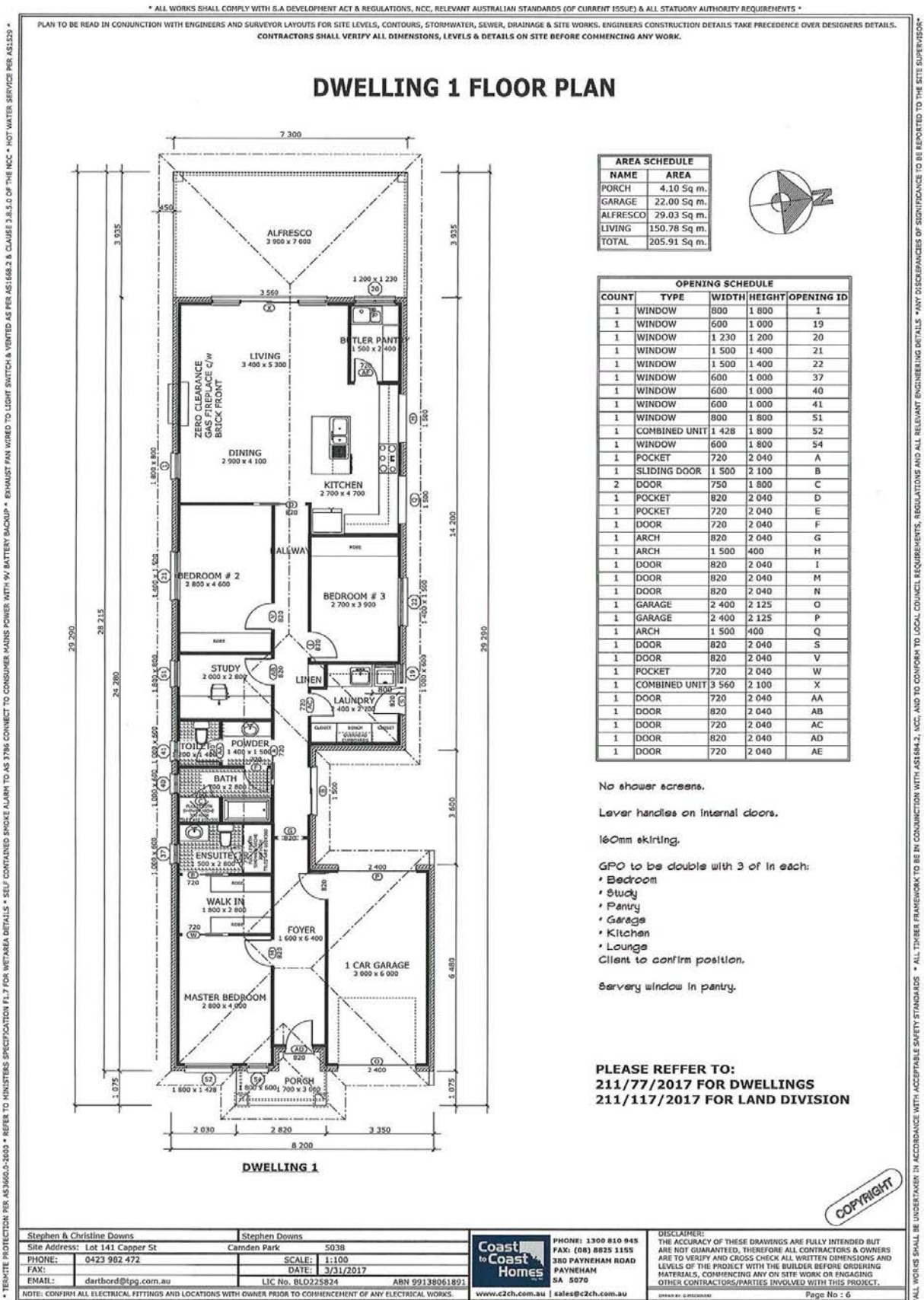
COPYRIGHT

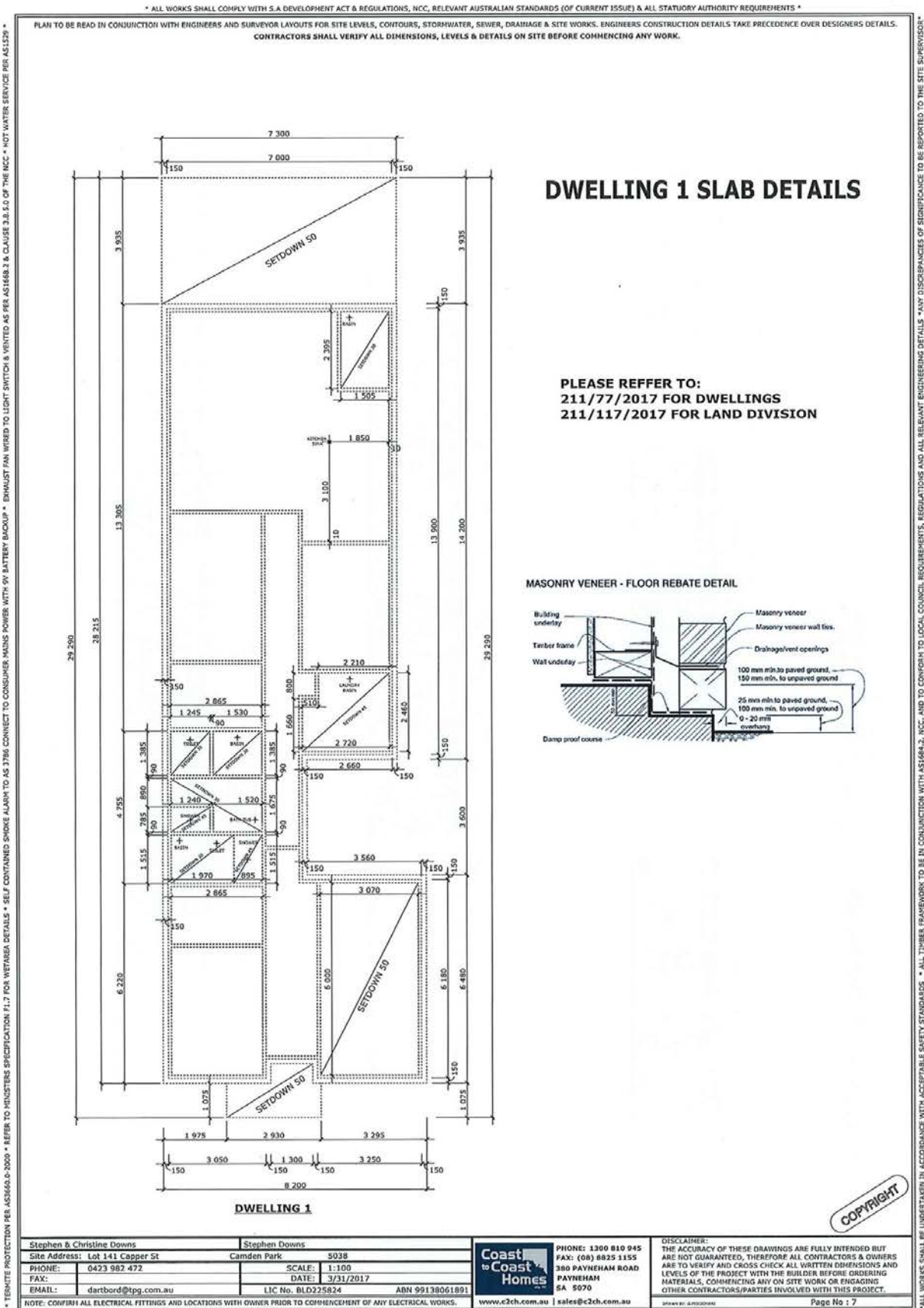
* THE DRAWING AND THE DESIGN DEPICTED REMAIN THE PROPERTY OF THE DESIGNER, REPRODUCTION IN PART OR WHOLE IS PROHIBITED UNLESS WRITTEN PERMISSIONS OBTAINED FROM THE DESIGNER. PLANS ARE FOR USE ONLY ON THE JOB SPECIFIED IN THE TITLE BOX *

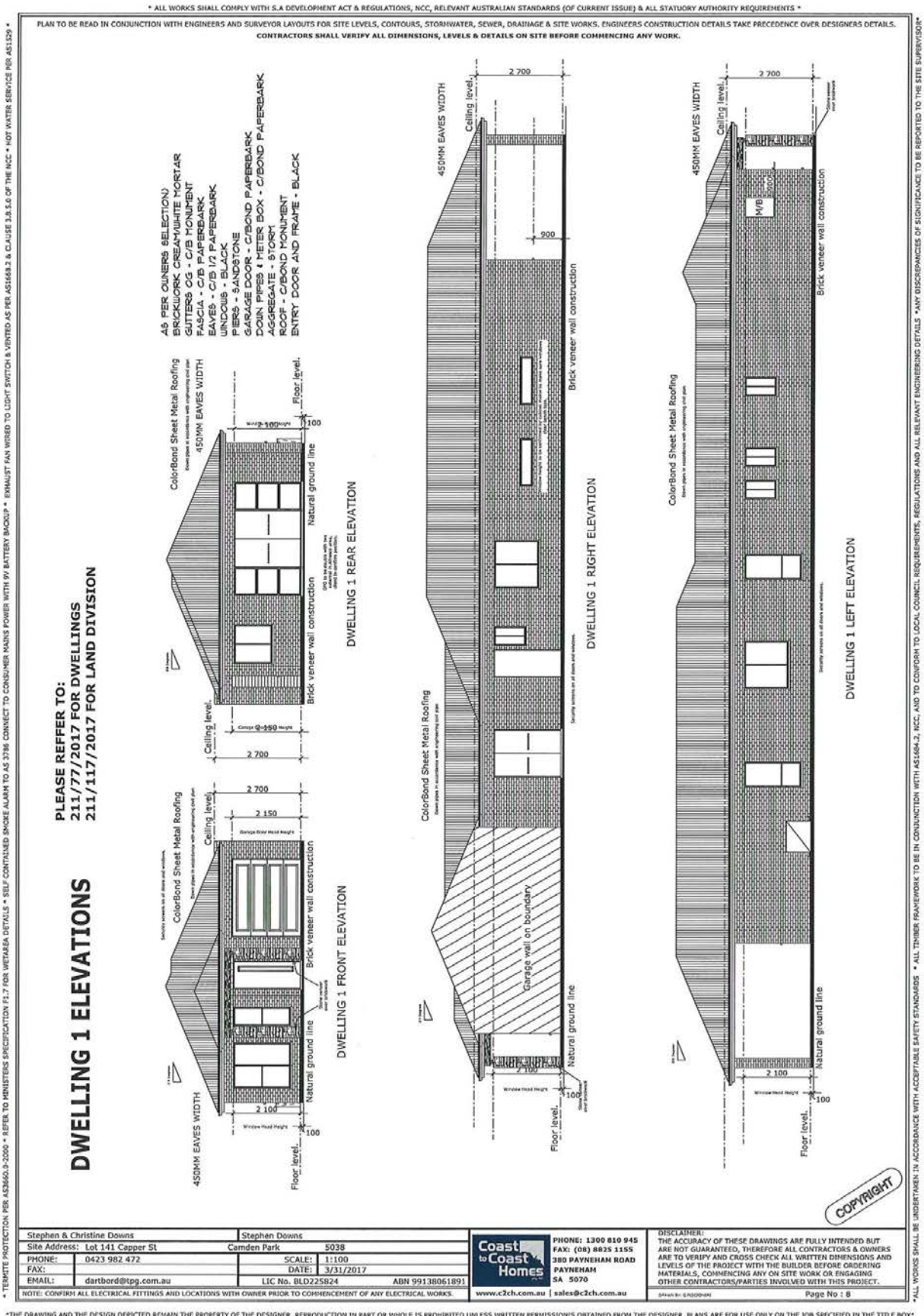


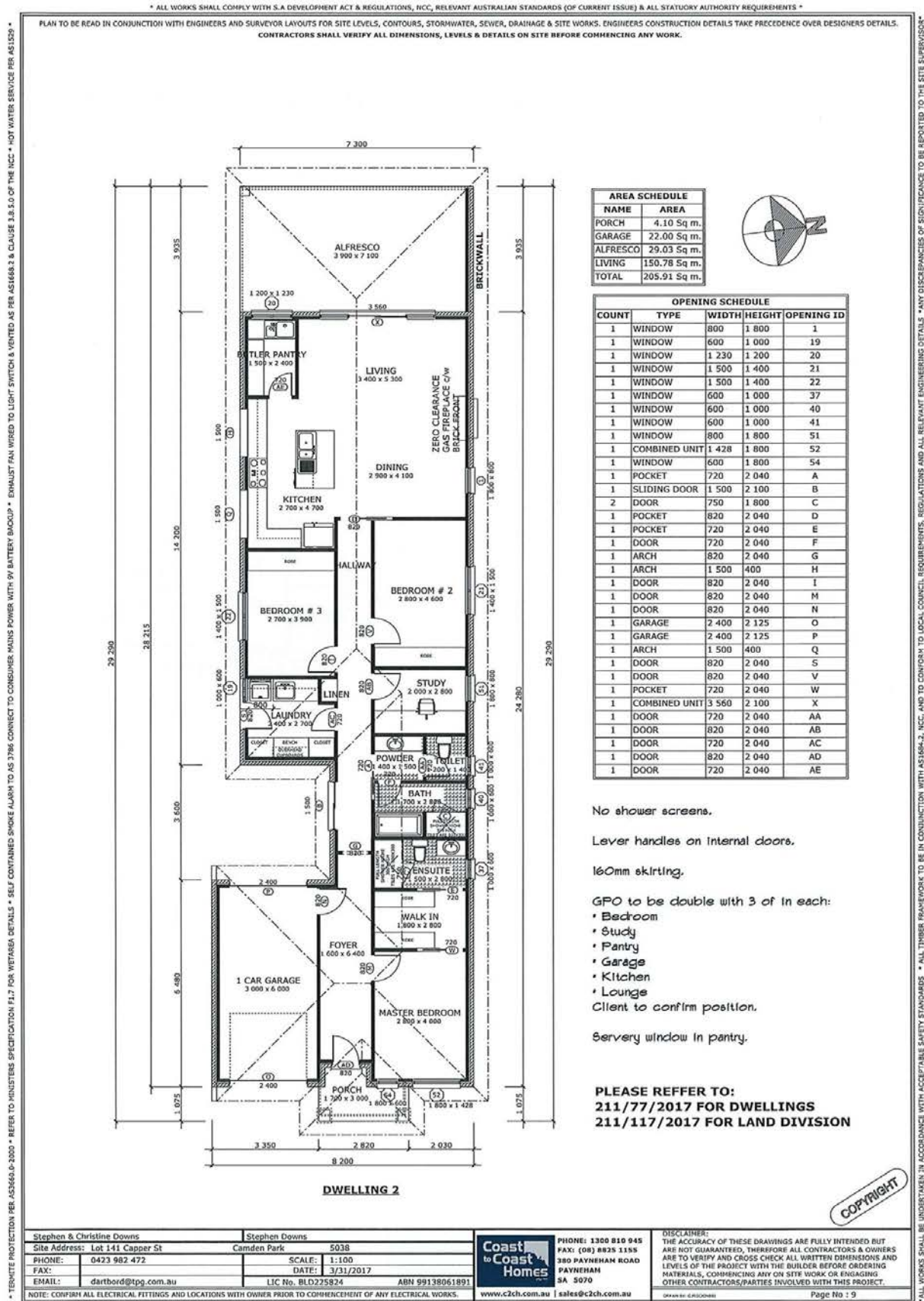












THE DRAWING AND THE DESIGN DEPICTED REMAIN THE PROPERTY OF THE DESIGNER. REPRODUCTION IN PART OR WHOLE IS PROHIBITED UNLESS WRITTEN PERMISSION IS OBTAINED FROM THE DESIGNER. PLANS ARE FOR USE ONLY ON THE JOB SPECIFIED IN THE TITLE BOX



Memo

To Sonia Gallarello
From Jane Teng
Date 26/04/2017
Subject 211/77/2017, 18 Capper Street, CAMDEN PARK SA 5038

Sonia Gallarello,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

1.0 FFL Consideration – Finished Floor Level (FFL) Requirement

In accordance with the provided 'Civil Plan' (Triaxial Consulting – Drawing Number TX-11998.21 C01 – Issue A), the FFLs of the proposed development (100.30 minimum) have been assessed as satisfying minimum requirements (100.13 minimum) in consideration of street and/or flood level information.

2.0 Verge Interaction

- 2.1 New driveways and stormwater connections are required to be located a minimum 1.0 metre offset from other existing or proposed driveways, stormwater connections, stobie poles, street lights, side entry pits and pram ramps, etc. (as measured at the front property boundary).

It should also be nominated for the stormwater connection through the road verge area to be constructed of shape and material to satisfy Council's standard requirements

- 100 x 50 x 2mm RHS Galvanised Steel or
- 125 x 75 x 2mm RHS Galvanised Steel or
- Multiples of the above.

It is recommended that revised plans clearly and accurately indicating satisfaction of the above criteria be provided to Council.

3.0 Proposed Driveway Crossover and Closing of Redundant Crossovers

- 3.1 It is noted that the existing crossover will be made redundant. This crossover should be reinstated to vertical kerb prior to the completion of any building works at the applicant's expense. It should also be indicated on revised plans that any redundant crossovers will be reinstated.



It is recommended that revised plans showing the reinstatement of redundant crossovers be provided to Council.

- 3.2 It is proposed on the civil plan for both allotments to have individual driveway crossover with the allowance of 300mm offset (each) from the property common property boundary. It is recommended for the driveway crossover to be of the shared arrangement instead of stand-alone driveway. This would not alter the alignment of the driveway corridor leading into the garage system. The shared driveway will be at the maximum of 6.60m in width which will allow the adequate space of 5.50m on-street parking fronting both allotments.

It is recommended that revised plans showing the driveway crossover for both lots to be of 6.60m shared driveway crossover be provided to Council.

4.0 Street Tree Removal

The proposed driveway is indicated to require the removal of one street tree adjacent to this property.

Only Council staff will be permitted to alter or remove a street tree and this will only be undertaken upon payment of the determined fee.

The tree in question has been assessed and considered acceptable to be removed. Based on Council's 2016 - 2017 standard schedule of fees and charges the fee for the removal of this tree is **\$1,526.00** (inc. GST).

Prior to any development plan consent for this application it is requested that the following confirmation is received by the development applicant;

- I as the applicant for development application number acknowledge that this application will result in the necessity for the removal of one street tree.

It is acknowledged that a fee of **\$1,526.00** (inc. GST) is required to be paid to Council in association with the tree removal in the future crossover application.

I acknowledge that the street tree is only to be removed by Council staff or contractors acting on behalf of Council.

Signature : Date: / /



5.0 Garage Dimensions and Setback

Although not specified in the relevant Australian Standards (AS/NZS 2890.1:2004), the internal garage length proposed as 5.80m meets the minimum internal length of 5.80m as specified in the traffic engineering best practice guides of an enclosed garage or enclosed carport space.

The garage setback of 5.5m minimum length from the property boundary has also been maintained.

6.0 Stormwater Detention and Quality Requirements

No stormwater detention and water quality provisions are required for the site as the proposed development does not falls under the development category requiring stormwater discharge restriction and water quality treatment

Should you require further information, please contact Jane Teng on the following direct extension number 8416 6296.

Regards

Jane Teng
Civil Engineer

Arboricultural Assessment of Street Trees

Development Application No: **211/77/2017**

REFERRAL DUE DATE: 17 February 2017

Assessing Officer: **Sonia Gallarello**
Site Address: **18 Capper Street, CAMDEN PARK SA 5038**
Certificate of Title: **CT-5749/276**
Description of Development **Construct two (2) single storey detached dwellings both with porticos, verandahs to alfrescos and single garages under main roof**

TO THE TECHNICAL OFFICER – CITY ASSETS

Please provide your comments in relation to:

- ☐ **The removal of or impact upon the Street Tree**
- ☐ **Species of Tree:**
- ☐ **Your advice is also sought on other aspects of the proposal as follows:**

PLANNING OFFICER - Sonia Gallarello

DATE 3 February 2017

FROM THE TECHNICAL OFFICER

I have examined the plans as requested and provide comments as follow.

As with all development applications it must be proven beyond reasonable doubt that all alternatives have been explored so not to hinder the progress of any street tree(s).

Any proposed development that does not consider "AS4970 Protection of Trees on Development Sites", is likely to require revision until all plans accurately correspond with the specific tree information detailed in this standard.

Verge interaction must consider all services that cross council land including stormwater outlets (and other) which will need to be maintained a minimum of 2.0m from any existing street tree (unless existing or otherwise negotiated). All services must be indicated /documented on appropriate plans for Council assessment and approval.

A site investigation together with the information provided has revealed that the location of the proposed crossover for dwelling 2 will impact on an existing *Eucalyptus torquata* street tree.

With reference to the City of West Torrens, Fees and Charges Document 2016-2017 "Tree removal for driveway construction", once Council has assessed all circumstances and considered it acceptable that a street tree can be removed, a fee is calculated based on

Council's standard schedule of fees and charges.

The fee is used to offsets the loss of the asset (street tree) to the community, with funds received invested in Council's annual Greening Program.

As a result of the proposed crossover on Capper Street, City Works has considered the health, structure, form, useful life expectancy, and age of the street tree and will support the removal.

A fee of \$1526.00 will be required prior to the commencement of any work.

Please note, under no circumstances is any individuals other than council staff permitted to interfere with a street tree. If pruning etc. is required, council must be notified via the appropriate customer request, and council staff will perform all works associated with the community asset.

Final crossover locations will be confirmed once appropriate documentation has been received from the applicant and they have submitted "an application to construct a vehicle crossing place(s) across council land".

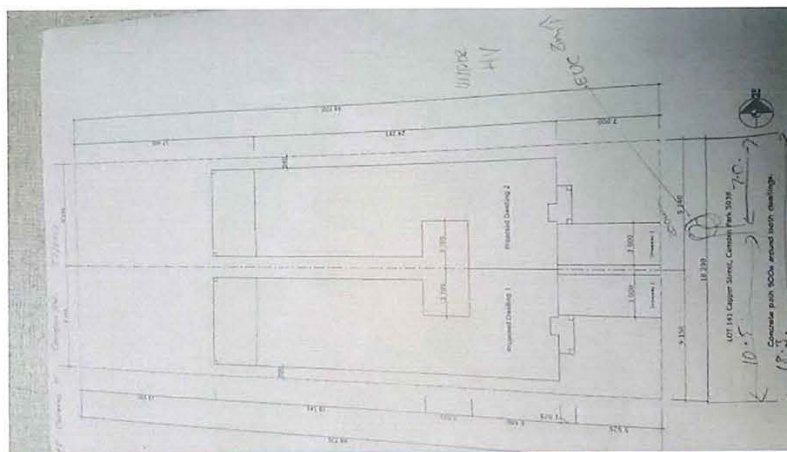
Rick Holmes
Arboriculture Assistant
165 Sir Donald Bradman Drive
Hilton SA 5033

Telephone: 8416 6333

Fax: 8443 5709

Email: rholmes@wtcc.sa.gov.au

DATE: 01/03/17





04 February 2017

Our Ref: H0054955

The Chairman
Development Assessment Commission
136 North Terrace
ADELAIDE SA 5000

Dear Sir/Madam

PROPOSED LAND DIVISION APPLICATION NO: 211/D008/17 AT CAMDEN PARK

In response to the abovementioned proposal, I advise that pursuant to Section 33 of the Development Act it is necessary for the developer to satisfy this Corporation's requirements, which are listed below.

