

CITY OF WEST TORRENS



Notice of Committee Meeting

NOTICE IS HEREBY GIVEN in accordance with Sections 87 and 88 of the Local Government Act 1999, that a meeting of the

COMMUNITY FACILITIES GENERAL COMMITTEE MEETING

Members: Councillor K McKay (Presiding Member), Mayor J Trainer,
Councillors: R Haese, G Vlahos, J Woodward, G Demetriou, S Tsiaparis, G Nitschke

of the

CITY OF WEST TORRENS

will be held in the Council Chambers, Civic Centre
165 Sir Donald Bradman Drive, Hilton

on

**TUESDAY, 28 NOVEMBER 2017
at 6.00pm**

**Terry Buss
Chief Executive Officer**

City of West Torrens Disclaimer

Please note that the contents of this Committee Agenda have yet to be considered by Council and recommendations may be altered or changed by the Council in the process of making the formal Council decision.

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1 MEETING OPENED

1.1 Evacuation Procedures

2 PRESENT

3 APOLOGIES

4 DISCLOSURE STATEMENTS

Committee Members are required to:

1. Consider Section 73 and 75 of the *Local Government Act 1999* and determine whether they have a conflict of interest in any matter to be considered in this Agenda; and
2. Disclose these interests in accordance with the requirements of Sections 74 and 75A of the *Local Government Act 1999*.

5 CONFIRMATION OF MINUTES

RECOMMENDATION

That the Minutes of the meeting of the Community Facilities General Committee held on 26 September 2017 be confirmed as a true and correct record.

6 COMMUNICATION BY THE CHAIRPERSON

7 PRESENTATIONS

Nil

8 REPORTS OF THE CHIEF EXECUTIVE OFFICER

8.1 Hilton RSL - Update

Brief

This report updates Committee Members in relation to recent discussions with the Hilton RSL in regard to their possible relocation to premises at 173-187 Sir Donald Bradman Drive, Cowandilla.

RECOMMENDATION

The Committee recommends to Council that the report be noted.

Introduction

At its meeting of 26 September 2017 the Committee considered a report and received a deputation from members (Messrs Terry Byrnes and Ian Morris) of the Hilton RSL. Following the deputation and consideration of the report the Committee resolved as follows:

That the Administration commence negotiations with the Hilton RSL to facilitate a possible relocation of the Hilton RSL from its current location to premises at 173-187 Sir Donald Bradman Drive, Cowandilla. Following the conclusion of the negotiations the Administration report back to the Council via the Community Facilities Committee.

Discussion

Since the previous meeting the Administration has organised a further viewing of the two civic buildings located at 173-187 Sir Donald Bradman Drive (i.e. also known as the "bluestone cottage" and the community hall space) which was attended on Friday 10 November 2017 by Mayor John Trainer, members of the Hilton RSL and representatives from other invited allied groups that may seek to co-locate to these premises. The Council Administration was also in attendance to conduct the inspection and answer any initial questions.

The principal purpose of this visit was to enable a wider audience (RSL members and allied groups) to view the premises, and:

- a. to initially determine whether the premises would satisfy or meet their future needs; and, if so,
- b. to provide a "wish list" to the Administration that would form the basis for the developments of concept plan(s) and budget costings that would subsequently allow the Council to make an informed decision in regard to the relocation proposal.

To assist this process the Administration also provided a number of copies of the floor plans for both the buildings to the RSL representatives.

Initial verbal feedback received from the attendees during the viewing was positive. Subsequent to the meeting the RSL provided some initial written feedback to the Administration on 22 November 2017 (**Attachment 1**).

Due to the late provision of the written feedback the Administration has not had an opportunity to fully consider and address the matters raised at the time of preparation of the report. Further, the RSL has indicated that it is likely to provide further comment following its Annual General Meeting (to be held on 10 December 2017) and the establishment of a steering committee.

Nevertheless, essentially the written feedback provided at this time suggests that the RSL has a preference for utilisation of the entire former RLSS building but that it may consider an arrangement whereby it uses the bluestone cottage as its base and use of the hall for those activities that require additional space etc. This latter option appears to be subject to the steering committee determining whether the space that could be provided within the cottage (following extension and or renovation) is sufficient for the RSL's needs.

Conclusion

The Administration is continuing to progress matters in regard to the possible relocation of the Hilton RSL, from its existing premises at 147 Sir Donald Bradman Drive to those at 173-187 Sir Donald Bradman Drive, in accordance with the Committee's resolution at its meeting of 26 September 2017.