The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.

The alteration of internal drains to the satisfaction of SA Water is required.

Subject to our new process, on receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non standard fees.

On approval of the application, all internal water piping that crosses the allotment boundaries must be severed or redirected at the developers/owners cost to ensure that the pipework relating to each allotment is contained within its boundaries.

Yours faithfully

TONY PANNUNZIO

for MANAGER LAND DEVELOPMENT & CONNECTIONS

SA Water
Level 6, 250 Victoria Square
ADELAIDE SA 5000
Ph (08) 7424 1119
Inquiries TONY PANNUNZIO
Telephone 7424 1243

Contact Lands Titles Office
Telephone 7109 7016



*Development
Assessment Commission*

04 February 2017

The Chief Executive Officer
City of West Torrens

Dear Sir/Madam

Re: Proposed Application No. 211/D008/17 (ID 56902)
for Land Division by Mr Steven Downs

In accordance with Section 33 of the Development Act 1993 and Regulation 29 (1) of the Development Regulations 2008, and further to my advice dated 20 January 2017, I advise that the Development Assessment Commission has consulted with SA Water Corporation (only) regarding this land division application. A copy of their response has been uploaded in EDALA for your consideration. The Commission has no further comment to make on this application, however there may be local planning issues which Council should consider prior to making its decision.

I further advise that the Development Assessment Commission has the following requirements under Section 33(1)(c) of the Development Act 1993 which must be included as conditions of land division approval on Council's Decision Notification (should such approval be granted).

1. The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.
The alteration of internal drains to the satisfaction of SA Water is required.
Subject to our new process, on receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non standard fees.
On approval of the application, all internal water piping that crosses the allotment boundaries must be severed or redirected at the developers/owners cost to ensure that the pipework relating to each allotment is contained within its boundaries.
2. Payment of \$6676 into the Planning and Development Fund (1 allotment(s) @ \$6676/allotment).
Payment may be made by credit card via the internet at www.edala.sa.gov.au or by phone (7109 7018), by cheque payable to the Development Assessment Commission marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Ground Floor, 101 Grenfell Street, Adelaide.
3. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the Development Assessment Commission for Land Division Certificate purposes.

The SA Water Corporation will, in due course, correspond directly with the applicant/agent regarding this land division proposal.

PLEASE UPLOAD THE DECISION NOTIFICATION FORM (VIA EDALA) FOLLOWING COUNCIL'S DECISION.

A handwritten signature in black ink, appearing to read 'P. Hodgson'.

Phil Hodgson
Unit Manager
Lands Titles Office

6.8 3 Cudmore Terrace, MARLESTON

Application No 211/1288/2016

DEVELOPMENT APPLICATION DETAILS

DEVELOPMENT PROPOSAL	Combined Application: Land Division - Community Title; DAC No. 211/D165/16 (Unique ID 55845), Create one (1) additional allotment; and construction of two semi-detached dwellings
APPLICANT	Arthur Hrelescu
APPLICATION NO	211/1288/2016
LODGEMENT DATE	30 September 2016
ZONE	Residential Zone
POLICY AREA	Medium Density Policy Area 19
APPLICATION TYPE	Merit
PUBLIC NOTIFICATION	Category 1
REFERRALS	Internal <ul style="list-style-type: none"> City Assets External <ul style="list-style-type: none"> DAC SA Water
DEVELOPMENT PLAN VERSION	5 May 2016
MEETING DATE	9 May 2017

RECOMMENDATION

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to REFUSE Development Approval for Application No. 211/1411/2016 by Mr Arthur Hrelescu to Combined Application: Land Division - Community Title; DAC No. 211/D165/16 (Unique ID 55845), Create one (1) additional allotment; and construction of two semi-detached dwellings at 3 Cudmore Terrace, Marleston (CT 5454/193) for the following reasons:

- The proposed development is contrary to:
 - General Section
Residential Development
Principle of Development Control 8
Reason: The development does not provide a clearly visible entrance to the dwelling from the street.
 - Residential Zone
Medium Density Policy Area 19
Principles of Development Control 5
Reason: The frontage falls short of the provision and restricts the design of the dwelling to the street.

BACKGROUND

The development proposal is presented to the Development Assessment Panel (DAP) for the following reason/s:

- With regard to residential development and land division applications, where all proposed allotments and or sites fail to meet, nor are within 5% of, the minimum frontage widths and site areas designated in respective zones and policy areas within the West Torrens Council Development Plan;
- All applications where the assessing officer recommends refusal, shall be assessed and determined by the DAP.

PREVIOUS OR RELATED APPLICATION(S)

Nil

SITE AND LOCALITY

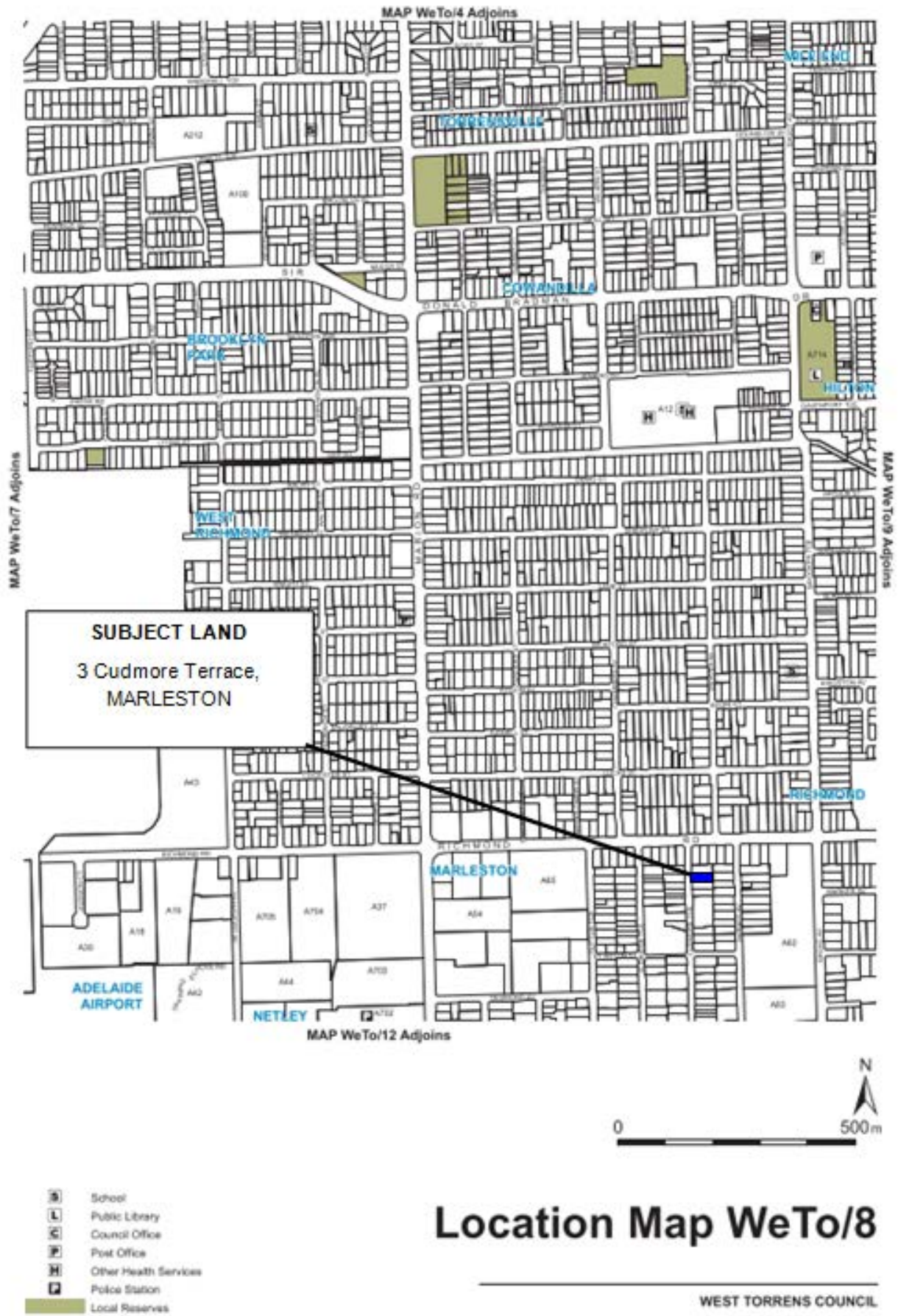
The subject site has a frontage of 16.5 metres to Cudmore Terrace which is rectangular other than a slight deviation in the northern boundary that reduces the rear boundary to 16.15 metres totalling a site area of 722m².

The prevailing character in the locality is detached dwellings on larger allotments with a number of residential flat buildings and semi-detached dwellings or detached dwellings on allotments of approximately 350m².

There are a number of industrial uses along Richmond Road, 60 metres to the north of the subject site.

The site and locality are shown on the following maps and imagery.





PROPOSAL

Combined Application: Land Division - Community Title; DAC No. 211/D165/16 (Unique ID 55845), Create one (1) additional allotment; and construction of two semi-detached dwellings

The proposed plans and information are attached, refer **Attachment 1**.

PUBLIC NOTIFICATION

The application is a Category 1 form of development pursuant to Section 38 of the Development Act 1993 and Schedule 9 Part 1, (2) (a) (iii) of the Development Regulations 2008.

REFERRALS

Internal

- City Assets
- Arboriculture officer

External

- DAC
- SA Water

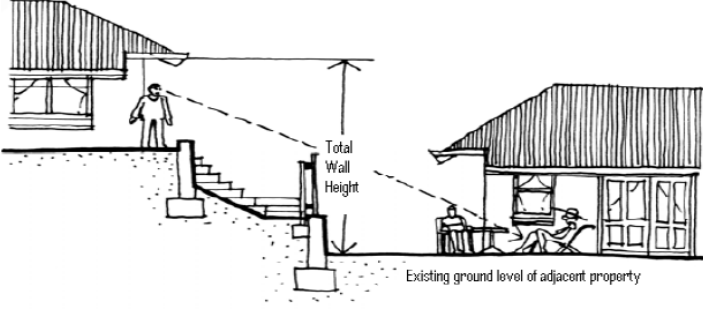
A full copy of the relevant reports are attached, refer **Attachment 2**.

ASSESSMENT

The subject land is located within the Residential Zone and more particularly Medium Density Policy Area 19 as described in the West Torrens Council Development Plan. The main provisions of the Development Plan which relate to the proposed development are as follows:

<u>General Section</u>		
Crime Prevention	Objectives	1
	Principles of Development Control	1, 2, 7
Design and Appearance	Objectives	1, 2
	Principles of Development Control	1, 2, 3, 9, 10, 11, 12, 13, 14, 15, 20
Energy Efficiency	Objectives	1
	Principles of Development Control	1, 2, 3
Infrastructure	Objectives	1
	Principles of Development Control	1, 2, 3, 4, 5, 6, 8
Land Division	Objectives	1, 2, 3, 4
	Principles of Development Control	1, 2, 4, 5, 6, 8
Landscaping, Fences and Walls	Objectives	1
	Principles of Development Control	1, 2, 3, 4
Residential Development	Objectives	1, 2, 3, 4
	Principles of Development Control	1, 3, 4, 5, 6, 7, 8, 10, 11, 12, 13, 18, 19, 20, 21, 24, 30, 31
Transportation and Access	Objectives	2
	Principles of Development Control	10, 11, 23, 24, 32, 34, 35, 36, 44, 45

<p>Zone: Residential Zone</p> <p>Desired Character Statement:</p> <p><i>This zone will contain predominantly residential development.</i></p> <p><i>Allotments will be at very low, low and medium densities to provide a diversity of housing options in different parts of the zone. The range of allotment sizes will support the desired dwelling types anticipated in each policy area, and the minimum allotment sizes shall be treated as such in order to achieve the Desired Character for each policy area and, in turn, reinforce distinction between policy areas. Row dwellings and residential flat buildings will be common near centres and in policy areas where the desired density is higher, in contrast to the predominance of detached dwellings in policy areas where the distinct established character is identified for protection and enhancement. There will also be potential for semi-detached dwellings and group dwellings in other policy areas.</i></p> <p><i>Residential development in the form of a multiple dwelling, residential flat building or group dwelling will not be undertaken in a Historic Conservation Area.</i></p> <p><i>Landscaping will be provided throughout the zone to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.</i></p>	
Objectives	<p><i>1 A residential zone comprising a range of dwelling types, including a minimum of 15 per cent affordable housing.</i></p> <p><i>2 Dwellings of various types at very low, low and medium densities.</i></p> <p><i>3 Increased dwelling densities in close proximity to centres, public transport routes and public open spaces.</i></p> <p><i>4 Development that contributes to the desired character of the zone.</i></p>
Principles of Development Control	<p><i>1 The following forms of development are envisaged in the zone:</i></p> <ul style="list-style-type: none"> ▪ <i>affordable housing</i> ▪ <i>domestic outbuilding in association with a dwelling</i> ▪ <i>dwelling</i> <p><i>5 Development should not be undertaken unless it is consistent with the desired character for the zone and policy area.</i></p> <p><i>7 Dwellings should be set back from allotment or site boundaries to:</i></p> <ul style="list-style-type: none"> <i>(a) contribute to the desired character of the relevant policy area</i> <i>(b) provide adequate visual privacy by separating habitable rooms from pedestrian and vehicle movement.</i>

	<p><i>10 Dwelling setbacks from side and rear boundaries should be progressively increased as the height of the building, (with the total wall height of the building being measured from the existing ground level at the boundary of the adjacent property as shown by Figure 1), increases to:</i></p> <p><i>(a) minimise the visual impact of buildings from adjoining properties</i></p> <p><i>(b) minimise the overshadowing of adjoining properties.</i></p>  <p>Figure 1</p> <p><i>12 Side boundary walls in residential areas should be limited in length and height to:</i></p> <p><i>(a) minimise their visual impact on adjoining properties</i></p> <p><i>(b) minimise the overshadowing of adjoining properties.</i></p>
--	---

Policy Area: Medium Density Policy Area 19	
<p>Desired Character Statement:</p> <p><i>Allotments in this policy area will be at medium density, accommodating a range of dwelling types including semi-detached, row and group dwellings, as well as some residential flat buildings and some detached dwellings on small allotments. There will be a denser allotment pattern close to centre zones where it is desirable for more residents to live and take advantage of the variety of facilities focused on centre zones.</i></p> <p><i>New buildings will contribute to a highly varied streetscape. Buildings will be up to 2 storeys, except for allotments fronting Brooker Terrace, Marion Road and Henley Beach Road, and overlooking the Westside Bikeway, where buildings will be up to 3 storeys in height and provide a strong presence to streets. Garages and carports will be located behind the front facade of buildings.</i></p> <p><i>Development will be interspersed with landscaping, particularly behind the main road frontage, to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.</i></p>	
<p>Objectives</p>	<p><i>1 Development that contributes to the desired character of the policy area.</i></p>

<i>Principles of Development Control</i>	<p>1 The following forms of development are envisaged specifically in the policy area:</p> <ul style="list-style-type: none"> ▪ affordable housing ▪ detached dwelling ▪ domestic outbuilding in association with a dwelling ▪ domestic structure ▪ dwelling addition ▪ group dwelling ▪ residential flat building <p>2 Development should not be undertaken unless it is consistent with the desired character for the policy area.</p> <p>3 Dwellings should be designed within the following parameters:</p> <table border="1"> <thead> <tr> <th>Parameter</th><th>Value</th></tr> </thead> <tbody> <tr> <td>Minimum setback from primary road frontage</td><td>3 metres</td></tr> <tr> <td>Minimum setback from secondary road frontage</td><td>2 metres</td></tr> <tr> <td>Minimum setback from back boundary</td><td>6 metres</td></tr> <tr> <td>Maximum site coverage (the area of a site covered by the ground floor level of a building, including the dwelling, garage, carport and outbuilding, but excluding unroofed balconies, verandas and pergolas)</td><td>60 per cent</td></tr> <tr> <td>Maximum building height (from natural ground level)</td><td>Allotments fronting Brooker Terrace, Marion Road and Henley Beach Road, and overlooking the Westside Bikeway: three storeys or 12.5 metres All other locations: two storeys or 8.5 metres</td></tr> </tbody> </table>	Parameter	Value	Minimum setback from primary road frontage	3 metres	Minimum setback from secondary road frontage	2 metres	Minimum setback from back boundary	6 metres	Maximum site coverage (the area of a site covered by the ground floor level of a building, including the dwelling, garage, carport and outbuilding, but excluding unroofed balconies, verandas and pergolas)	60 per cent	Maximum building height (from natural ground level)	Allotments fronting Brooker Terrace, Marion Road and Henley Beach Road, and overlooking the Westside Bikeway: three storeys or 12.5 metres All other locations: two storeys or 8.5 metres
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Maximum building height (from natural ground level)	Allotments fronting Brooker Terrace, Marion Road and Henley Beach Road, and overlooking the Westside Bikeway: three storeys or 12.5 metres All other locations: two storeys or 8.5 metres												

QUANTITATIVE ASSESSMENT

The proposal is assessed for consistency with the prescriptive requirements of the Development Plan as outlined in the table below:

DEVELOPMENT PLAN PROVISIONS	STANDARD	ASSESSMENT
SITE AREA Residential Zone Medium Density Policy Area 19 PDC 5	Semi-detached dwellings (200m ² minimum within 400m of a Centre Zone)	Unit 1 (allotment 901) = 357m ² Unit 2 (allotment 902) = 365m ² Satisfies
SITE FRONTAGE Residential Zone Medium Density Policy Area 19 PDC 5	9 metres	Unit 1 = 8.25 metres (allotment 901) Unit 2 = 8.25 metres (allotment 902) Does not Satisfy by 8.3%

STREET SETBACK Residential Zone Medium Density Policy Area 19 PDC 3	3 metres	3 metres to front Bedroom Satisfies
SIDE SETBACK FOR DWELLINGS Residential Zone PDC 11	1 metre where the vertical side wall is 3 metres 2 metres where the vertical side wall is between 3 and 6 metres	2.7m to side wall (proposed) Side setback is 1 metre for external and internal walls. Satisfies
REAR SETBACK Residential Zone Medium Density Policy Area 19 PDC 11	3 metres	6 metres Satisfies
SITE COVERAGE Residential Zone Medium Density Policy Area 19 PDC 11	Maximum site coverage 60%	212.8m ² / 364.5m ² =58.4% Satisfies
PRIVATE OPEN SPACE General Section Residential Development PDC 19	Between 300 and 500m ² = 60m ² , 10 may comprise balconies, roof patios, provided they have a minimum dimension of 2 metres; minimum dimension 4 metres.	Unit 1 = 60.7m ² Satisfies Unit 2 = 61.2m ² Satisfies
DOMESTIC STORAGE Residential Development PDC 31	8m ³ to be located in non- habitable rooms	There is opportunity for storage within the following: <ul style="list-style-type: none"> • Study = 31.5m³ • Laundry linen cupboard = 2.7m³ • Rear shed with storage capacity of 8m³ Satisfies

LANDSCAPING General Section Landscaping, Fences and Walls PDC 4	10%	Unit 1 Approximately 32% Satisfies Unit 2 Approximately 33% Satisfies
CARPARKING SPACES General Section Transportation and Access PDC 34	2 spaces per dwelling one undercover and an additional 0.25 spaces per dwelling.	2 spaces per dwelling provided Satisfies

QUALITATIVE ASSESSMENT

In assessing the merits or otherwise of the application, the proposed development substantially satisfies the relevant Development Plan provisions with the exception of the following, as discussed under the following sub headings:

Site Area and Frontage

The proposed site areas comfortably meet the requirements of the Development Plan.

The site frontages fall short of the Development Plan requirements (Residential Zone Medium Density Policy Area 19: Principle of Development Control 5). The narrow allotments in this instance results in implications to the façade of the dwellings in terms of the design and a lack of a clear and visible entrance from the street (Principle of Development Control 8 of the General Section: Residential Development).

There is another example of a similar frontage division approved in 2001 at 8 Cudmore Terrace, Marlestone but the dwelling design is more in keeping with the provisions of the current Development Plan.

Visual Impact on Streetscape

The design of the dwelling is considered to be deficient in terms of the façade and presentation to the street. This is largely due to the lack of a visible entrance to each of the dwellings as the entrance door is on a 45 degree angle. This clearly offends Principle of Development Control 8 of the General Section - Design and Appearance provisions, *ie "entries to dwellings or foyer areas should be clearly visible from the street..."*

Additionally this design offends Objective 1 of the General Section - Crime Prevention as the front of the dwelling creates a space that is not clearly visible to the street.

This issue of the shortfall has been raised with the applicant in the further information request dated 9 January 2017 and they have advised that they do not wish to make amendments to the design.

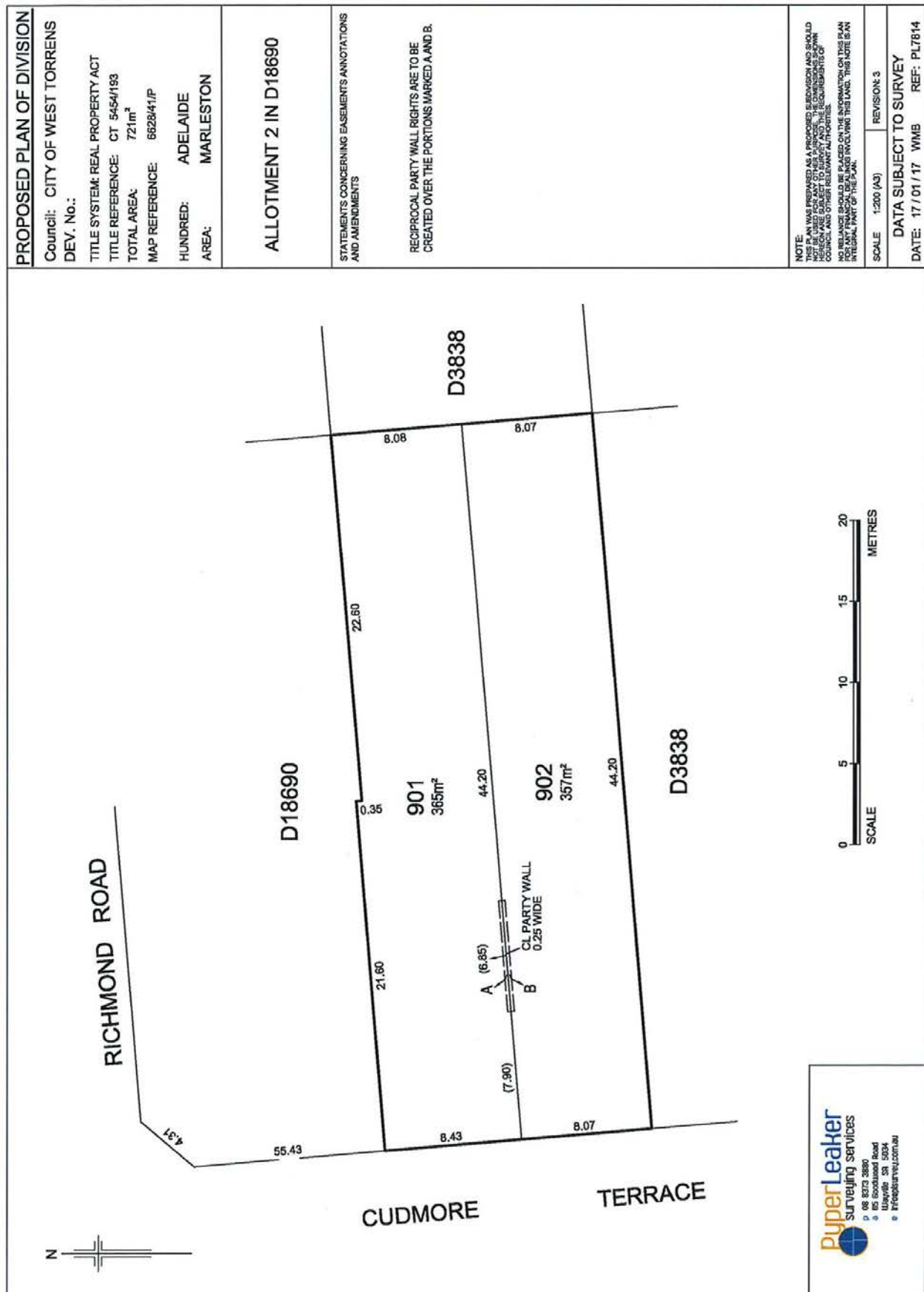
SUMMARY

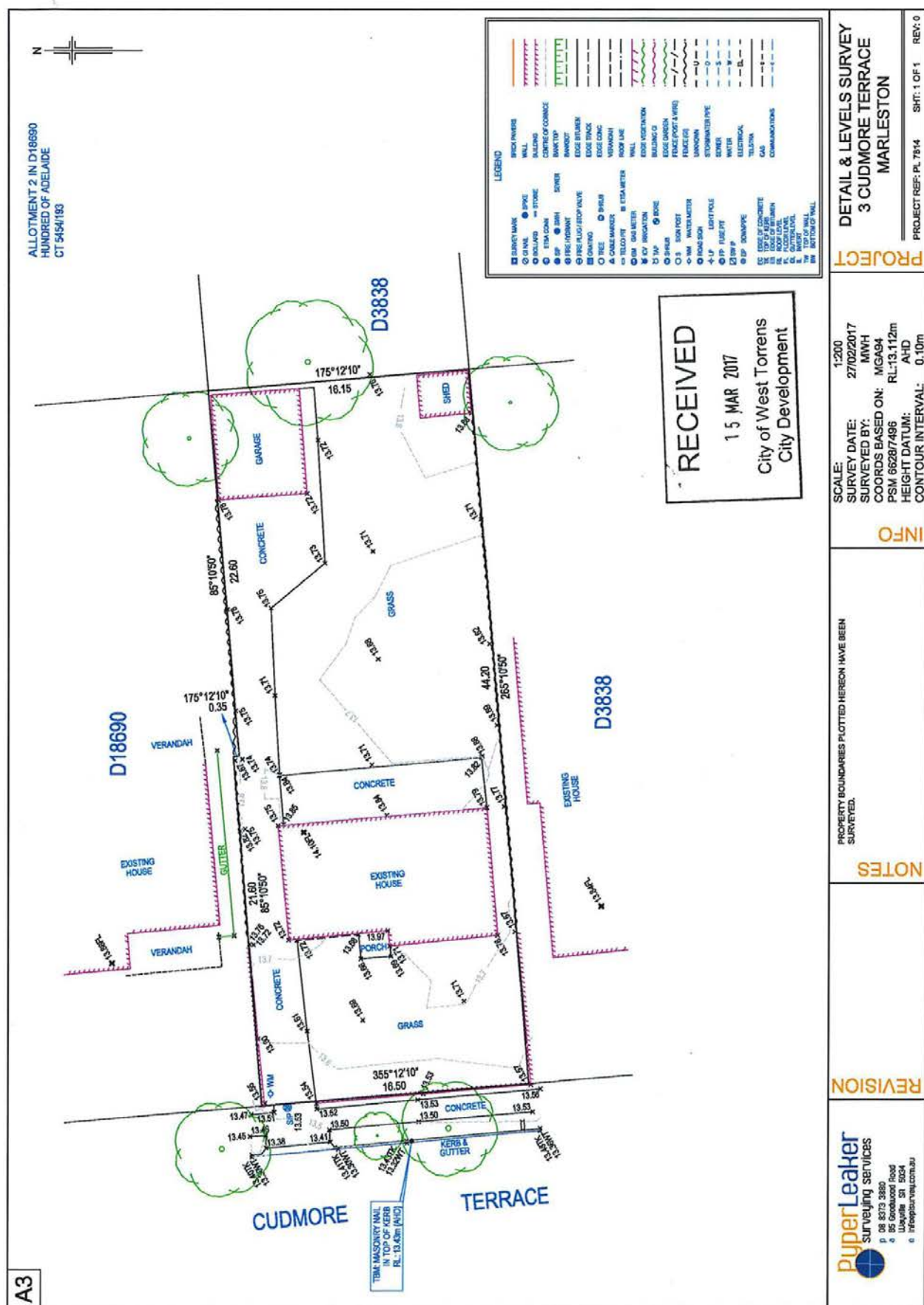
Whilst the development meets the site area requirements, its design and visual impact on the street is considered to be insufficient in terms of meeting the design and appearance provisions regarding a clear and visible entrance. This is partly due to the shortfall in frontage as if the frontages were wider, this would allow more space for a clearer visible entrance.

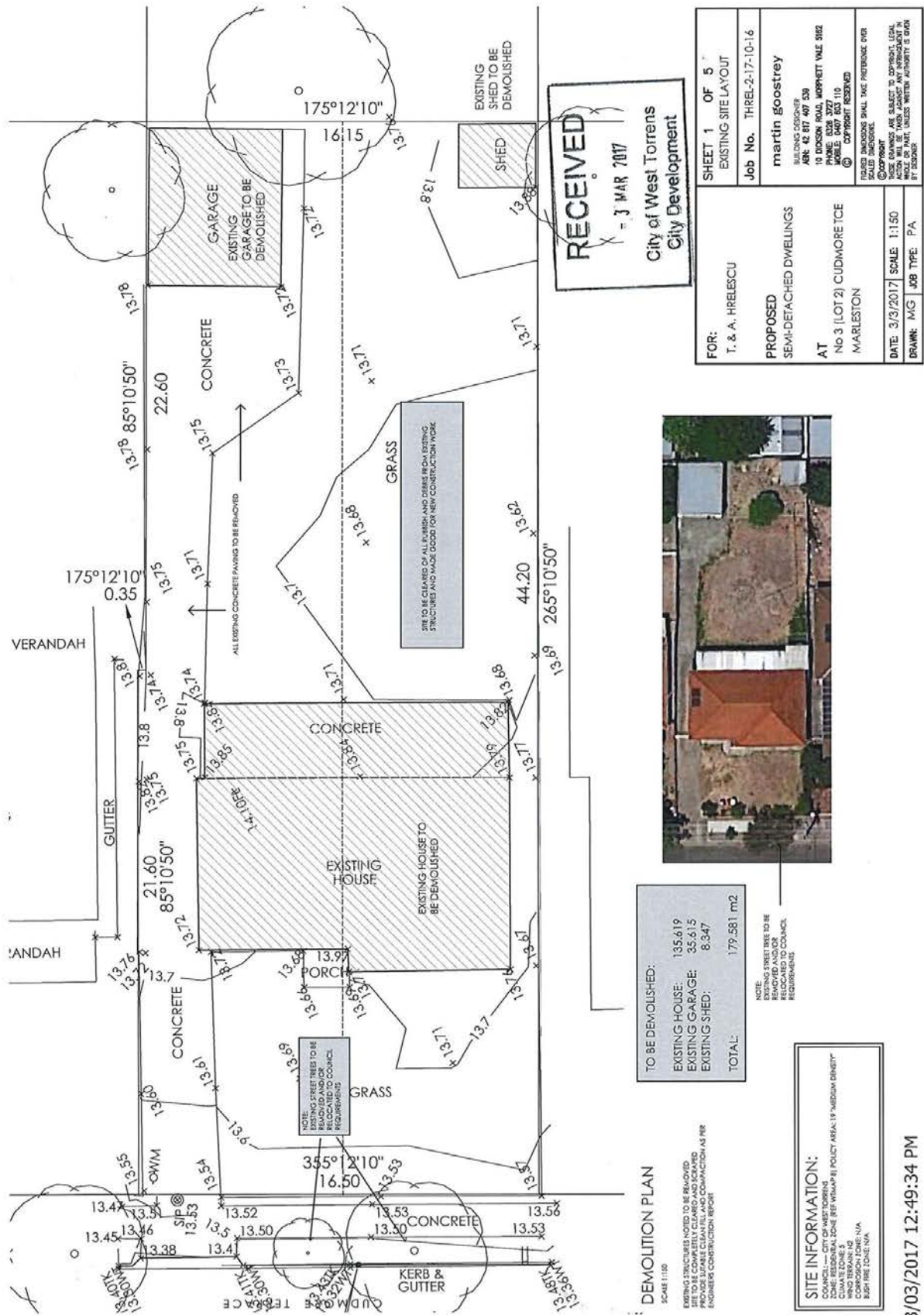
Having considered all the relevant Objectives and Principles of the Development Plan, the proposal is considered to be not seriously at variance with the Development Plan but on balance the proposed development does not sufficiently accord with the relevant provisions contained within the West Torrens (City) Development Plan Consolidated 5 May 2016 and does not warrant Development Plan Consent.

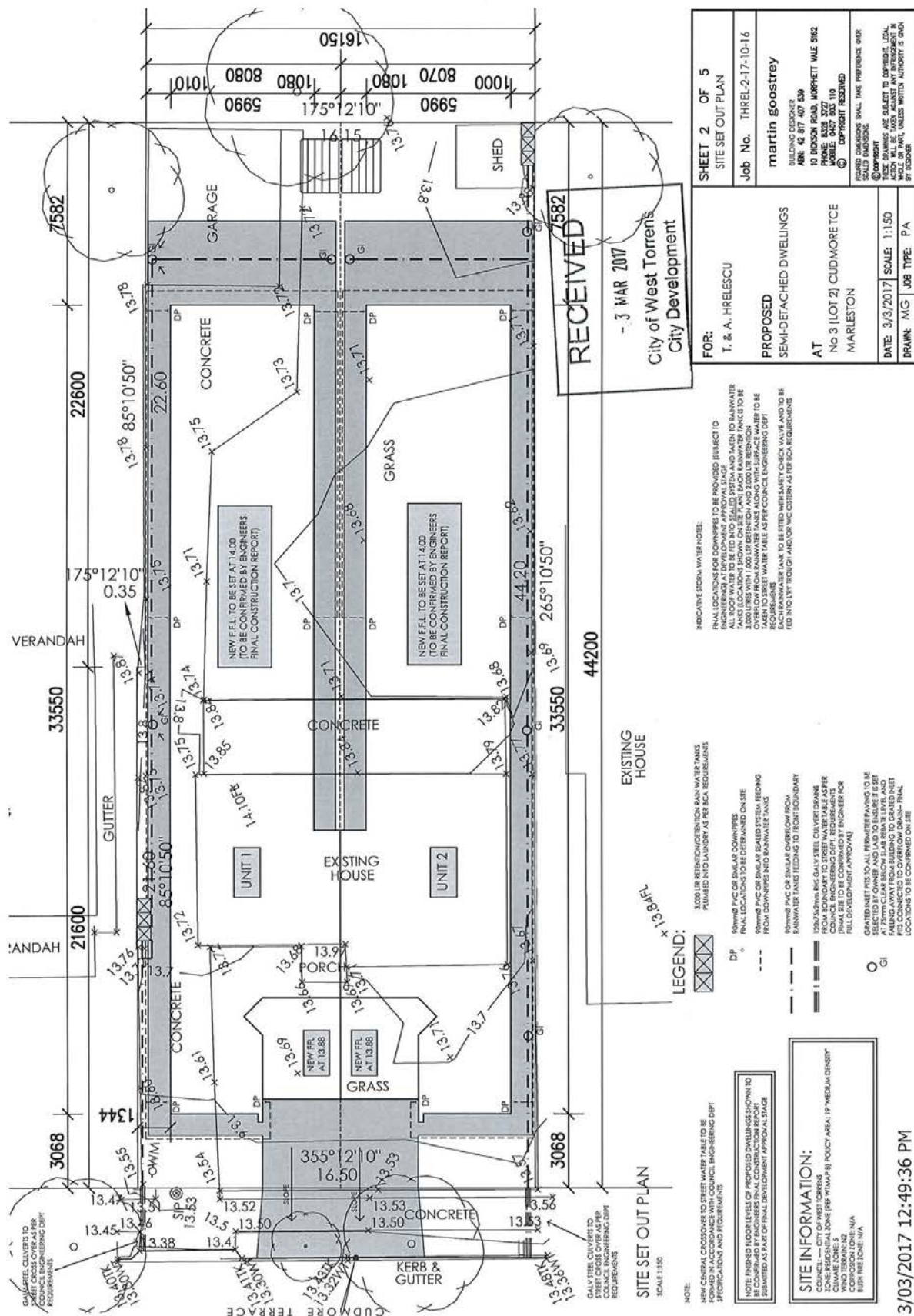
Attachments

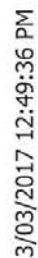
- 1. Proposal Plans**
- 2. Internal and External Referrals**
- 3. External Referral - SA Water**

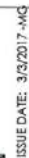












TYPICAL FLOOR LAYOUT PLAN
SCALE 1:100

SHEET 4 OF 5	FLOOR PLAN
Job No. THREE-2-17-10-18	PROPOSED SEMI-DETACHED DWELLINGS T. & A. HIRELESCU
AT No 3 (LOT 2) CUDMORE TCE	MARLESTON
DATE: 3/3/2017	SCALE: 1:100
DRAWN: MG	JOB TYPE: CD
marlin goostrey	
BUILDING DESIGN 406-42 877 691 10 DICKSON ROAD, WOPPERT VILLE 5162 SOUTH AUSTRALIA 5007 MOBILE: 0407 303 110 © COPYRIGHT RESERVED	
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AREAS:		LOT 2A (LINE 1)		LOT 2B (LINE 2)	
LAND AREA:	364.074	LAND AREA:	336.914		
LAND LIVING:	176.031	LAND LIVING:	174.031		
GARAGE:	23.002	GARAGE:	22.902		
VERANDAH:	14.002	VERANDAH:	14.202		
TOTAL COVERED:	213.046 m ² (58.48%)	TOTAL COVERED:	213.146 m ² (59.74%)		
PRIVATE REAR YARD:	41.248 m ² (10 m ² REQUIRED AS MINIMUM)	PRIVATE REAR YARD:	41.207 m ² (10 m ² REQUIRED AS MINIMUM)		
LANDSCAPED AREAS:		LANDSCAPED AREAS:			
FRONT OF SITE:	11.248	FRONT OF SITE:	10.548		
REAR LAWN AND PLANTING:	33.147	REAR LAWN AND PLANTING:	33.009		
	(12.1% OF SITE)		(12.2% OF SITE)		

RECEIVED

- 3 MAR 2017
City of West Torrens
City Development

3/03/2017 12:49:36 PM



ENERGY EFFICIENCY NOTE:

ROOF CONSTRUCTION TO PROVIDE TOTAL R-VALUE OF ALL W/TH EXPOSED SURFACE OF ROOF SHALL BE EQUAL TO OR GREATER THAN R-VALUE OF EXPOSED SURFACE OF DARKER COLOUR OF 84 CM (33 IN) THICK POLYSTYRENE FOAM INSULATION OF LESS THAN 84 INCHES (COLOUR)

ALLOW FOR SARKING TO EXPOSE TOTAL ROOF AND ALLOW FOR BULK INSULATION TO ALL CEILING AREAS TO RADIATING

ROOF SPACE TO BE VENTILATED IN ACCORDANCE WITH R.C. CLAUSE 3.12.12(f)

ALL EXTERNAL WALLING TO BE FITTED WITH R2.5 BULK INSULATION AS PER R.C. REQUIREMENTS

COOL-COLORS "WINDSPRAY" OR
SIMILAR RGB 66,153,153 REFERENCE

FRONT GARAGE RENDERO WALL -
"SANDBANE"
OR SIMILAR RGB 209 185 136

FRONT FEATURE BEDROOM WALL
SELECTED ASHLAR PATTERN SANDSTONE
BLOCKWORK



MAIN FACE BRICK TO SIDES AND REAR ELEVATIONS - POB "STACHEO OR MILAR"

ASCIAS AND TRIM AND GARAGE DOOR
COLORADO FINISH "BUSHLAND"
OR SIMILAR RGT. 138 106 122

ISSUE DATE: 3/3/2017 -MG

SHEET 5 OF 5
ELEVATIONS

Job No. THREL-2-17-10-16

PROPOSED SEMI-DETACHED DWELLINGS
T. & A. HIRESCU

AT

Mo. 3 (LOT 2) CUDMORE TCE
MARLESTON

DATE: 3/3/2017	SCALE: 1:100
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DATE: 3/3/2017	SCALE: 1:100
----------------	--------------

martin goostrey

martin goostrey
BUILDING DESIGNER

BUILDING DESIGNER
AGENT: 42 817 407 539

10 DICKSON ROAD, MORPHETT VALE 5182

PHONE: 8326 3727
1000 E. 6103 803 810

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WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY DESIGNER

3/03/2017 12:49:36 PM FRONT ELEVATION

REAR ELEVATION

- 3 MAR 2017

City of West Torrens
City Development



Memo

To Sonia Gallarello
From Ming Siow
Date 14/12/2016
Subject 211/1288/2016, 3 Cudmore Terrace, MARLESTON SA 5033

Sonia Gallarello,

The following City Assets Department comments are provided with regards to the assessment of the above development application:

1.0 General Finished Floor Level (FFL) Consideration

- 1.1 Council seeks to ensure that the FFL of all new development is protected from Inundation when considering a 350mm stormwater flow depth in the adjacent street watertable.

This is typically achieved through establishing the FFL of new development a minimum of 350mm above the highest adjacent street water table.

In association with the above proposed development, no site or road verge level information has been provided and as such it is impossible to determine if the proposal will satisfy the above consideration.

Simply conditioning that a development satisfy this consideration can have its complications with regards to the ultimately required level of the development in relation to neighbouring properties and the related planning considerations this brings about. It may also bring about the necessity for alterations to the design of the development which are outside of the expectations of the applicant (for example; requiring step(s) up from existing buildings to additions).

It is recommended that appropriate site and adjacent road verge survey information be provided to correctly assess the required minimum FFL for this proposal.



2.0 Verge Interaction (with street tree)

- 2.1 In association with new development, driveways and stormwater connections through the road verge need to be located and shaped such that they appropriately interact with and accommodate existing verge features in front of the subject and adjacent properties.

New driveways and stormwater connections are required to be located a minimum 1.0 metre offset from other existing or proposed driveways, stormwater connections, stobie poles, street lights, side entry pits and pram ramps, etc. (as measured at the front property boundary).

These new features are also desired to be located a minimum of 2.0 metres from existing street trees, although a lesser offset may be acceptable in some circumstances. If an offset less than the desired 2.0 metres is proposed or if it is requested for the street tree to be removed, then assessment for the suitability of such will be necessary from Council's Technical Officer (Arboriculture).

It is recommended that revised plans indicating satisfaction to the above requirements should be provided to Council.

- 2.2 An on-street parking space should be maintained adjacent to the subject site. As currently shown, the two areas adjacent to the central crossover are not long enough to accommodate an on-street parking space. In order to accommodate at least one space adjacent to the site, the proposed garages should be placed on the northern and southern boundaries. An on-street space could then be accommodated in between the crossovers.

It is recommended that revised plans showing an on-street space be provided to Council. I note that there is also an existing stobie pole to avoid as well.

If this alteration is not possible, then the combined crossover width should be limited to 6.0m. An on-street space will almost be accommodated north and south of the crossover. As there are no existing crossovers for the neighbouring properties on the boundary with the subject site, then a car could park in this area.



2.3 It should also be nominated for the stormwater connection through the road verge area to be constructed of shape and material to satisfy Council's standard requirements

- 100 x 50 x 2mm RHS Galvanised Steel or
- 125 x 75 x 2mm RHS Galvanised Steel or
- Multiples of the above.

It is recommended that revised plans clearly and accurately indicating satisfaction of the above criteria be provided to Council.

Regards

Ming

Arboricultural Assessment of Street Trees

Development Application No: 211/1288/2016

REFERRAL DUE DATE: 5 December 2016

Assessing Officer: Sonia Gallarello
Site Address: 3 Cudmore Terrace, MARLESTON SA 5033
Certificate of Title: CT-5454/193
Description of Development Combined Application: Land division - Torrens Title; DAC No. 211/D165/16 (Unique ID 55845), Create one (1) additional allotment; and construction of two single-storey dwellings

TO THE TECHNICAL OFFICER – CITY ASSETS

Please provide your comments in relation to:

- ☐ The removal of or impact upon the Street Tree
- ☐ Species of Tree:
- ☐ Your advice is also sought on other aspects of the proposal as follows:

PLANNING OFFICER - Sonia Gallarello

DATE 21 November 2016

FROM THE TECHNICAL OFFICER

I have examined the plans as requested and provide comments as follow.

As with all development applications it must be proven beyond reasonable doubt that all alternatives have been explored so not to hinder the progress of any street tree(s).

Any proposed development that does not consider "AS4970 Protection of Trees on Development Sites", is likely to require revision until all plans accurately correspond with the specific tree information detailed in this standard.

Verge interaction must consider all services that cross council land including stormwater outlets (and other) which will need to be maintained a minimum of 2.0m from any existing street tree (unless existing or otherwise negotiated).

A site investigation has revealed and together with the information provided that the location of the proposed crossover for Unit 1 will impact on an existing *Sapium sebiferum* (Chinese Tallow) street tree.

The location for the proposed crossover for Unit 2 will impact on an existing *Agonis flexuosa* (Willow Myrtle) street tree.

With reference to the City of West Torrens, Fees and Charges Document 2016-2017 "Tree removal for driveway construction", once Council has assessed all circumstances and considered it acceptable that a street tree can be removed, a fee is calculated based on Council's standard schedule of fees and charges.

The fee is used to offsets the loss of the asset (street tree) to the community, with funds received invested in Council's annual Greening Program.

As a result of the proposed new crossovers for Unit 1 & Unit 2, City Works has considered the health, structure, form, useful life expectancy, and age of the street trees and will support their removal.

For Unit 1 a fee of \$ 218.00 will be required prior to the commencement of any work.

For Unit 2 a fee of \$ 1090.00 will be required prior to the commencement of any work.

Please note, under no circumstances is any individuals other than council staff permitted to interfere with a street tree. If pruning etc. is required, council must be notified via the appropriate request, and council staff will perform all works associated with the community asset.

Final crossover locations will be confirmed once appropriate consultation has been received from the applicant and they have submitted "an application to construct a vehicle crossing place(s) across council land".

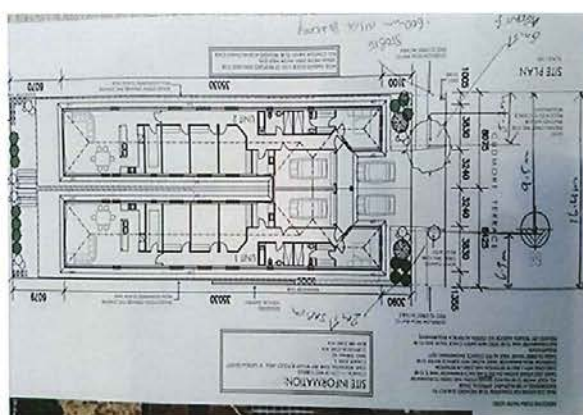
Rick Holmes
Arboriculture Officer
165 Sir Donald Bradman Drive
Hilton SA 5033

Telephone: 8416 6333

Fax: 8443 5709

Email: rholmes@wtcc.sa.gov.au

DATE: 6/12/2016



Contact
Telephone
Facsimile

Customer Services
(08) 71097016
(08) 83030604



19 January 2017

Mr Terry Buss
City Manager
City of West Torrens
165 Sir Donald Bradman Drive
HILTON SA 5033

Dear Sir/Madam

**Re: Proposed Application No. 211/D165/16 (ID 55845) - Amended Plan 17/01/17
for Land Division by Arthur Hrelescu**

I refer to the enclosed application received at this office and advise that the Development Assessment Commission has no report to make to Council in accordance with Regulation 29 of the Development Regulations.

The Commission is of the view that there are no planning impacts of State significance associated with the application, and accordingly have only consulted with the SA Water Corporation pursuant to Regulation 29 (3).

While the Commission is making no report on the application, there may be local planning issues which Council should consider prior to making its decision on the application.

I further advise that the Commission has the following requirements under Section 33 (1) (c) of the Development Act. These requirements must be included as conditions of approval on the Council's Decision Notification (should such approval be granted).

1. The financial requirements of the SA Water Corporation shall be met for the provision of water and sewerage services (SA Water H0051421).

The internal drains shall be altered to the satisfaction of the SA Water Corporation.

SA Water advises on receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non standard fees.
2. Payment of \$6676 into the Planning and Development fund (1 allotment @ \$6676/allotment). Payment may be made by credit card via the internet at www.edala.sa.gov.au or by phone (7109 7018), by cheque payable to the Development Assessment Commission marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Ground Floor, 101 Grenfell Street, Adelaide.
3. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the Development Assessment Commission for Land Division Certificate purposes.

On approval of the application, all internal water piping that crosses the allotment boundaries must be severed or redirected at the developers/owners cost to ensure that the pipework relating to each allotment is contained within its boundaries.

PLEASE UPLOAD THE DECISION NOTIFICATION FORM (VIA EDALA) FOLLOWING COUNCIL'S DECISION.

Yours faithfully

A handwritten signature in black ink, appearing to read "P. Hodgson", written over a horizontal line.

Phil Hodgson
Unit Manager
Land Titles Office
As delegate of the
DEVELOPMENT ASSESSMENT COMMISSION



20 January 2017

Our Ref: H0051421

The Chairman
Development Assessment Commission
136 North Terrace
ADELAIDE SA 5000

Dear Sir/Madam

PROPOSED LAND DIVISION APPLICATION NO: 211/D165/16 AT MARLESTON

In response to the abovementioned proposal, I advise that pursuant to Section 33 of the Development Act it is necessary for the developer to satisfy this Corporation's requirements, which are listed below.

The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.

The alteration of internal drains to the satisfaction of SA Water is required.

On receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non -standard fees.

On approval of the application, all internal water piping that crosses the allotment boundaries must be severed or redirected at the developers/owners cost to ensure that the pipework relating to each allotment is contained within its boundaries.

Yours faithfully

CAROL CARY
for **MANAGER LAND DEVELOPMENT & CONNECTIONS**

SA Water
Level 6, 250 Victoria Square
ADELAIDE SA 5000
Ph (08) 7424 1119
Inquiries CAROL CARY
Telephone 7424 1119

6.9 13 Maynard Road, PLYMPTON

Application No 211/92/2017 & 211/406/2017

DEVELOPMENT APPLICATION DETAILS

DEVELOPMENT PROPOSAL	Land division - Torrens Title; DAC No. 211/D039/17 (Unique ID 57312); Create two (2) additional allotments	Demolition of existing dwelling and associated structures and construction of three (3) two-storey row dwellings all with single garages under main roof and a front porch to Dwelling 3
APPLICANT	Warren Gore	Zybek Consulting and Management
APPLICATION NO	211/406/2017	211/92/2017
LODGEMENT DATE	7 April 2017	27 January 2017
ZONE	Residential Zone	Residential Zone
POLICY AREA	Medium Density Policy Area 18	Medium Density Policy Area 18
APPLICATION TYPE	Merit	Merit
PUBLIC NOTIFICATION	Category 1	Category 1
REFERRALS	Internal <ul style="list-style-type: none"> ▪ Nil External <ul style="list-style-type: none"> ▪ Development Assessment Commission (DAC) ▪ SA Water 	Internal <ul style="list-style-type: none"> ▪ City Assets (Civil Engineer) ▪ City Works (Amenity Officer) External <ul style="list-style-type: none"> ▪ Nil
DEVELOPMENT PLAN VERSION	5 May 2016	5 May 2016
MEETING DATE	9 May 2017	9 May 2017

RECOMMENDATION 1

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/406/2017 by Warren Gore to undertake Land division - Torrens title DAC No- 211/D039/17 Create Two (2) additional allotments at 13 Maynard Road, Plympton (CT 5160/532) subject to the following conditions:

DEVELOPMENT PLAN CONSENT Council Conditions

1. Development is to take place in accordance with the plans prepared by Cavallo Forest & Associates, Reference No 17-052 dated 02 March 2017, relating to Development Application No. 211/406/2017 (DAC 211/D039/17).

LAND DIVISION CONSENT Council Conditions

1. That prior to the issue of Section 51 Clearance to this division approved herein, all existing structures shall be removed from all of the proposed Allotments.

DEVELOPMENT ASSESSMENT COMMISSION CONDITIONS:

2. The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.

The alteration of internal drains to the satisfaction of SA Water is required.

On approval of the application, all internal water piping that crosses the allotment boundaries must be severed or redirected at the developers/owners cost to ensure that the pipework relating to each allotment is contained within its boundaries.

3. Payment of \$13352.00 into the Planning and Development Fund (2 allotments @ \$6676.00/allotment). Payment may be made by credit card via the internet at www.edala.sa.gov.au or by phone (7109 7018), by cheque payable to the Development Assessment Commission marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Level 5, 136 North Terrace, Adelaide.
4. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the Development Assessment Commission for Land Division Certificate Purposes.

RECOMMENDATION 2

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to GRANT Development Plan Consent for Application No. 211/92/2017 by Zybek Consulting and Management to undertake demolition of existing dwelling and associated structures and construction of three (3) two- storey row dwellings all with single garages under main roof and a front porch to Dwelling 3 at 13 Maynard, Plympton (CT 5160/532) subject to the following conditions of consent (and any subsequent or amended condition that may be required as a result of the consideration of reserved matters under Section 33(3) of the Development Act):

1. That the development will be undertaken and completed in accordance with the plans and information stamped with Development Plan Consent on 9 May 2017 as detailed in this application except where varied by any condition(s) listed below.
2. That all stormwater design and construction will be in accordance with Australian Standards and recognised engineering best practices to ensure that stormwater does not adversely affect any adjoining property or public road and for this purpose stormwater drainage shall not at any time:-
 - a) Result in the entry of water into a building; or
 - b) Affect the stability of a building; or
 - c) Create unhealthy or dangerous conditions on the site or within the building; or
 - d) Flow or discharge onto the land of an adjoining owner; and not flow across footpaths or public ways.
3. That any retaining walls will be designed to accepted engineering standards, and not of timber construction if retaining a difference in ground level exceeding 200mm.
4. That all driveways, parking and manoeuvring areas will be formed, surfaced with concrete, bitumen or paving, and be properly drained, and will be maintained in reasonable condition at all times.

5. That all planting and landscaping will be completed prior to occupation of this development and will be maintained in reasonable condition at all times. Any plants that become diseased or die shall be replaced with a suitable species.
6. All upper level windows, other than the west facing windows (street facing), shall be provided with fixed obscure glass to a minimum height of 1.7 metres above the upper floor level, prior to occupation of the building. The glazing in these windows shall be maintained in good condition at all times.

BACKGROUND

The development proposal is presented to the Development Assessment Panel (DAP) for the following reason:

- With regard to residential development and land division applications, where all proposed allotments and or sites fail to meet, nor are within 5% of, the minimum frontage widths and site areas designated in respective zones and policy areas within the West Torrens Council Development Plan

PREVIOUS OR RELATED APPLICATIONS

Nil

SITE AND LOCALITY

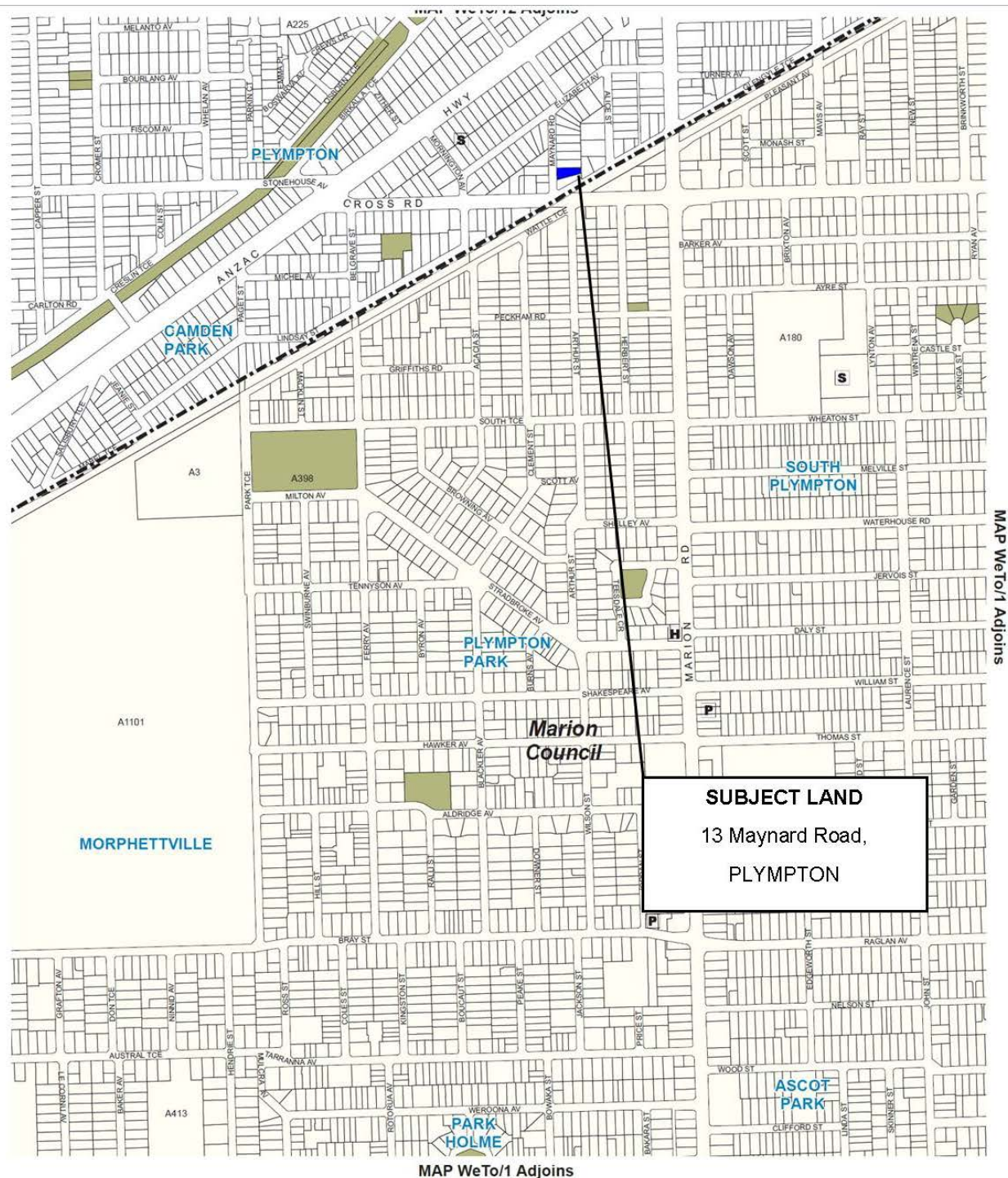
The subject land is formally described as Allotment 52 Deposited Plan 2658 in the area named Plympton Hundred of Adelaide, volume 5160 and folio 532, or more commonly known as 13 Maynard, Plympton. The subject land has a frontage to Maynard Road of 21.336 metres, and a site area of 693.984 square metres. The shape of the subject land is irregular as the frontage is wide but the rear boundary is narrow, so the southern boundary is on a 75 degree angle (approximately). Currently existing on the site is a late 1920's symmetrical cottage and several detached outbuildings.

The subject land is located on the eastern side of Maynard Road, approximately 19.6 metres from the main arterial road of Cross Road. Approximately 42 metres south-east of the subject land is the border of the City of Marion, which is characterised by the Glenelg Tram Line.

Whilst the locality mainly comprises residential development in the form of 1920's detached dwellings that are symmetrical cottages, and bungalows (with the exception of one 1990 reproduction dwelling) the broader locality contains other types of dwelling including residential flat buildings and group dwellings.

The site and locality are shown on the following maps.





- S** School
- P** Post Office
- H** Other Health Services
- Railways
- Local Reserves
- Development Plan Boundary

Location Map WeTo/15

WEST TORRENS COUNCIL
Consolidated - 5 May 2016

PROPOSAL

It is proposed to construct three, double storey row dwellings each with a single garage and built under the main roof.

Each proposed dwelling comprises an open plan living/dining/kitchen area, separate study, three bedrooms, 2 bathrooms, powder room and a laundry. The laundry for Dwelling 3, however, is located within the garage.

All car parking facilities associated with the proposed dwellings are accessed by separate driveways and crossovers.

Landscaping has also been included and will mainly be provided within the front setback areas and rear areas of private open space.

The proposed land division is for a Torrens Title Land Division creating two additional allotments. The boundaries of the land division application and party walls are consistent with the land use application (DA 211/92/2017). The proposal has been lodged to formalise titling arrangements in accordance with the associated land use development application being concurrently considered in this report.

The proposed built form and land division plans are included in **Attachment 1**.

PUBLIC NOTIFICATION

The application is a Category 1 form of development pursuant to Section 38 and Schedule 9 of the Development Act and Regulations and Residential Zone Procedural Matters.

REFERRALS

Internal

- City Assets & City Works

These departments do not have any objections to the most current proposal does

External

Development Assessment Commission (DAC) and SA Water

Pursuant to Section 33 and Schedule 29(1) of the Development Act and Regulations, the application was referred to SA Water by the Development Assessment Commission.

Neither DAC nor SA Water had any objections to the proposal, subject to several conditions being added to any consent notice.

Full copies of the relevant reports are contained in **Attachment 2**.

ASSESSMENT

The subject land is located within the Residential Zone and more specifically the Medium Density Policy Area 18 as described in the West Torrens Council Development Plan. The main provisions of the Development Plan which relate to the proposed development are as follows:

<u>General Section</u>		
Crime Prevention	Objectives	1
	Principles of Development Control	1, 2, 7 & 8
Design and Appearance	Objectives	2
	Principles of Development Control	1, 2, 3, 4, 9, 10, 11, 12, 13, 14, 15, 20, 21 & 22
Energy Efficiency	Objectives	1 & 2
	Principles of Development Control	1, 2 & 3
Infrastructure	Objectives	3
	Principles of Development Control	1, 3, 4, 5, 6, 8, 9, 14, & 16
Land Division	Objectives	1, 2, 3 & 4
	Principles of Development Control	1, 2, 5, 6, 8, 11 & 12
Landscaping, Fences and Walls	Objectives	1 & 2
	Principles of Development Control	1, 2, 3, 4 & 6
Orderly and Sustainable Development	Objectives	1, 2, 3, 4 & 5
	Principles of Development Control	1, 3, 5 & 7
Residential Development	Objectives	1, 2, 3 & 5
	Principles of Development Control	1, 3, 4, 5, 6, 7, 8, 10, 11, 12, 13, 14, 15, 16, 18, 19, 20, 21, 24, 27, 30 & 31
Siting and Visibility	Objectives	1
	Principles of Development Control	1, 2, 3, 4, 5, 6, 7 & 8
Transportation and Access	Objectives	2
	Principles of Development Control	1, 2, 8, 9, 10, 11, 12, 23, 24, 25, 26, 35, 44 & 45

Zone: Residential Zone

Desired Character Statement:

"This zone will contain predominantly residential development. There may also be some small-scale non-residential activities such as offices, shops, consulting rooms and educational establishments in certain locations. Non-residential activities will be complementary to surrounding dwellings.

Allotments will be at very low, low and medium densities to provide a diversity of housing options in different parts of the zone. The range of allotment sizes will support the desired dwelling types anticipated in each policy area, and the minimum allotment sizes shall be treated as such in order to achieve the Desired Character for each policy area and, in turn, reinforce distinction between policy areas. Row dwellings and residential flat buildings will be common near centres and in policy areas where the desired density is higher, in contrast to the predominance of detached dwellings in policy areas where the distinct established character is identified for protection and enhancement. There will also be potential for semi-detached dwellings and group dwellings in other policy areas.

Residential development in the form of a multiple dwelling, residential flat building or group dwelling will not be undertaken in a **Historic Conservation Area**.

<i>Landscaping will be provided throughout the zone to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer".</i>	
<i>Objectives</i>	1, 2, 3 & 4
<i>Principles of Development Control</i>	1, 2, 5, 6, 7, 10, 11, 12, 13 & 14

Policy Area: Medium Density Policy Area 18	
<i>Desired Character Statement:</i>	
<p><i>"Allotments in this policy area will be at medium density, accommodating a range of dwelling types including residential flat buildings, row dwellings, group dwellings, semi-detached dwellings and some detached dwellings on small allotments. Allotment amalgamation to create larger development sites will occur to maximise the density of development while also achieving integrated design outcomes, particularly within a comfortable walking distance of centre zones. Vehicle access will occur from side streets and new rear public and private laneways wherever possible, also supporting the retention of existing street trees.</i></p> <p><i>New buildings will contribute to a highly varied streetscape. Buildings will be up to 3 storeys and provide a strong presence to streets, other than in the part of the policy area in Underdale, Ashford (other than allotments adjacent to Residential Character Ashford Policy Area 22) and allotments bounded by Anzac Highway, Morphett Road and Cromer Street in Camden Park where buildings will be up to 4 storeys. Parking areas and garages will be located behind the front facade of buildings.</i></p> <p><i>Buildings on the edge of the policy area which adjoin residential policy areas at lower densities will pay particular attention to managing the interface with adjoining dwellings, especially in terms of the appearance of building height and bulk, and overshadowing.</i></p> <p><i>Development will be interspersed with landscaping, particularly behind the main road frontage, to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer".</i></p>	
<i>Objectives</i>	1
<i>Principles of Development Control</i>	1 (Land Use), 1 (Form and Character), 4, 5, 6 & 8

QUANTITATIVE ASSESSMENT

The proposal is assessed for consistency with the prescriptive requirements of the Development Plan as outlined in the table below:

DEVELOPMENT PLAN PROVISIONS	STANDARD	ASSESSMENT		
		Dwelling 1	Dwelling 2	Dwelling 3
ALLOTMENT AREA <i>Medium Density Policy Area 18 PDC 8</i>	250m ² (min.)	251m ² Satisfies	252m ² Satisfies	190m ² Does Not Satisfy by 24%
ALLOTMENT FRONTAGE <i>Medium Density Policy Area 18 PDC 8</i>	9m	5.52m Does Not Satisfy by 38.6%	5.52m Does Not Satisfy by 38.6%	10.30m Satisfies
SITE AREA <i>Medium Density Policy Area 18 PDC 6</i>	Row Dwelling 150m ² (min.)	251m ² Satisfies	252m ² Satisfies	190m ² Satisfies
SITE FRONTAGE <i>Medium Density Policy Area 18 PDC 6</i>	Row Dwelling 5m	5.52m Satisfies	5.52m Satisfies	10.30 Satisfies
SITE COVERAGE <i>Medium Density Policy Area 18 PDC 5</i>	70% (max.)	51.25% Satisfies	51.25% Satisfies	46.32% Satisfies
PRIMARY STREET SETBACK <i>Medium Density Policy Area 18 PDC 5</i>	3m (min.)	4m Satisfies	4m Satisfies	3.6m Satisfies

<p>SIDE/REAR SETBACKS <i>Residential Zone PDC 11</i></p> <p><i>Medium Density Policy Area 18 PDC 5</i></p>	<p>Side 0/1m</p> <p>Rear 4m (min.)</p>	<p><u>North</u> Lower - 900mm Upper - 1.98m Satisfies</p> <p><u>South</u> Lower & Upper - on boundary abutting a simultaneously built wall Satisfies</p> <p>12m Satisfies</p>	<p><u>North</u> Lower & Upper - on boundary abutting a simultaneously built wall Satisfies</p> <p><u>South</u> Lower - 900mm Upper - 1.98m Satisfies</p> <p>12m Satisfies</p>	<p><u>North</u> Lower - 9m long along boundary and remainder of wall partially abutting a simultaneously built wall.</p> <p>Upper - on boundary Partially Satisfies</p> <p><u>South</u> Lower - 600mm Upper - 1.5m to 2m Partially Satisfies</p> <p>8.8m Satisfies</p>
<p>BUILDING HEIGHT <i>Medium Density Policy Area 18 PDC 5</i></p>	<p>3 storeys or 12.5m</p>	<p>2 storeys Satisfies</p>	<p>2 storeys Satisfies</p>	<p>2 storeys Satisfies</p>
<p>INTERNAL FLOOR AREA <i>Residential Development PDC 9</i></p>	<p>3+ Bedroom, 100m² (min.)</p>	<p>154.18m² Satisfies</p>	<p>154.18m² Satisfies</p>	<p>136.24m² Satisfies</p>
<p>PRIVATE OPEN SPACE <i>Residential Development PDC 19</i></p>	<p><300m² - 24m² (min.), of which 8m² may comprise balconies, roof patios and the like, provided they have a minimum dimension of 2m. -Minimum dimension 3m (excl. balconies). - 16m² (min.) at the rear of side of dwelling, directly accessible from a habitable room.</p>	<p>66.24m² (total) 5.52m (min. dimension) 66.24m² (accessed from habitable room) Satisfies</p>	<p>62m² (total) 3m (min. dimension) 62m² (accessed from habitable room) Satisfies</p>	<p>24.5m² (total) 3m (min. dimension) 24.5m² (accessed from habitable room) Satisfies</p>

STORAGE AREA <i>Residential Development</i> PDC 31	8m ³	5.5m ³ Satisfies	5.5m ³ Satisfies	7.3m ³ Satisfies
CARPARKING SPACES <i>Transportation and Access</i> PDC 34	2 car-parking spaces required, 1 of which is covered	2 spaces provided (1 covered) Satisfies	2 spaces provided (1 covered) Satisfies	2 spaces provided (1 covered) Satisfies

QUALITATIVE ASSESSMENT

In assessing the merits or otherwise of the application, the proposed development substantially satisfies the relevant Development Plan provisions with the exception of the following, as discussed under the following sub headings:

Allotment Frontage

Medium Density Policy Area 18 specifies that land division should create allotments with frontage widths of 9 metres (Medium Density Policy Area 18, Principle of Development Control (PDC 8). Although the land division application DA 211/406/2017 will result in Allotment 1 and 2 featuring a frontage of less than 9 metres, the land use development application 211/92/2017 demonstrates that the allotments are intended for row dwellings, which in accordance with Medium Density Policy Area 18 PDC 6 can have a minimum frontage width of 5 metres. In this instance, the proposed frontage widths of 5.52 metres are considered to be satisfactory. Given that the proposals are not contained in one combined application and the frontage widths are less than 9 metres only development consisting of row dwellings would be allowable or deemed appropriate.

Allotment Area

Minimum Density Policy Area 18 specifies that land division should create allotments with an area greater than 250 square metres. The only allotment and site proposed that will have an area less than the minimum is Allotment 3. Allotment 3 will have a site area deficiency of 60 square metres, which is 24% less than the minimum stated for the policy area.

A row dwelling within this policy area should have a minimum site area of 150 square metres (Medium Density Policy Area 18 PDC 6). As mentioned under the previous heading with regard to allotment frontage, whilst the land use and land division applications are not combined the land use application does demonstrate that a row dwelling is anticipated to be developed on the subject land. Therefore in this instance the site area for the intended form of development is considered to be satisfactory.

Overshadowing

The Development Plan includes the following provisions with regard to overshadowing:

- General Section, Residential Development PDC 10,

"The design and location of buildings should ensure that direct winter sunlight is available to adjacent dwellings, with particular consideration given to:

- (a) windows of habitable rooms, particularly living areas*
- (b) ground-level private open space*
- (c) upper-level private balconies that provide the primary open space area for any dwelling*
- (d) access to solar energy".*

- General Section, Residential Development PDC 11,

"Development should ensure that north-facing windows to habitable rooms of existing dwelling(s) on the same allotment, and on adjacent allotments, receive at least 3 hours of direct sunlight over a portion of their surface between 9.00 am and 5.00 pm on the 21 June".

- General Section, Residential Development PDC 12,

"Development should ensure that ground-level open space of existing buildings receives direct sunlight for a minimum of two hours between 9.00 am and 3.00 pm on 21 June to at least the smaller of the following:

(a) half of the existing ground-level open space

(b) 35 square metres of the existing ground-level open space (with at least one of the area's dimensions measuring 2.5 metres)".

- General Section, Residential Development PDC 13,

"Development should not increase the overshadowed area by more than 20 per cent in cases where overshadowing already exceeds these requirements".

Due to the east-west orientation of the subject land, the proposed development will overshadow the allotment to the south known as 15 Maynard Road. A drawing analysis and site inspection of the subject land was conducted to help assess the extent of overshadowing. The development will cast a shadow over this adjoining allotment, however, the extent of the shadowing is not considered to be unreasonable given that the development will still satisfy the abovementioned PDC's. With regard to the overshadowing of the private open space of 15 Maynard Road, the proposed development will not cast a shadow over this area until 2 pm onwards. With regard to the shadowing of north facing windows to habitable rooms, the dwelling on 15 Maynard Road has three north facing windows, two of which appeared to be adjacent to wet areas and another larger widow which was covered with an external shade. As the wet areas are not habitable rooms the restriction of sunlight by the proposed development is not considered to be detrimental to the amenity of these rooms. The shadow analysis revealed that sunlight to the larger window will be available at 9am, 4pm and 5pm, which is considered to be reasonable in accordance with General Section, Residential Development PDC 11.

Setbacks

Dwelling 3 has a lower level wall extending approximately 9 metres and an upper level wall extending 15 metres along the northern site boundary, this wall does not abut a simultaneously built wall. These walls are adjacent to the windows of a bedroom and two wet areas and the stairway of Dwelling 2. Visual amenity from windows of the main living areas of Dwelling 2 will not be blocked by the walls of Dwelling 3 that are built on the boundary. Furthermore, given that the walls will be built to the south of Dwelling 2 it will not cause any unreasonable overshadowing of Dwelling 2. It should also be noted that typically mid-row dwellings have simultaneous walls built either side and therefore no windows to the side elevations of these dwellings would generally exist. However, in this instance proposed Dwelling 2 will get the benefit of windows to rooms which will enable some sunlight to be accessible. In addition, given that the site measurements constrain the dwelling footprint the location Dwelling 3 with a wall on the boundary is considered to be acceptable.

Domestic Storage

The Development Plan includes the following PDC with regard to domestic storage:

- General Section, Residential Development PDC 31,

"A dwelling should incorporate a minimum storage area of 8 cubic metres for goods and chattels, other than food and clothing, within at least one of the following:

- (a) a non habitable room of the dwelling*
- (b) a garage, carport or outbuilding*
- (c) an on-site communal facility".*

On the site of each dwelling there is a designated service area for the storage of waste receptacles and a clothes line. Each dwelling also has a rainwater tanks which are located outside of this designated service area. Given that there is more than the required amount of private open space provided for each dwelling, the location of storage shed will not result in a deficiency of private open space and Residential Development PDC 19 will still be adhered to.

SUMMARY

With the exception of minor side setback deficiencies the proposed development satisfies the relevant Principles of Development Control and more importantly contributes to the Desired Character of Residential Policy Area 18. The proposed dwellings will result in medium density development in the form of dwellings that are specifically envisaged within the policy area.

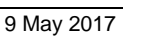
Having considered all the relevant Objectives and Principles of the Development Plan, the proposal is considered to be not seriously at variance with the Development Plan.

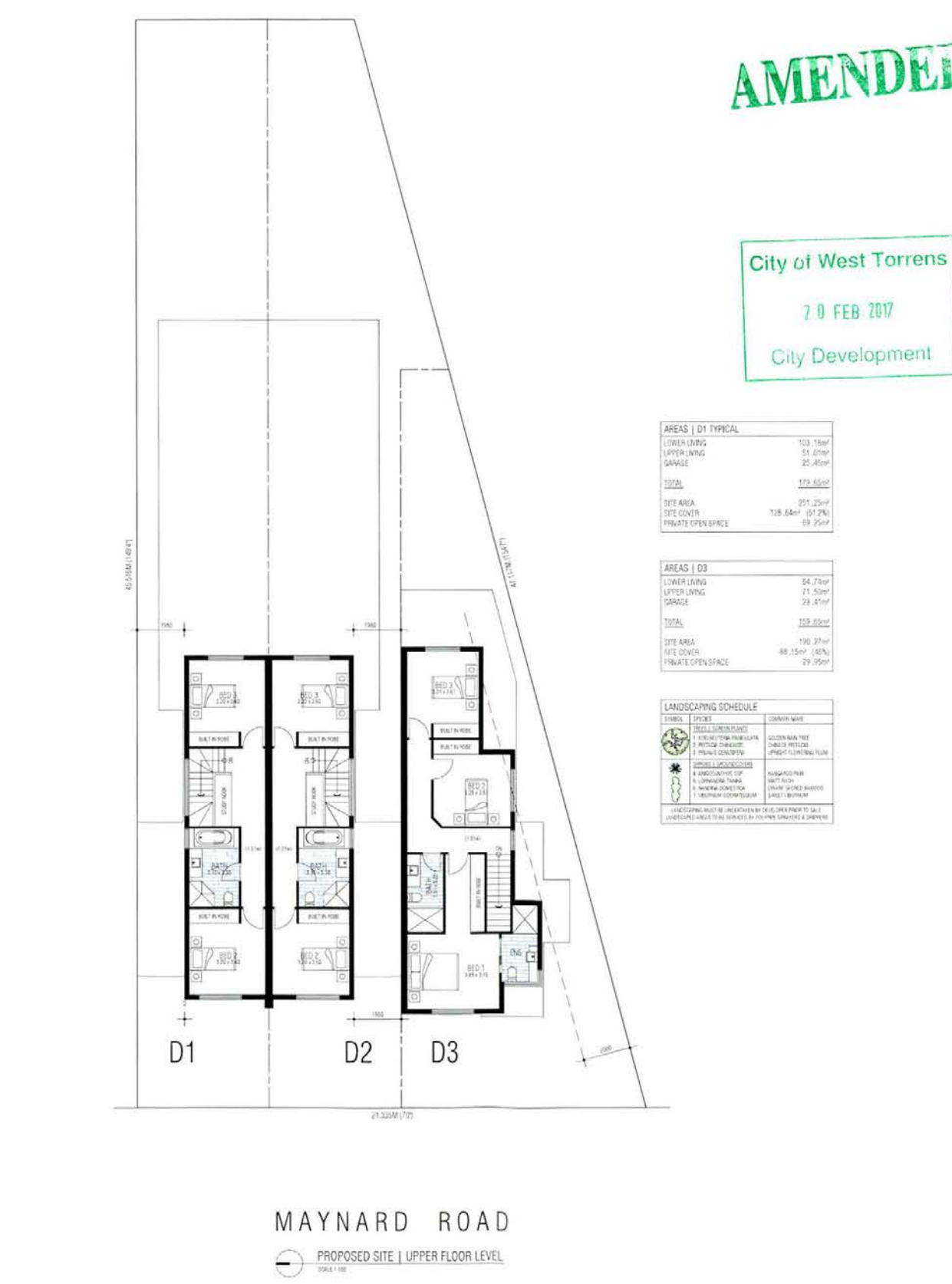
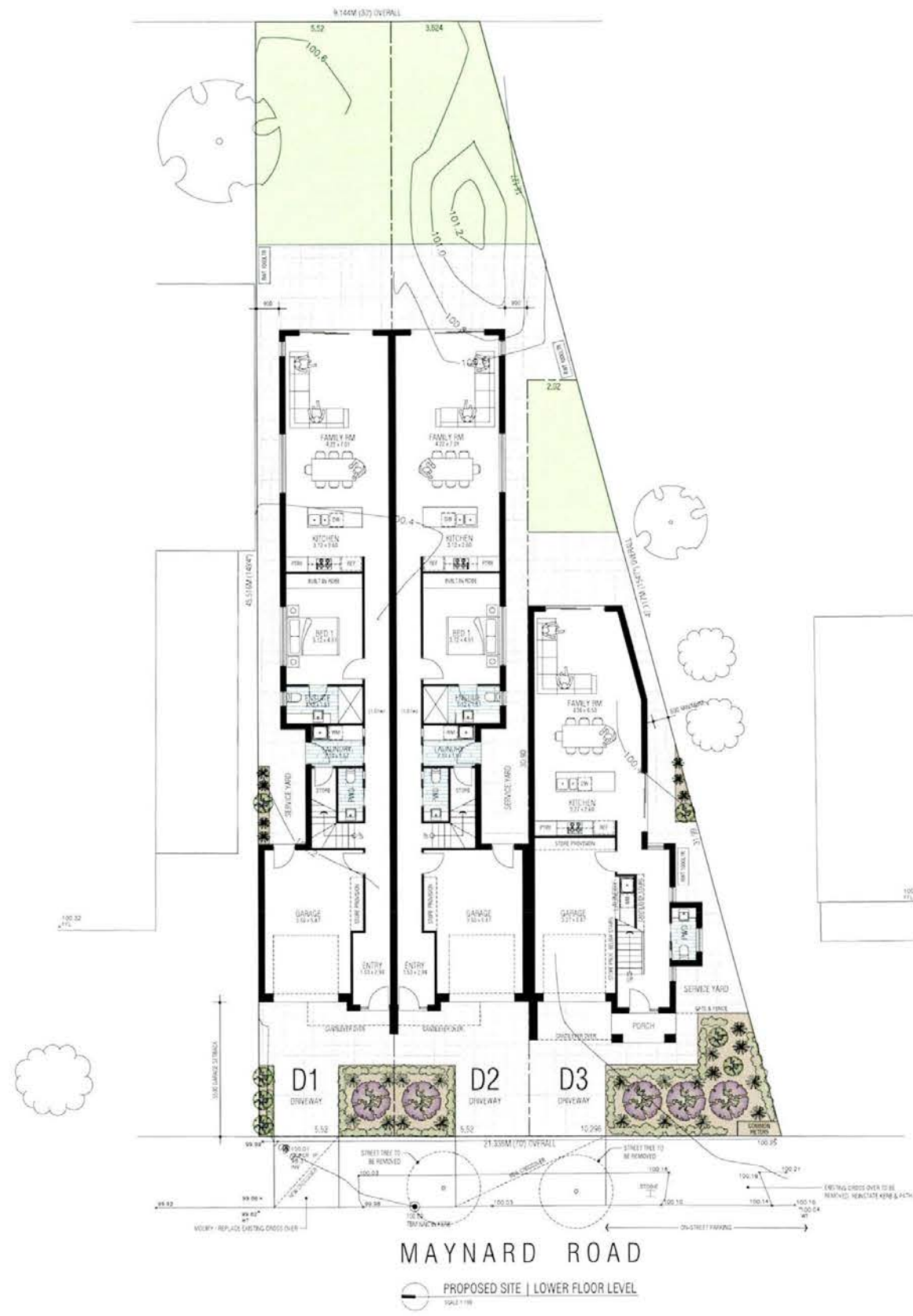
On balance the proposed development sufficiently accords with the relevant provisions contained within the West Torrens Council Development Plan Consolidated 5 May 2016 and warrants Development Plan Consent.

Attachments

1. Land division and Built form Plans
2. DAC & SA Water Conditions

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AMENDED

City of West Torrens
7 0 FEB 2017
City Development

AREAS | D1 TYPICAL

LOWER LIVING	103.18sqm
UPPER LIVING	51.07sqm
GARAGE	25.40sqm
TOTAL	179.65sqm
SITE AREA	251.25sqm
SITE COVER	129.84sqm (51.2%)
PRIVATE OPEN SPACE	89.85sqm

AREAS | D3

LOWER LIVING	64.78sqm
UPPER LIVING	21.50sqm
GARAGE	29.47sqm
TOTAL	115.75sqm
SITE AREA	190.27sqm
SITE COVER	88.15sqm (46%)
PRIVATE OPEN SPACE	29.05sqm

LANDSCAPING SCHEDULE

SYMBOL	SPECIES	COMMON NAME
	1. SYCAMORE (PLATANUS HYBRIDA)	ACACIA BLACK TREE
	2. KALPA (LEUCOPHYLLA FRANKII)	CHERRY BLOSSOM
	3. PINK PEA (LATHRUM PINK)	UPRIGHT FLOWERING PLUM
	4. SYCAMORE (PLATANUS HYBRIDA)	ACACIA BLACK TREE
	5. SYCAMORE (PLATANUS HYBRIDA)	ACACIA BLACK TREE
	6. SYCAMORE (PLATANUS HYBRIDA)	ACACIA BLACK TREE
	7. SYCAMORE (PLATANUS HYBRIDA)	ACACIA BLACK TREE
	8. SYCAMORE (PLATANUS HYBRIDA)	ACACIA BLACK TREE
	9. SYCAMORE (PLATANUS HYBRIDA)	ACACIA BLACK TREE
	10. SYCAMORE (PLATANUS HYBRIDA)	ACACIA BLACK TREE

LANDSCAPING MUST BE UNDERTAKEN BY OWNER PRIOR TO SALE
LANDSCAPING AREA TO BE FINISHED BY 10/01/2018

Architectural elevation drawing of the Maynard Road elevation from the west. The drawing shows three dwellings (Dwelling 1, Dwelling 2, and Dwelling 3) with various heights and setbacks. Dimensions are provided for setbacks (20.00', 10.00', 10.00', 10.00') and heights (20.00', 10.00', 10.00', 10.00'). The drawing includes a sky background and a ground line with trees and landscaping.

MAYNARD ROAD ELEVATION | WEST



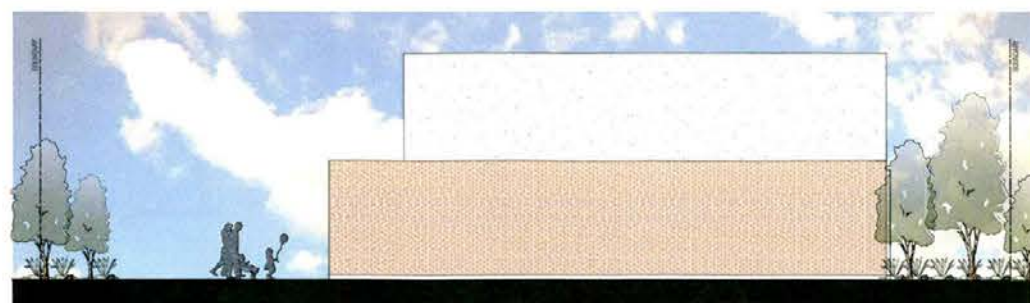
REAR ELEVATION | EAST



SIDE ELEVATION | NORTH | D1



SIDE ELEVATION | SOUTH | D2



SIDE ELEVATION | NORTH | D3 | INTERNAL BOUNDARY



SIDE ELEVATION | SOUTH | D3

SCHEDULE OF COLOURS & MATERIALS

FLOORS:
CONCRETE RAFT FOOTING SYSTEM ON GRAOUND
TIMBER FRAME UPPER LEVEL, FLOOR GRAD

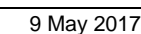
WALLS:
LOWER LEVEL : BRICK/RENDER WALL CONSTRUCTION
AUSTRIAL CHAPEL RED FACE BRICKWORK RW
UPPER LEVEL : HESSEL POWER PANEL & RENDER PANEL VENEER - DULUX ACHATEX RENDER
FINISH
RENDER COLOUR RW RW : COLORED SANDPAPER
RENDER COLOUR RW RW : COLORED ANTIKORAY
JAMES HARVEY 130mm 130mm 40MM FEATURE WALL CLADDING RW RW : COLORED BASAL

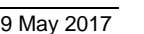
ROOF:
TIMBER TRUSS ROOF FRAME AT 3° PITCH (MIN) BEHIND PARAPET, ROOF CLAD WITH
COLORED CORRUGATED ROOF SHEETING : COLORED SURMIST

WINDOWS & DOORS:
POWERCOATED ALUMINUM FRAMED SLIDING WINDOWS, SLIDING & HINGED DOORS :
COLORED MOVILMENT
GSP GEMSETS DISCREET GLASS WINDOW TO 1700mm ABOVE UPPER DOOR LEVEL :
FIXED GLASS OR RESTRICTED AIRMING OPENING TO 120mm

FENCING:
1800mm HIGH COLORED 5000 NEIGHBOURHOOD FENCES TO ALL SIDE & REAR
BOUNDARY LINES : COLORED MOVILMENT

PLEASE NOTE: ALL COLOURS & MATERIALS ARE TO BE CONSIDERED INDICATIVE ONLY &
SHALL BE CONFIRMED BY OWNER PRIOR TO CONSTRUCTION.





Contact Lands Titles Office
Telephone 7109 7016



28 March 2017

The Chief Executive Officer
City of West Torrens

Dear Sir/Madam

Re: Proposed Application No. 211/D039/17 (ID 57312)
for Land Division by Mr Warren Gore

In accordance with Section 33 of the Development Act 1993 and Regulation 29 (1) of the Development Regulations 2008, and further to my advice dated 10 March 2017, I advise that the Development Assessment Commission has consulted with SA Water Corporation (only) regarding this land division application. A copy of their response has been uploaded in EDALA for your consideration. The Commission has no further comment to make on this application, however there may be local planning issues which Council should consider prior to making its decision.

I further advise that the Development Assessment Commission has the following requirements under Section 33(1)(c) of the Development Act 1993 which must be included as conditions of land division approval on Council's Decision Notification (should such approval be granted).

1. The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.
The alteration of internal drains to the satisfaction of SA Water is required.
Subject to our new process, on receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non standard fees.
On approval of the application, all internal water piping that crosses the allotment boundaries must be severed or redirected at the developers/owners cost to ensure that the pipework relating to each allotment is contained within its boundaries.
2. Payment of \$13352 into the Planning and Development Fund (2 allotment(s) @ \$6676/allotment).
Payment may be made by credit card via the internet at www.edala.sa.gov.au or by phone (7109 7018), by cheque payable to the Development Assessment Commission marked "Not Negotiable" and sent to GPO Box 1815, Adelaide 5001 or in person, at Ground Floor, 101 Grenfell Street, Adelaide.
3. A final plan complying with the requirements for plans as set out in the Manual of Survey Practice Volume 1 (Plan Presentation and Guidelines) issued by the Registrar General to be lodged with the Development Assessment Commission for Land Division Certificate purposes.

The SA Water Corporation will, in due course, correspond directly with the applicant/agent regarding this land division proposal.

PLEASE UPLOAD THE DECISION NOTIFICATION FORM (VIA EDALA) FOLLOWING COUNCIL'S DECISION.

A handwritten signature in black ink, appearing to read "P. Hodgson", with a long, sweeping horizontal line extending to the right.

Phil Hodgson
Unit Manager
Lands Titles Office



28 March 2017

Our Ref: H0056743

The Chairman
Development Assessment Commission
136 North Terrace
ADELAIDE SA 5000

Dear Sir/Madam

SA Water
Level 6, 250 Victoria Square
ADELAIDE SA 5000
Ph (08) 7424 1119
Inquiries Michael Zoanetti
Telephone 7424 1280

PROPOSED LAND DIVISION APPLICATION NO: 211/D039/17 AT PLYMPTON

In response to the abovementioned proposal, I advise that pursuant to Section 33 of the Development Act it is necessary for the developer to satisfy this Corporation's requirements, which are listed below.

The financial requirements of SA Water shall be met for the provision of water supply and sewerage services.

The alteration of internal drains to the satisfaction of SA Water is required.

Subject to our new process, on receipt of the developer details and site specifications an investigation will be carried out to determine if the connections to your development will be standard or non standard fees.

On approval of the application, all internal water piping that crosses the allotment boundaries must be severed or redirected at the developers/owners cost to ensure that the pipework relating to each allotment is contained within its boundaries.

Yours faithfully

Michael Zoanetti

for MANAGER LAND DEVELOPMENT & CONNECTIONS

6.10 57 McArthur Avenue, PLYMPTON

Application No 211/1420/2016

DEVELOPMENT APPLICATION DETAILS

DEVELOPMENT PROPOSAL	Combined Application: Land division - Torrens Title; DAC No. 211/D193/16 (Unique ID 56254); Create three additional allotments, and the construction of four two-storey row dwellings
APPLICANT	Dedicated Developments Pty Ltd
LODGEMENT DATE	7 November 2017
ZONE	Residential Zone
POLICY AREA	Medium Density Policy Area 18
APPLICATION TYPE	Merit
PUBLIC NOTIFICATION	Category 1
REFERRALS	Internal <ul style="list-style-type: none"> City Assets & Amenity Officer External <ul style="list-style-type: none"> SA Water & DAC
DEVELOPMENT PLAN VERSION	5 May 2016
MEETING DATE	9 May 2017

RECOMMENDATION

The Development Assessment Panel, having considered all aspects of the report, the application for consent to carry out development of land and pursuant to the provisions of the *Development Act 1993* resolves to REFUSE Development Approval for Application No. 211/1420/2016 by Dedicated Developments Pty Ltd to Create three additional allotments, and the construction of four two-storey row dwellings at 57 McArthur Avenue, Plympton (CT 5101/647) for the following reasons:

- The proposed development is contrary to
 - Residential Development Module; Principle of Development Control 18
Reason: Lack of quality private open space for Dwelling 4
 - Transportation and Access Module; Principle of Development Control 45
Reason: Lack of safe & convenient egress to the garage of Dwelling 4
 - Policy Area 18 Principles of Development Control 5
Reason: Failure to meet minimum setbacks for Dwelling 4
 - Policy Area 18 Principles of Development Control 6
Reason: Failure to meet minimum frontage width for Dwelling 4

BACKGROUND

The development proposal is presented to the Development Assessment Panel (DAP) for the following reason:

- All applications where the assessing officer recommends refusal, shall be assessed and determined by the DAP.
- With regard to residential development and land division applications, where all proposed allotments and or sites fail to meet, nor are within 5% of, the minimum frontage widths and site areas designated in respective zones and policy areas within the West Torrens Council Development Plan.

PREVIOUS OR RELATED APPLICATIONS

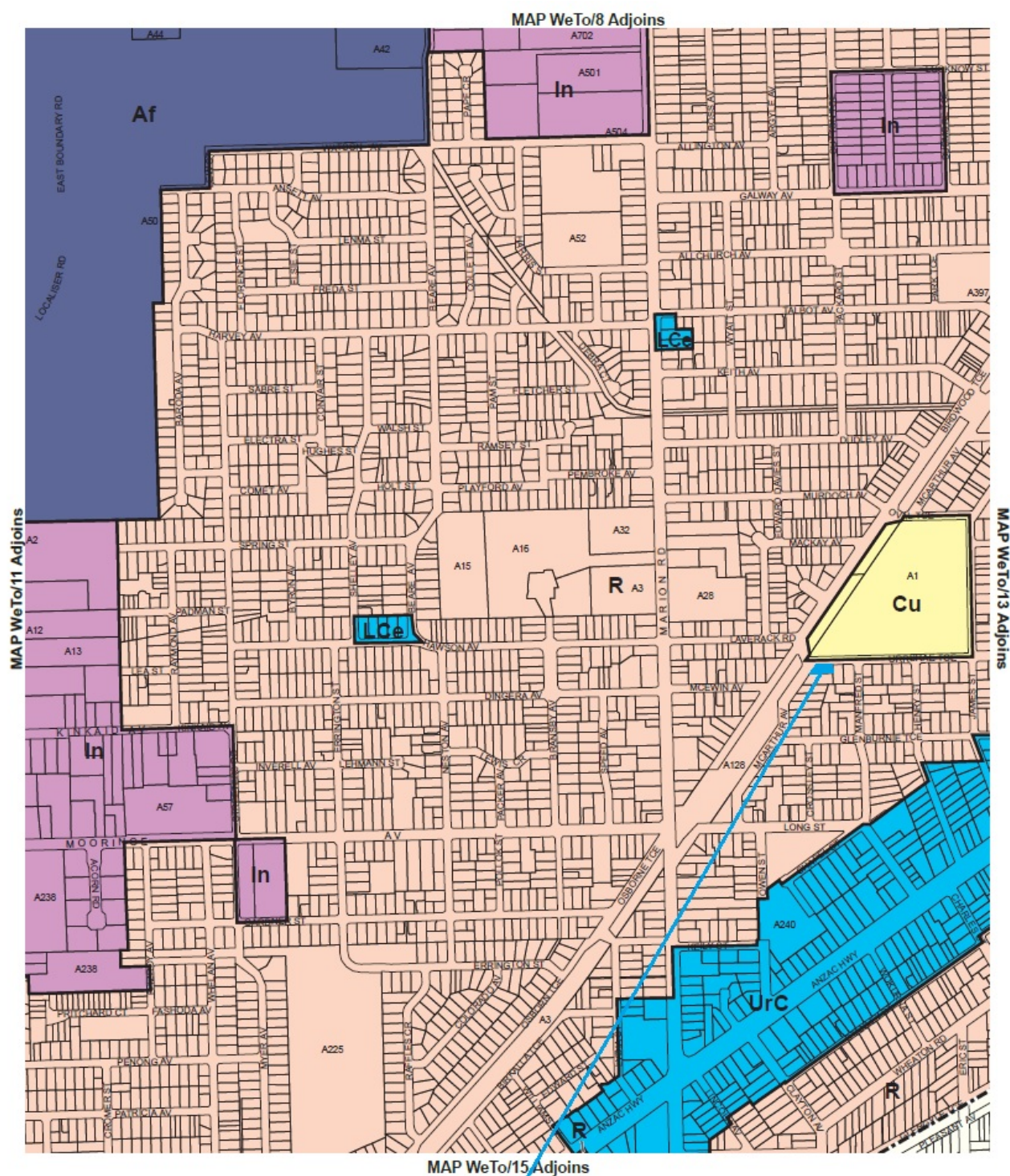
211/1522/2016 - demolition of existing dwelling & all associated structures - Approved

SITE AND LOCALITY

The subject site is an irregular shaped allotment of approximately 603m² in area. It is located within the Residential Zone and more particularly Medium Density Policy Area 18.

The locality consists mostly of residential development, however Weigall Oval is located directly adjacent to the north of the site and the Westside Bikeway Reserve is located directly adjacent to the west of the site.

Although there are many established dwellings in the locality, there is evidence of infill development and higher density redevelopment occurring. The McArthur Avenue streetscape primarily consists of detached dwellings with semi-mature landscaping and staggered setbacks from the street. The Urrbrae Terrace streetscape consists of detached dwellings with mature landscaping and consistent street setbacks.



Lamberts Conformal Conic Projection, GDA84

Subject Site:
57 McArthur Avenue,
PLYMPTON



Zones	
Af	Airfield
Cu	Community
In	Industry
LCe	Local Centre
R	Residential
Urc	Urban Corridor
	Zone Boundary
	Development Plan Boundary

Zone Map WeTo/12

WEST TORRENS COUNCIL



PROPOSAL

The proposal is for the creation of three additional allotments, and the construction of four two-storey row dwellings. The row dwellings are each three bedrooms and contain garaging under the main roof. Details of the proposal can be found in **Attachment 1 & 2**.

PUBLIC NOTIFICATION

The application is a Category 1 form of development pursuant to Section 38 and Schedule 9 of the Development Act and Regulations and Residential Zone, Procedural Matters.

REFERRALS

Internal

- City Assets

Initial concerns were raised regarding the following matters;

- Internal width of garage for Dwelling 1, too narrow
- Internal garage depths for are dwellings, too shallow
- Crossover and garage access issues for garage of Dwelling 4
- Insufficient detail to assess minimum required finished floor levels

The following concerns remain outstanding;

- Driveway widths for dwellings 1 & 2 need to be narrowed to 4.0m (from 4.5m) to enable an on street parking space between the dwellings
- For the crossover to Dwelling 4 alteration will be required to the proposed single enclosed garage to allow for the minimum 5.50m setback to the front property. This is to prevent overhanging of vehicles onto the footpath area.
- Amenity Officer (City Works)

As a result of the proposed crossovers on McArthur Avenue, City Works has considered the health, structure, form, useful life expectancy, and age of the street trees and will support their removal subject to the following fees:

- Residence 2 tree removal =\$654.00
- Residence 3 tree removal =\$872.00
- Residence 4 tree removal =\$872.00

A total fee of \$2398.00 will be required prior to the commencement of any work.

External

Pursuant to Section 37 and Schedule 8 of the Development Act and Regulations, the application was referred to

- Development Assessment Commission & SA Water

No issues were raised subject to the inclusion of standard conditions should the relevant authority proceed to issue Land Division Consent.

ASSESSMENT

The subject land is located within the Residential Zone as described in the West Torrens Council Development Plan. The main provisions of the Development Plan which relate to the proposed development are as follows:

<u>General Section</u>		
Crime Prevention	Objectives	1
	Principles of Development Control	1, 2, 3, 5, 6, 7, 8
Design and Appearance	Objectives	1, 2
	Principles of Development Control	1, 2, 3, 4, 5, 9, 10, 12, 13, 14, 15, 20, 21, 22, 23, 26
Energy Efficiency	Objectives	1
	Principles of Development Control	1, 2, 3
Interface between Land Uses	Objectives	1 & 2
	Principles of Development Control	1, 2
Landscaping, Fences and Walls	Objectives	1, 2
	Principles of Development Control	1, 2, 3, 4, 6
Natural Resources	Objectives	1, 5, 6, 7,
	Principles of Development Control	1, 2, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14
Orderly and Sustainable Development	Objectives	1, 2, 3, 4 & 5
	Principles of Development Control	1, 2, 3, 5
Residential Development	Objectives	1, 2, 3, 4 & 5
	Principles of Development Control	1, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 27, 28, 29, 30, 31
Transportation and Access	Objectives	2
	Principles of Development Control	2, 4, 5, 8, 9, 10, 11, 14, 16, 17, 23, 24, 26, 30, 31, 32, 34, 35, 36, 37, 39, 40, 41, 42, 43, 44, 45, 46, 47

Zone: Residential	
Desired Character Statement:	
<p><i>This zone will contain predominantly residential development. There may also be some small-scale non-residential activities such as offices, shops, consulting rooms and educational establishments in certain locations. Non-residential activities will be complementary to surrounding dwellings.</i></p> <p><i>Allotments will be at very low, low and medium densities to provide a diversity of housing options in different parts of the zone. The range of allotment sizes will support the desired dwelling types anticipated in each policy area, and the minimum allotment sizes shall be treated as such in order to achieve the Desired Character for each policy area and, in turn, reinforce distinction between policy areas. Row dwellings and residential flat buildings will be common near centres and in policy areas where the desired density is higher, in contrast to the predominance of detached dwellings in policy areas where the distinct established character is identified for protection and enhancement. There will also be potential for semi-detached dwellings and group dwellings in other policy areas.</i></p> <p><i>Residential development in the form of a multiple dwelling, residential flat building or group dwelling will not be undertaken in a Historic Conservation Area.</i></p> <p><i>Landscaping will be provided throughout the zone to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.</i></p>	
Objectives	1, 2, 3 & 4
Principles of Development Control	1, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 & 14

Policy Area: Medium Density Policy Area 18	
Desired Character Statement:	
<p>Allotments in this policy area will be at medium density, accommodating a range of dwelling types including residential flat buildings, row dwellings, group dwellings, semi-detached dwellings and some detached dwellings on small allotments. Allotment amalgamation to create larger development sites will occur to maximise the density of development while also achieving integrated design outcomes, particularly within a comfortable walking distance of centre zones. Vehicle access will occur from side streets and new rear public and private laneways wherever possible, also supporting the retention of existing street trees.</p> <p>New buildings will contribute to a highly varied streetscape. Buildings will be up to 3 storeys and provide a strong presence to streets, other than in the part of the policy area in Underdale, Ashford (other than allotments adjacent to Residential Character Ashford Policy Area 22) and allotments bounded by Anzac Highway, Morphett Road and Cromer Street in Camden Park where buildings will be up to 4 storeys. Parking areas and garages will be located behind the front facade of buildings.</p> <p>Buildings on the edge of the policy area which adjoin residential policy areas at lower densities will pay particular attention to managing the interface with adjoining dwellings, especially in terms of the appearance of building height and bulk, and overshadowing.</p> <p>Development will be interspersed with landscaping, particularly behind the main road frontage, to enhance the appearance of buildings from the street as viewed by pedestrians, provide an appropriate transition between the public and private realm and reduce heat loads in summer.</p>	
Objectives	1
Principles of Development Control	1, 1, 4, 5, 6,

QUANTITATIVE ASSESSMENT

The proposal is assessed for consistency with the prescriptive requirements of the Development Plan as outlined in the table below:

DEVELOPMENT PLAN PROVISIONS	STANDARD	ASSESSMENT
SITE AREA Policy Area PDC 6	150m ² (Row Dwellings)	Dwelling 1-3 = 151.9m ² Dwelling 4 = 155.3m ² Satisfies
SITE FRONTAGE Policy Area PDC 6	5m	Dwelling 1-3 = 9.5m Satisfies Dwelling 4 = 3.94m Not Satisfied by 21%
SITE COVERAGE Policy Area PDC 5	70%	Dwelling 1 = 62.6% Dwelling 2-3 = 63.4% Dwelling 4 = 65.7% Satisfies

PRIMARY STREET SETBACK Policy Area PDC 5	3m	Dwelling 1-3 = 3.0m Satisfies Dwelling 4 = 1.7m Not Satisfied by 43%
SECONDARY STREET SETBACK Policy Area PDC 5	1m	0.7m (at closest point) Not Satisfied by 30%
REAR SETBACKS Policy Area PDC 5	4m	Dwelling 1-3 = 4.0m Satisfies Dwelling 4 = 1.9m Not Satisfied by 52.5%
MAXIMUM BUILDING HEIGHT Policy Area PDC 5	Three storeys or 12.5m	Two storey or 8.5m Satisfies
PRIVATE OPEN SPACE Council Wide PDC 19	Min Area = 24m ² Min dimension = 3m	Dwelling 1-3 = 38m ² with a minimum dimension of 4m Dwelling 4 = 24m ² with a minimum dimension of 3m Satisfies
MINIMUM FLOOR AREA/DWELLING Council Wide PDC 9	Three bedroom dwelling = min 100m ²	Dwelling 1 = 113m ² Dwelling 2 & 3 = 119.5m ² Dwelling 4 = 125.7m ² Satisfies
STORAGE OF GOODS & CHATTELS Council Wide PDC 31	8m ³	Dwelling 1-3 = >8m ³ Dwelling 4 = 8m ³ Satisfies

LANDSCAPING Council Wide PDC 4	10%	13% Satisfies
CARPARKING SPACES	8 car-parking spaces required	8 provided Satisfies

QUALITATIVE ASSESSMENT

In assessing the merits or otherwise of the application, the proposed development substantially satisfies the relevant Development Plan provisions with the exception of the following, as discussed under the following sub headings:

Land Use, Zoning and Surrounding Uses

The site is within the Residential Zone, more specifically Medium Density Policy Area 18. On the northern side of Urrbrae Terrace is the Community Zone containing Weigall Oval and its associated facilities. Immediately to the west of McArthur Avenue is Medium Density Policy Area 19 which seeks a lower dwelling density.

The existing use of the site is residential, the proposed use is also residential and despite the increased density there is unlikely to be any land use conflicts as a result of this proposal.

Siting, Setbacks and Visual Impact on Neighbouring Developments & Streetscape

Dwellings 1 -3 are all situated on the site in accordance with the quantitative requirements of the Development Plan. Dwelling 4 which is situated closest to the intersection of McArthur Ave and Urrbrae Tce does not meet the Development Plan's requirements for primary street setback, secondary street setback or rear setback. It is acknowledged that most of the dwelling meets the secondary street setback requirement and it is the verandah that doesn't meet the primary street setback requirement but given that this dwelling will be the most visually prominent dwelling of the site the failure to meet these setbacks is a significant concern.

Overlooking and Overshadowing

Whilst the rear setback minimum has not been met for Dwelling 4, shadow diagrams have been supplied to demonstrate that there is not an unreasonable level of overshadowing proposed and that on the 21 June the solar panels on the adjoining dwelling to the south will maintain at least 2 hours of continuous solar access.

Overlooking has been mitigated through the use of fixed and obscured glazing to a height of 1.7m above the upper floor level.

Frontage Width

The minimum frontage width sought for row dwellings in this Policy Area is 5.0m, at 3.94m Dwelling 4 is significantly less than this amount. Given the unusual shape of this site, this shortfall on its own would not be considered significant enough to warrant a recommendation of refusal for the proposal.

Carparking Provisions

The Development Plan seeks two carparking spaces per dwelling, one being undercover. Dwellings 1-3 provide two undercover spaces and one visitor space each. Council's City Assets Department has expressed concerns about the ability to park a vehicle on the street between the driveways, on street carparking can be achieved with only minor amendments to the proposed driveways of Dwelling 1-3 and those amendments will not impact upon the proposed onsite parking provisions.

Dwelling 4 proposes one undercover parking space and one visitor space, this visitor space is off-set from the undercover area. Council's City Assets Department has expressed concerns about the vehicle access to the undercover parking area, given that this area is a garage there will be a requirement for any vehicle entering or exiting the garage to stop on the road reserve whilst waiting for the garage door to open or shut. Normally this issue could be resolved by the removal of the garage door but that would be problematic with this design due to the garage also being used for storage and given that it also accesses directly into the dwelling causing potential security concerns. Vehicle access and egress from this dwelling is a significant concern.

Waste & Storage

For Dwellings 1-3 storage is proposed to be incorporated within the garage. Given that the garages are double spaces, this is acceptable. The waste bins are proposed to be stored in the rear private open space area, whilst not a visually attractive component of open space, there is enough open space in these dwellings to accommodate the bins and should the resident decide to keep them in the garage this would also be an acceptable outcome.

For Dwellings 4 storage is proposed to be incorporated within the garage, under the stair and within the linen cupboard, all these areas added together just achieves 8m³. The waste bins are proposed to be stored in the side service yard, whilst this will not be a particularly attractive outlook from the master bedroom it is an acceptable location and does not impinge on the private open space.

Landscape Assessment and Private Open Space

The Development Plan seeks that a minimum of 10% of a development site should incorporate soft landscaping. Whilst 13% of the overall site is proposed to be landscaped, it is noted that only 7% of the site associated with Dwelling 4 features soft landscaping.

Dwellings 1 -3 all feature private open space that is in accordance with the quantitative and qualitative (with the exception of northerly aspect) requirements of the Development Plan. Dwelling 4 features private open space that meets the quantitative requirements of the Development Plan but is significantly lacking in qualitative qualities in that it is not directly accessed from an internal living area, it does not have a northerly aspect and it is almost entirely (80%) undercover, hence not very "open". The provision of private open space for Dwelling 4 is a significant concern.

SUMMARY

Dwellings 1-3 substantially meet the requirements of the Development Plan, Dwelling 4 raises the following concerns:

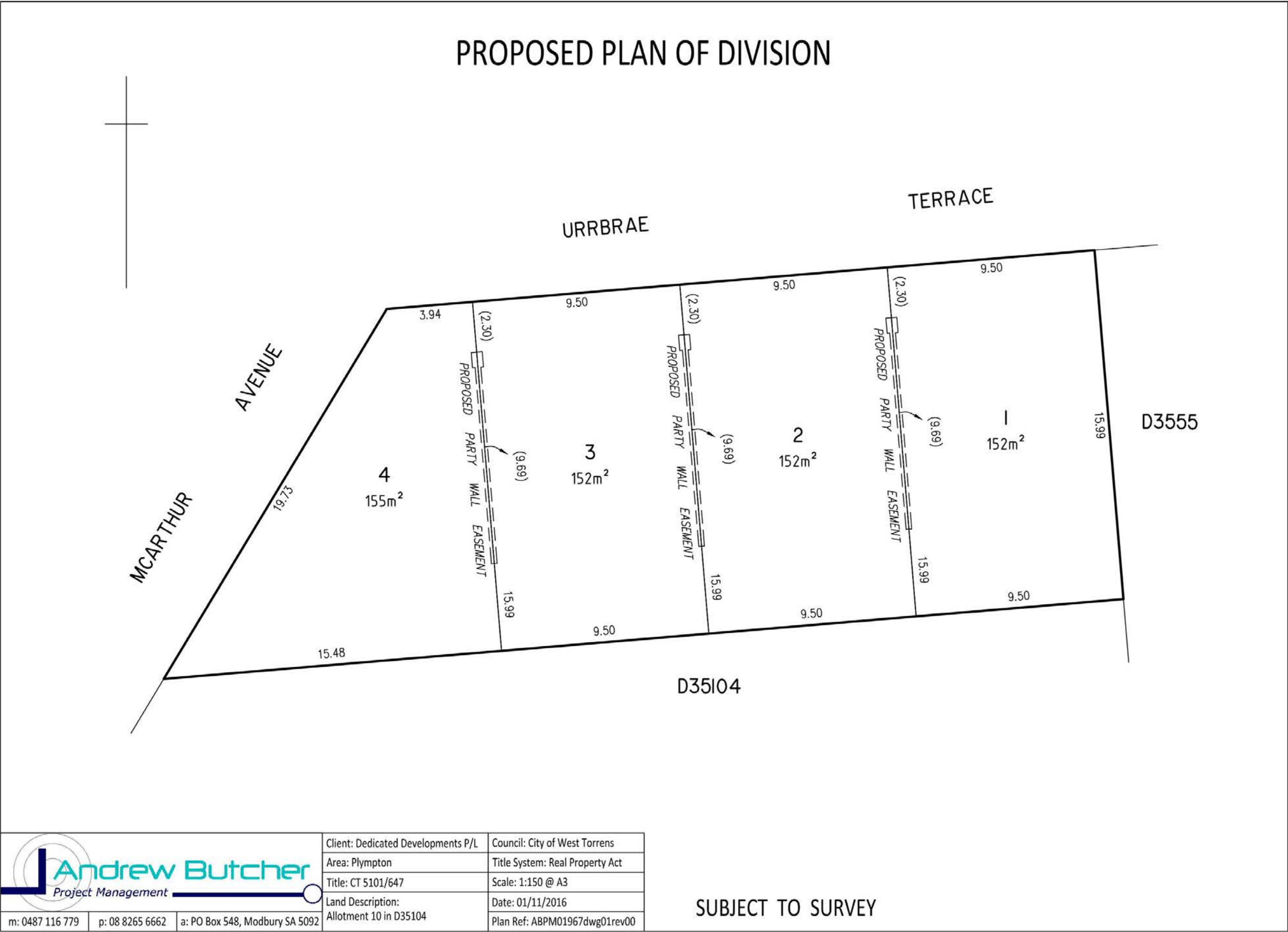
- Primary street setback
- Secondary street setback
- Rear setback
- Frontage width
- Vehicle egress for garage
- Quality of private open space

Whilst on their own it is unlikely that any of these concerns would have resulted in a recommendation for refusal, the combination of all of these concerns together suggests that the design of Dwelling 4 does not sufficiently meet the intentions of the Development Plan.

Having considered all the relevant Objectives and Principles of the Development Plan, the proposal is considered to be not seriously at variance with the Development Plan but on balance the proposed development does not sufficiently accord with the relevant provisions contained within the West Torrens (City) Development Plan Consolidated 5 May 2016 and does not warrant Development Plan Consent.

Attachments

1. Land Division Plan
2. Built Form Plans





City of West Torrens
17 MAR 2017
City Development

Proposed Development

4 Double Storey Row Dwellings

At - 57 McArthur Avenue, PLYMPTON
cnr Urrbrae Terrace

For - Dedicated Development

Date - MARCH 2017

Issue - PLANNING DRAWINGS PD1 Rev.B

Sheet No. Title

- | | |
|----------------|----------------------------|
| Sheet 1- | Proposed Landscaping Plan |
| Sheet 2- | Proposed Site Plan |
| Sheet 3- | Proposed Lower Floor Plans |
| Sheet 4- | Proposed Lower Floor Plans |
| Sheet 5- | Elevations 1 |
| Sheet 6- | Elevations 2 |
| Sheet 7- | Section A-A |
| Sheet 8- | Typical Details |
| Sheet 9 to 12- | Shadow Diagrams |

REV. PLANNING DRAWING
ISSUED FOR DEVELOPMENT CONSENT ONLY
NOT FOR CONSTRUCTION

07-03-17	PD1B	Minor Revisions.
15-02-17	PD1A	Revise driveways and floorplans, add Shadow Diagrams
01-11-16	PD1	Issued for Development Consent
DATE	ISSUE	COMMENT

MCA Design (SA) Pty Ltd
PO BOX 879 BLACKWOOD, SA, 5051
ph: 0458 655 621
email: mcadesign@dodo.com.au
ACN 130 175 674



REV. PLANNING DRAWING
ISSUED FOR DEVELOPMENT CONSENT ONLY
NOT FOR CONSTRUCTION

SCALE 1 : 200



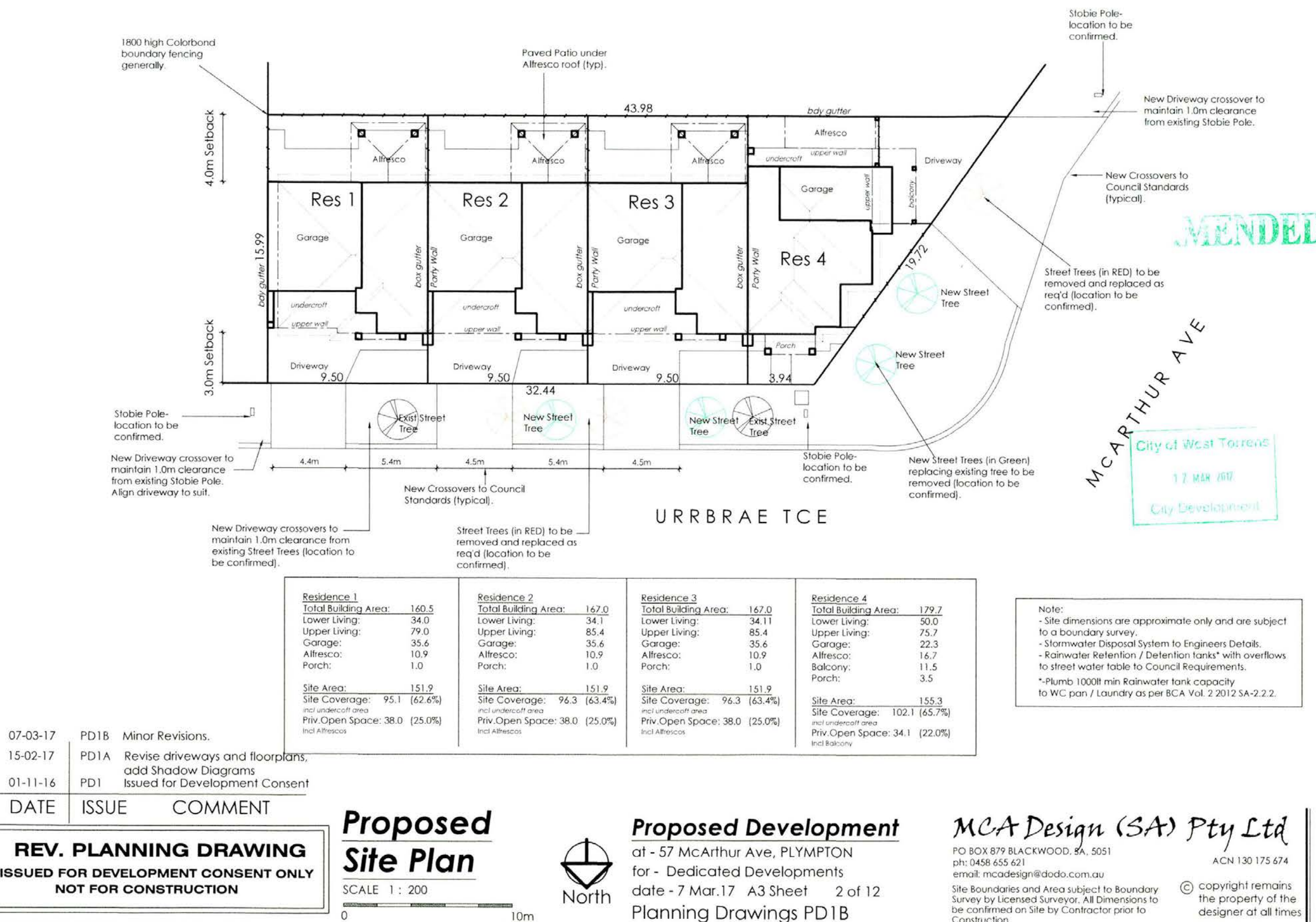
at - 57 McArthur Ave, PLYMPTON
for - Dedicated Developments
date - 7 Mar.17 A3 Sheet 1 of 12
Planning Drawings PD1B

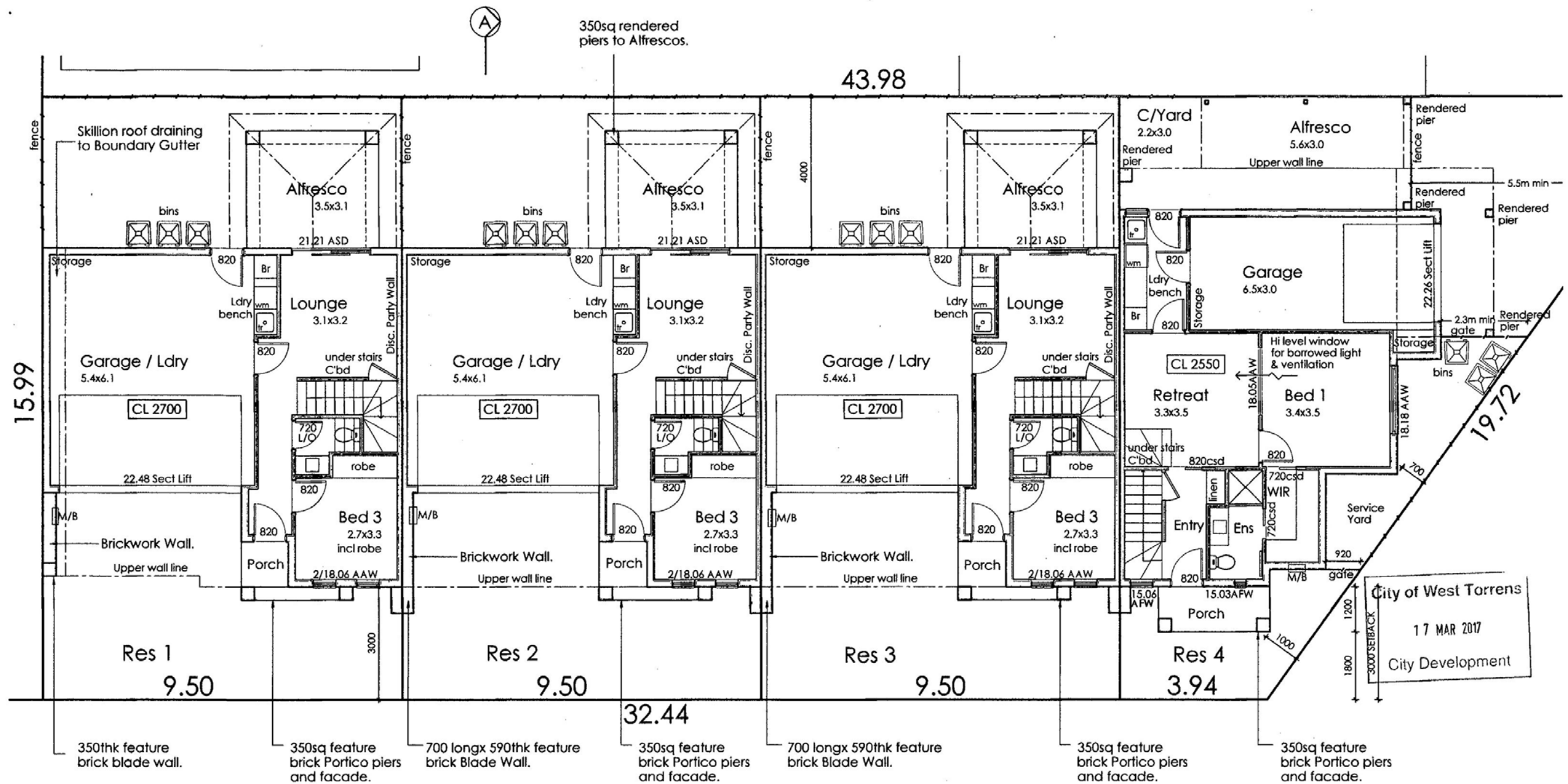
Legend/ Species	Planting Size
1 - Chinese Box	200mm
2 - Ornamental Pear	2.0m
3 - Cordyline	450mm
4 - Liriope	250mm
5 - Dianella	300mm

PO BOX 879 BLACKWOOD, SA, 5051
ph: 0458 655 621
email: mcadesign@dodo.com.au

Site Boundaries and Area subject to Boundary Survey by Licensed Surveyor. All Dimensions to be confirmed on Site by Contractor prior to Construction.

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07-03-17	PD1B	Minor Revisions.
15-02-17	PD1A	Revise driveways and floorplans, add Shadow Diagrams
01-11-16	PD1	Issued for Development Consent

DATE ISSUE COMMENT

REV. PLANNING DRAWING
ISSUED FOR DEVELOPMENT CONSENT ONLY
NOT FOR CONSTRUCTION

Lower Floor Plan

SCALE 1:100
0 1 2 3 4 5m



Proposed Development

at - 57 McArthur Ave, PLYMPTON
for - Dedicated Developments
date - 7 Mar.17 A3 Sheet 3 of 12
Planning Drawings PD1B

MCA Design (SA) Pty Ltd

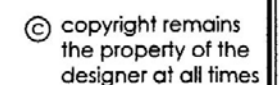
PO BOX 879 BLACKWOOD, SA, 5051
ph: 0458 655 621
email: mcadesign@dodo.com.au

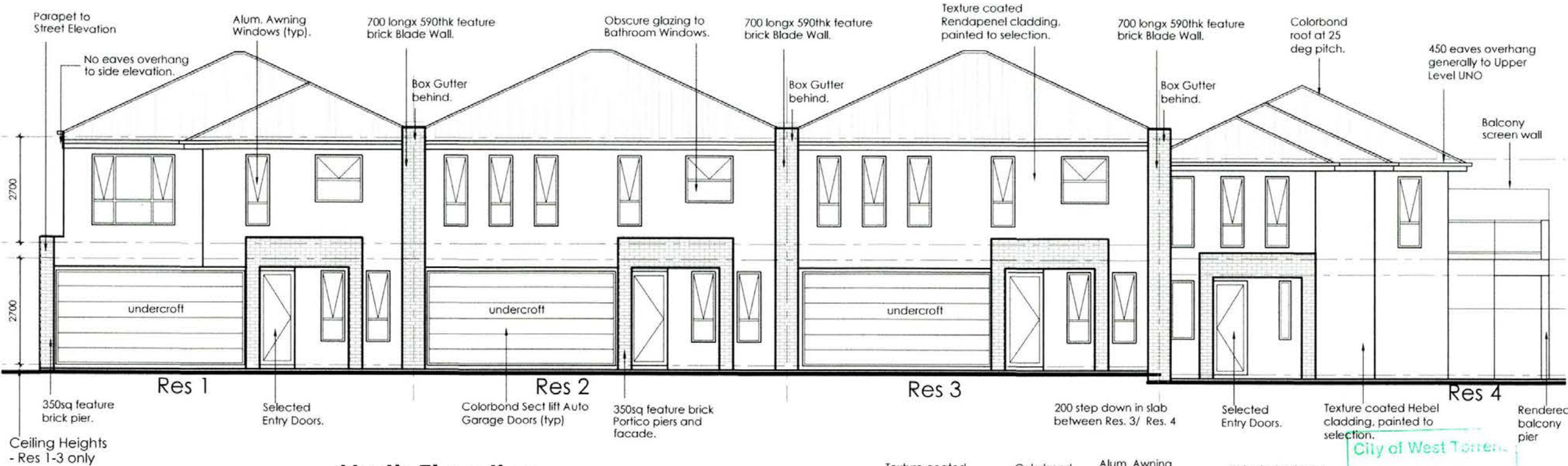
ACN 130 175 674

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AMENDED



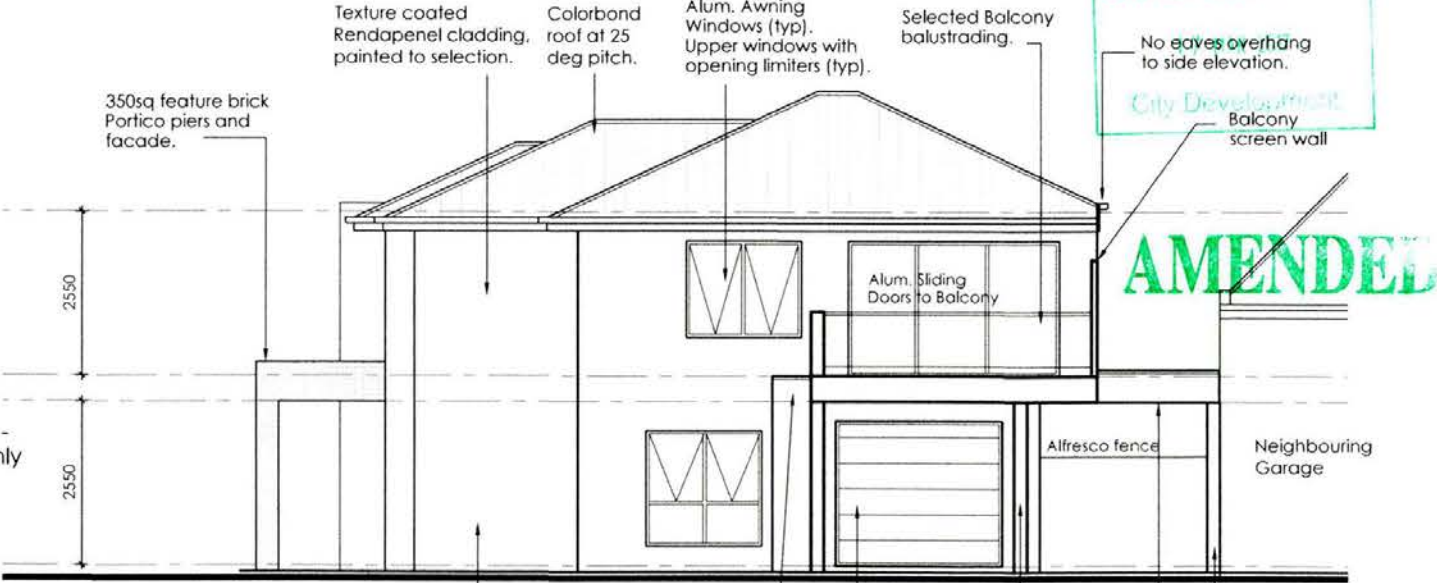


North Elevation
Primary Street View

General Notes Double Storey RES. 1 to 4

- 75mm Hebel PowerPanel cladding to Lower Level Walls.
- 75mm RendaPanel Polystyrene cladding to Upper Level walls.
- Texture coated cladding painted to selection.
- 450mm boxed eaves overhang with quad finish generally.
- Colorbond corrugated roof sheeting at 25 deg pitch
- Colorbond gutters and fascias
- Garage Doors: Auto Sectional-Lift Colorbond
- Alum. framed Windows & Sliding Doors UNO.
- Clear Anodised with timber reveals.
- Obscure glazing to wet area windows and where noted.

Note:
Windows and doors shown indicative only. Unless specifically noted, specifications/styles supplied may differ from those shown on plans.



West Elevation
Secondary Street View

07-03-17	PD1B	Minor Revisions.
15-02-17	PD1A	Revise driveways and floorplans, add Shadow Diagrams
01-11-16	PD1	Issued for Development Consent
DATE	ISSUE	COMMENT

REV. PLANNING DRAWING
ISSUED FOR DEVELOPMENT CONSENT ONLY
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Elevations 1

SCALE 1 : 100

012345m

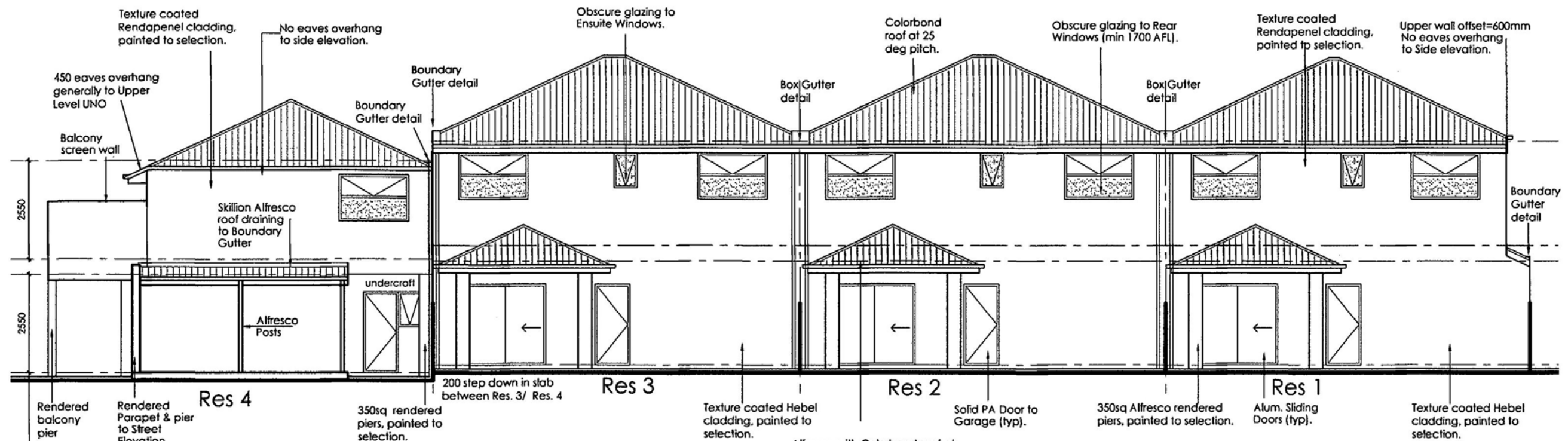
Proposed Development
at - 57 McArthur Ave, PLYMPTON
for - Dedicated Developments
date - 7 Mar.17 A3 Sheet 5 of 12
Planning Drawings PD1B

MCA Design (SA) Pty Ltd

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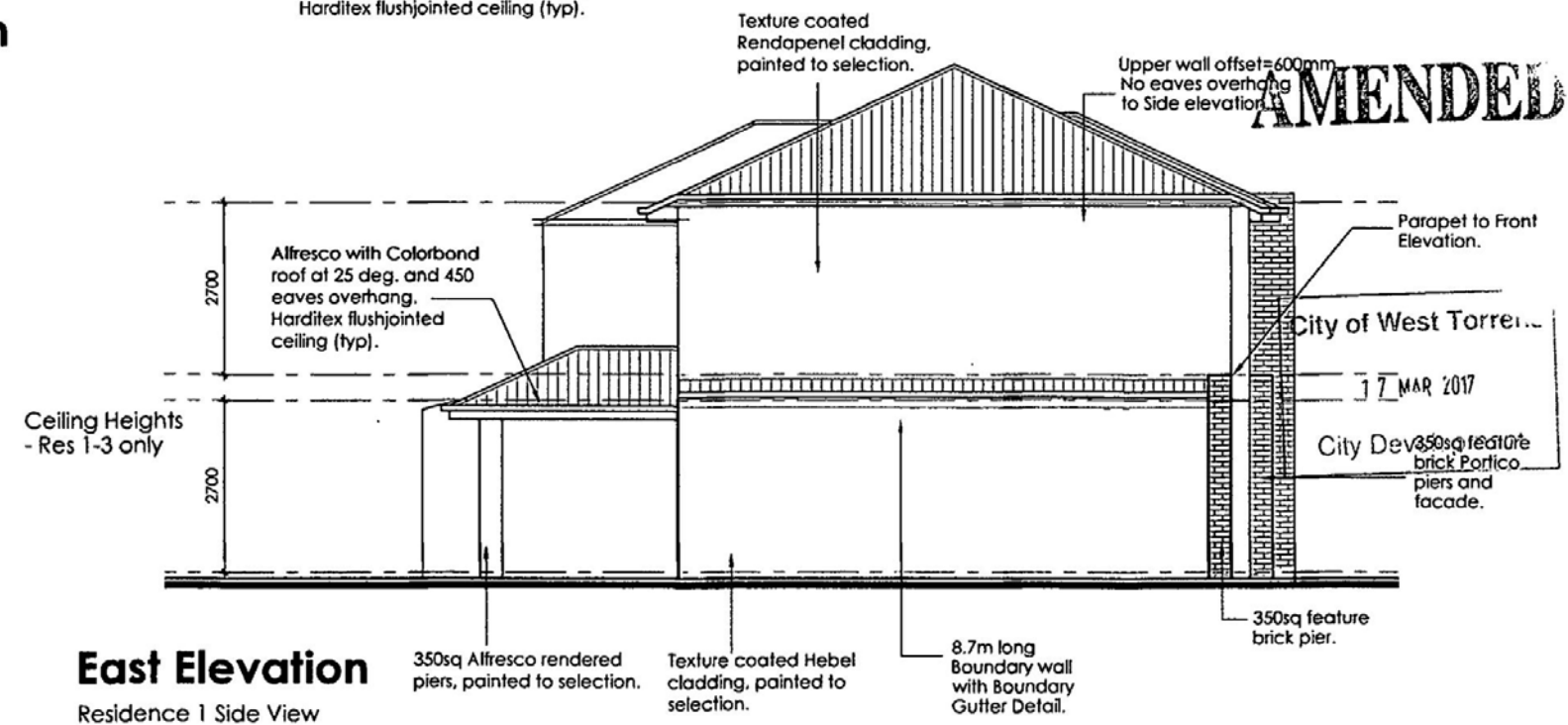
Site Boundaries and Area subject to Boundary Survey by Licensed Surveyor. All Dimensions to be confirmed on Site by Contractor prior to Construction.

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South Elevation

Rear View



East Elevation

Residence 1 Side View

07-03-17	PD1B	Minor Revisions.
15-02-17	PD1A	Revise driveways and floorplans, add Shadow Diagrams
01-11-16	PD1	Issued for Development Consent
DATE	ISSUE	COMMENT

REV. PLANNING DRAWING
ISSUED FOR DEVELOPMENT CONSENT ONLY
NOT FOR CONSTRUCTION

Elevations 2

SCALE 1 : 100

0 1 2 3 4 5m

Proposed Development

at - 57 McArthur Ave, PLYMPTON
for - Dedicated Developments
date - 7 Mar.17 A3 Sheet 6 of 12
Planning Drawings PD1B

MCA Design (SA) Pty Ltd

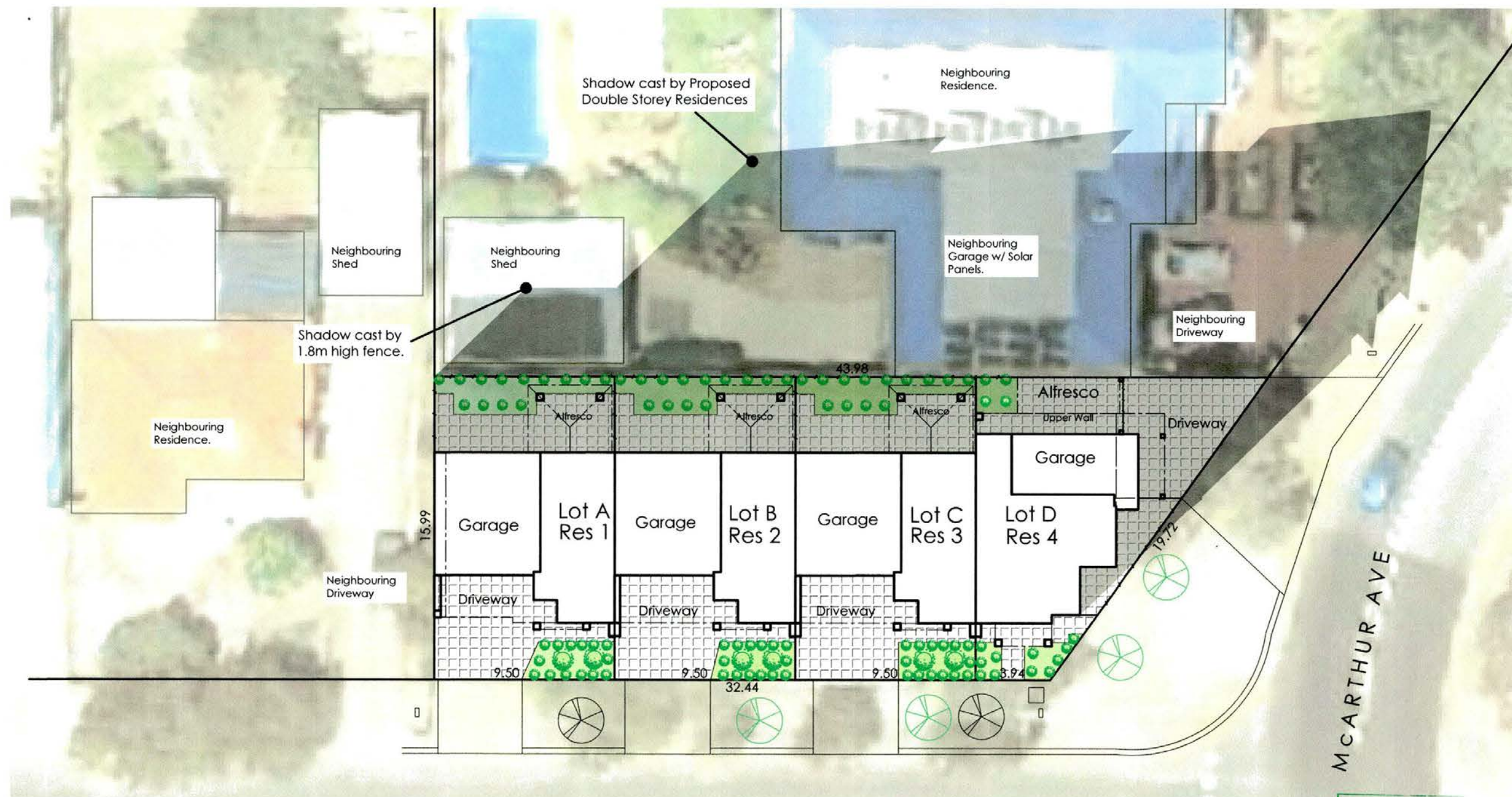
PO BOX 879 BLACKWOOD, SA, 5051
ph: 0458 655 621
email: mcadesign@dodo.com.au

ACN 130 175 674

Site Boundaries and Area subject to Boundary Survey by Licensed Surveyor. All Dimensions to be confirmed on Site by Contractor prior to Construction.

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URRBRAE TCE

07-03-17	PD1B	Minor Revisions.
15-02-17	PD1A	Revise driveways and floorplans, add Shadow Diagrams
01-11-16	PD1	Issued for Development Consent
DATE	ISSUE	COMMENT

REV. PLANNING DRAWING
ISSUED FOR DEVELOPMENT CONSENT ONLY
NOT FOR CONSTRUCTION

Note: Shadows shown for Winter Solstice (21 June) for proposed site only. Neighbouring buildings, trees etc have not been taken into account. Actual shadow length varies subject to local topography on neighbouring allotments.

Altitude : 15 Deg.
 Azimuth : 46 Deg.

Shadow Diagram
for 9am, 21 June

SCALE 1 : 200
 0 10m



Proposed Development

at - 57 McArthur Ave, PLYMPTON
 for - Dedicated Developments
 date - 7 Mar.17 A3 Sheet 9 of 12
 Planning Drawings PD1B

AMENDED

City of West Torrens
 17 MAR 2017
 City Development

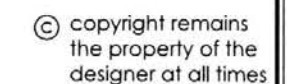
MCA Design (SA) Pty Ltd

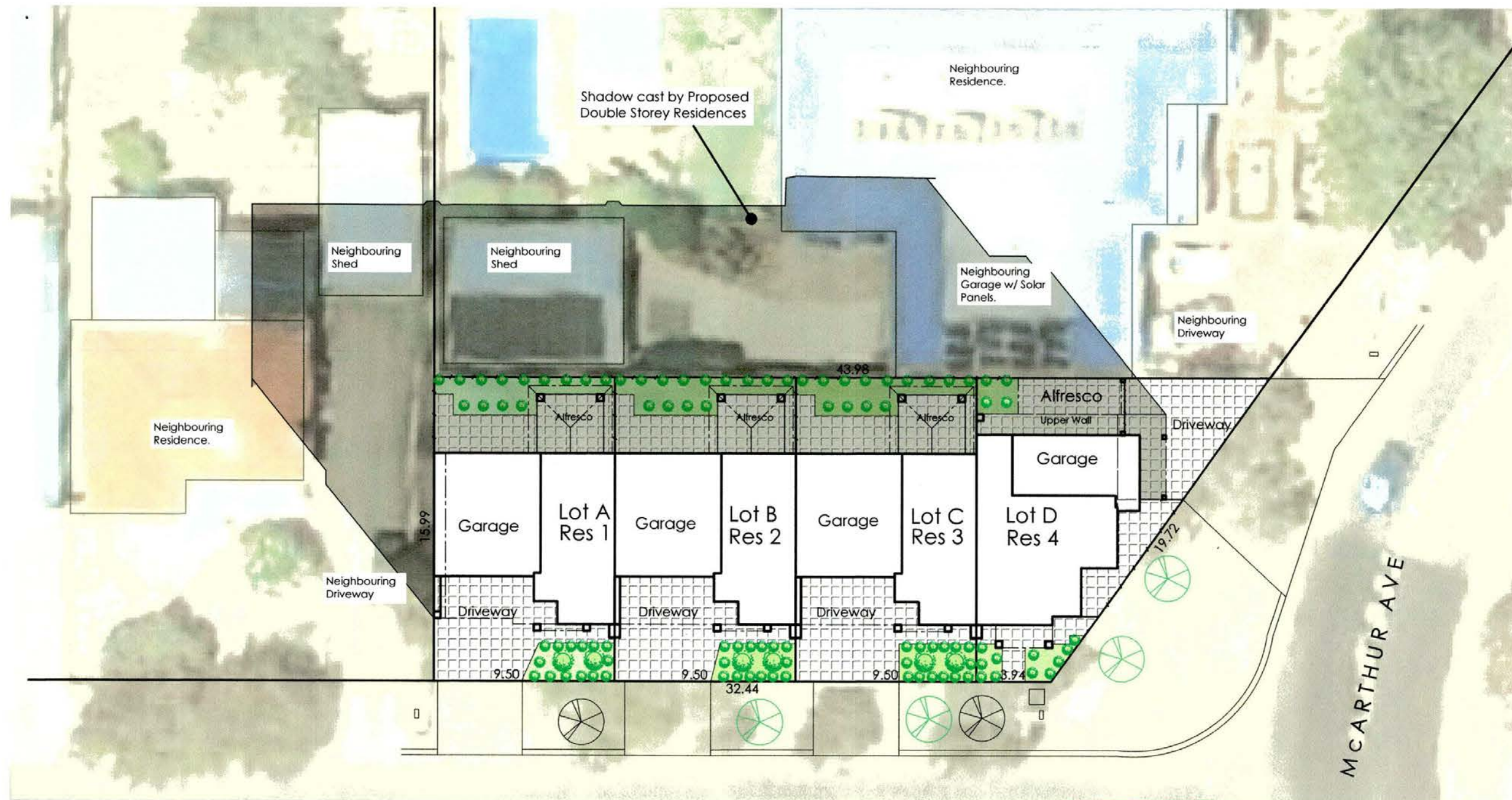
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URRBRAE TCE

City of West Torrens

17 MAR 2017

City Development

AMENDED

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01-11-16	PD1	Issued for Development Consent
DATE	ISSUE	COMMENT

REV. PLANNING DRAWING
ISSUED FOR DEVELOPMENT CONSENT ONLY
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Note: Shadows shown for Winter Solstice (21 June) for proposed site only. Neighbouring buildings, trees etc have not been taken into account. Actual shadow length varies subject to local topography on neighbouring allotments.

Altitude : 20 Deg.
 Azimuth : 321 Deg.

Shadow Diagram
for 3pm, 21 June

SCALE 1 : 200
 0 10m



North

Proposed Development

at - 57 McArthur Ave, PLYMPTON
 for - Dedicated Developments
 date - 7 Mar.17 A3 Sheet 11 of 12
 Planning Drawings PD1B

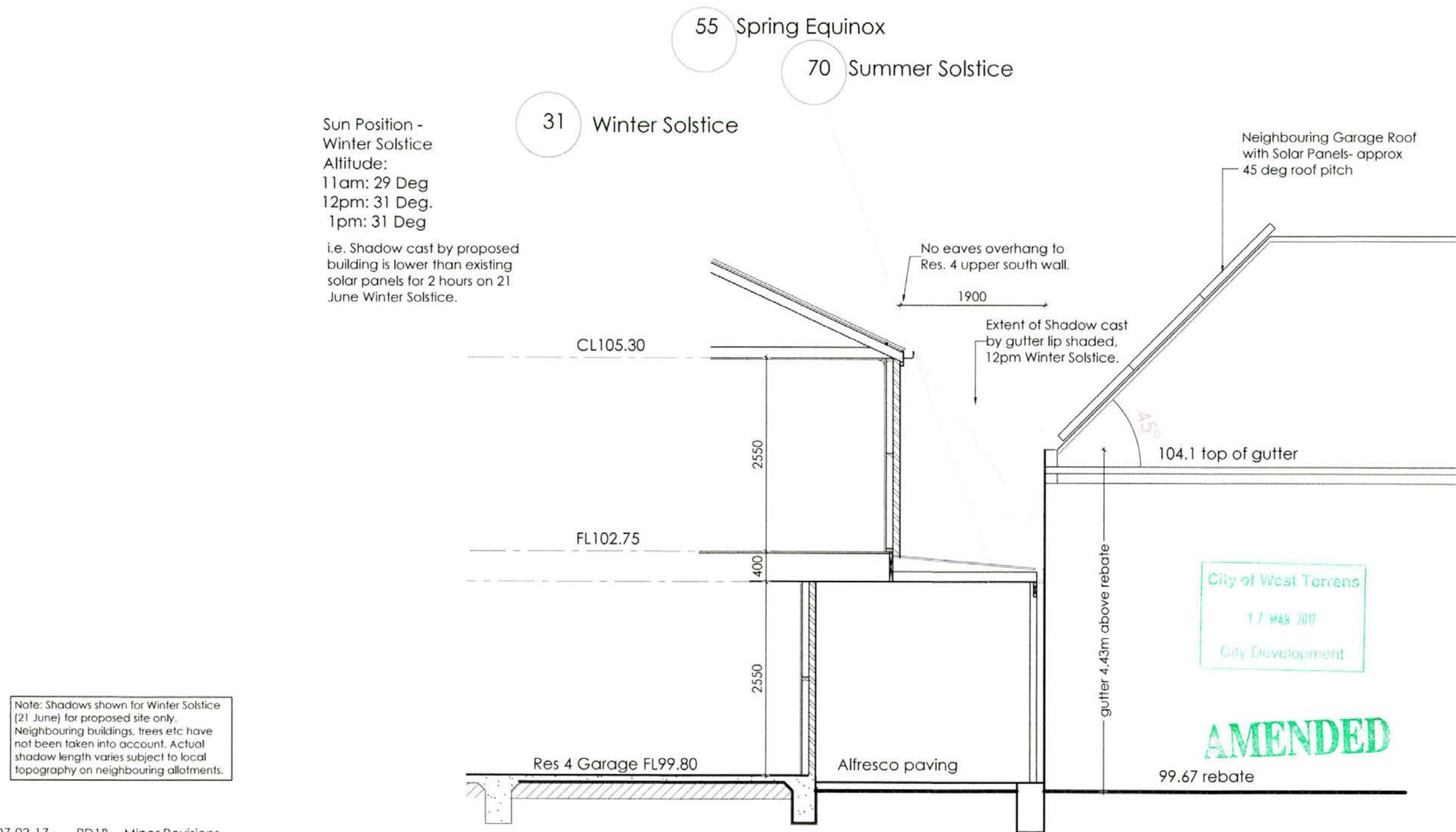
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Note: Shadows shown for Winter Solstice (21 June) for proposed site only. Neighbouring buildings, trees etc have not been taken into account. Actual shadow length varies subject to local topography on neighbouring allotments.

07-03-17	PD1B	Minor Revisions.
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REV. PLANNING DRAWING
ISSUED FOR DEVELOPMENT CONSENT ONLY
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Solar Section for
12pm, 21 June

SCALE 1 : 50
0 2.5m

Proposed Development

at - 57 McArthur Ave, PLYMPTON
for - Dedicated Developments
date - 7 Mar.17 A3 Sheet 12 of 12
Planning Drawings PD1B

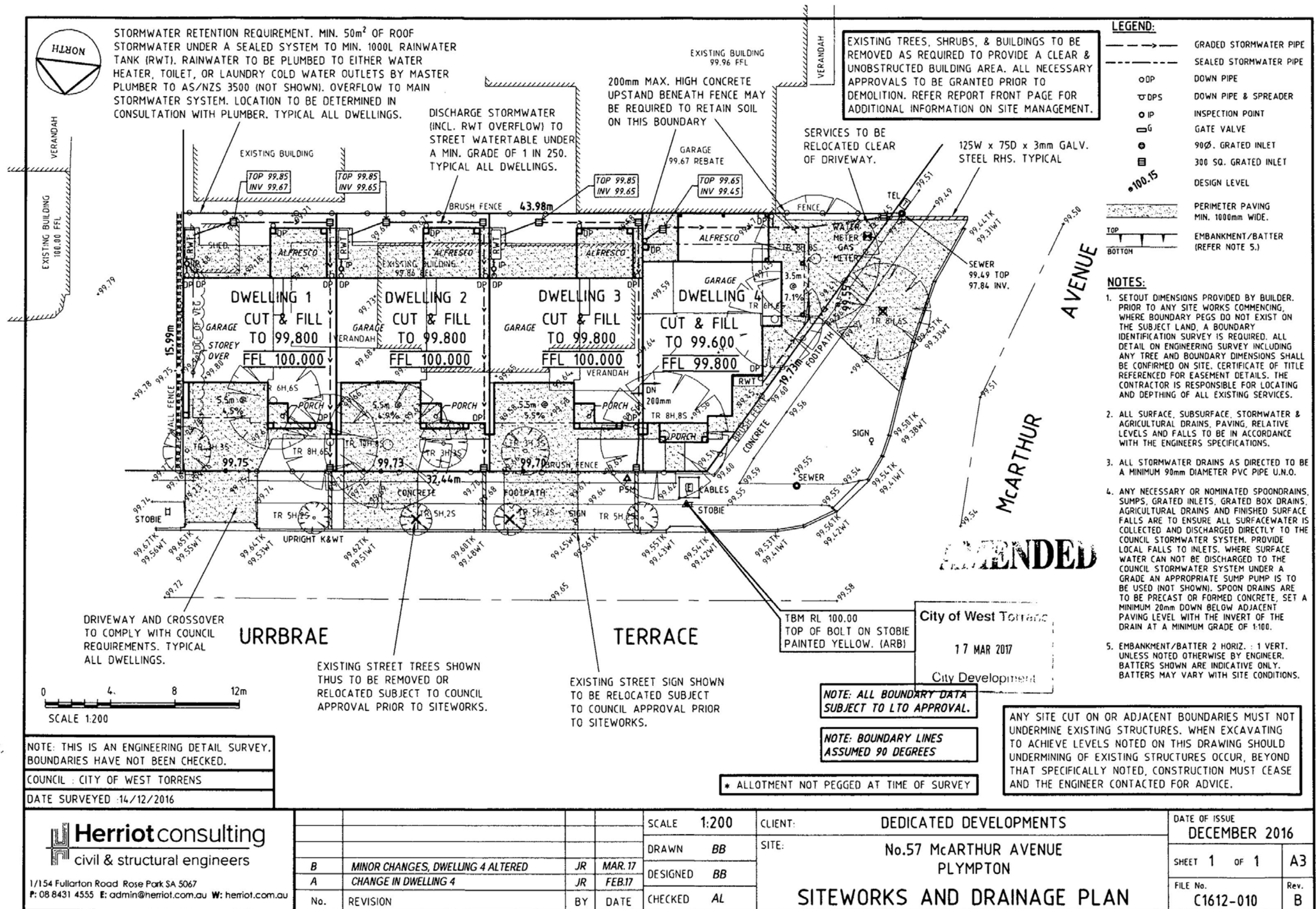
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7 CONFIDENTIAL REPORTS OF THE CHIEF EXECUTIVE OFFICER

Nil

8 SUMMARY OF COURT APPEALS

8.1 Summary of Court Appeals

Brief

Monthly statistics are provided for the information of the Panel in relation to:

1. any matters being referred to the Development Assessment Commission (DAC); and
2. any planning appeals before the Environment, Resources and Development Court (ERDC) and their status.

RECOMMENDATION(S)

The Development Assessment Panel receive and note the information.

The current status is listed as follows:

Matters pending determination by DAC

Reason for referral	DA number	Address	Description of development
Section 49	211/722/2016	Lot 2 West Beach Road, WEST BEACH	Change of use to function room
Schedule 10	211/136/2015	134-136 Anzac Highway, GLANDORE	On The Run redevelopment
Section 49	211/1155/2012/A	Lot 2 West Beach Road, WEST BEACH	Amendment to condition regarding lighting
Section 49	211/347/2017	Lot 52 Military Road, WEST BEACH	Addition to tourist accommodation
Concurrence	211/1466/2016	466-480 South Road, MARLESTON	Childcare centre

Development Application appeals before the ERDC

DA Number	Address	Reason for Appeal	Description of Development	Status
211/476/2015/2 & 211/476/2015/3	452 Henley Beach Road, LOCKLEYS	Applicant appealed DAP refusal	Retirement village	Hearing 15-17 May 2017
211/354/2016	17-19 Arthur Street, RICHMOND	Applicant appealed DAP refusal	Construct two residential flat buildings containing eight dwellings	Conciliation Plan presented to 11 April DAP

211/1500/2015	8 Packard Street, NORTH PLYMPTON	Applicant appealed DAP refusal	Construct a residential flat building containing six dwellings	Conciliation Plan presented to 9 May DAP
211/486/2016	24 Garfield Avenue, KURRALTA PARK	Applicant appealed DAP refusal	Construct a residential flat building containing seven dwellings	Conciliation Plan presented to 11 April DAP
211/791/2016	21 Fulham Park Drive, LOCKLEYS	Applicant appealed DAP refusal	Land division & two dwellings	Conciliation Conference 2 May 2017
211/1166/2016	12 Lowry Street, FULHAM	Applicant appealed DAP refusal	Land division & two dwellings	Conciliation Conference 20 June 2017
211/1215/2016	21 Bickford Street, RICHMOND	Applicant appealed DAP refusal	Reg Tree removal	Conciliation Conference 20 June 2017
211/1079/2016 211/1295/2016	6 Kimber Terrace, KURRALTA PARK	Applicant appealed DAP refusal	Construct a residential flat building containing FOUR dwellings	Conciliation Conference 16 May 2017

SUMMARY

The information requested by the Panel has been provided for information purposes.

Attachments

Nil

9 MEETING CLOSE