Attachments

1. Initial Feedback from RSL

Excerpts from Committee discussions on club relocation

This is the first discussions as a committee about relocation.

Possibilities are exciting if we can do this well.

There are a lot of questions and concerns for relocation. Although our current premises, has its problems it is functional for our needs. We cannot let any of our current groups be left out or disadvantaged from the move. Groups which use the club are Central Darts Association, Veterans 8 Ball Association, Charity Bingo, Legacy, and Hapkido.

In general, were impressed with the hall. It has great disability access and bathroom facilities, better air-conditioning and lighting

Bluestone cottage has good bones and has potential to renovate

While our comments questions and concerns may appear more towards the negative side, we will keep an open mind and dialogue to explore all possibilities and try to find a solution that works for both parties.

Some noted needs

- Be able to accommodate all our existing groups and hopefully growth for others
- Dedicated meeting room
- Flagpole with easy access
- Outside area for cooking BBQ
- Kitchen large enough for the serving of meals
- Stage for bands or functions
- Suitable cool room and bar and plenty of storage room needed
- Bar access to Ice machine needed
- Safe covered outdoor smoking area or beer garden needed
- Keg storage for deliveries and then transfer to the bars need to be seriously considered.
- Communication between buildings
- Safe transport of assets

Noted Comments / Concerns

- Hard to draw plans with the provided building drawings as there is no scale or accurate indication of room sizes on the cottage. Would need the help of an architect to help with what is possible to do and to get advice with room set up for our needs.
- Hall looks to be too small to fit both darts and 8 ball and use as club

- Hall kitchen a little small if we serve meals, but would do for our current needs
- With 2 premises we would need 2 cool rooms, 2 bars and carry more stock to supply both bars. Different sets of keys, 2 electricity, gas, water meters and possibly phone lines and security alarms
- More up keep and cleaning with 2 premises
- Our current staff levels could not handle operating 2 buildings and the cost of hiring new staff may be unviable on current revenue
- Will need to check if 2 liquor licences will be needed or if we are will be covered in one.
- Hall does not have good street presence as the front door is set back from the main road and could be difficult for the public to find; which has been a problem in our current premises.

Noted questions

1. Can we extend the size of the cottage outwards and if so by how much?
2. How would other tenants feel if we were to have a band in the hall while they are at work?
3. Is the air-conditioning electricity, gas, water meter shared with offices?
4. How would rates or lease be calculated over 2 premises?

As we discussed our needs it seemed more apparent that the cost and logistics of running two premises was going to be a difficult without some serious time management planning and extra staff or volunteers.

5. The question was raised that with all due respect could we ask the council to move the offices to a newly renovated bluestone cottage and we retain the entire building which includes the hall and offices?

Another proposal was instead of thinking to move into the hall as a home base we use the cottage for a clubroom, darts and 8 ball, and keep the hall for functions, bingo and Hapkido. However, it is unclear if there would be enough room or if the renovations could accommodate our needs as we are unsure about load bearing walls or how far or if it was possible to extend the cottage.

Discussion Conclusion

It was clear we are still in the early days of discussions as we are still collating ideas and information. We need plenty of time to consider all options and will need advice to steer our thoughts into a workable model. We will set up a sub-committee to attempt this task after AGM on the 10th of December.

8.2 Camden Oval - Update

Brief

This report updates Members in relation to the Camden Oval Masterplan project.

RECOMMENDATION

The Committee recommends to Council that the report be noted.

Introduction

At its meeting of 26 September 2017, the Committee was advised that:

- Following a number of meetings and discussions with the architect and representatives from the WT Birkalla Soccer Club (Birkalla) it was agreed that the works to the Birkalla clubroom building initially be limited to the construction of a separate change-rooms facility ("module") which will be separated from the southern end of the existing building via a breezeway link.
- The synthetic pitch component of the project was expected to be shortly tendered.
- There had been ongoing discussion with the PHOS & Camden Sports and Social Club in regard to a number of (relatively minor) amendments sought by the Club and which it was hoped could be accommodated at the detailed design stage.
- Other matters relating to the project, e.g. development of the landscape design, ongoing design for the irrigation upgrade, discussions with the turf consultant (re oval profile, drainage, etc.) and decommissioning of the existing bore and replacement with a new bore were continuing to progress.

Discussion

Since the previous meeting the Administration has continued to progress matters relating to this project. Pertinent information is provided below.

West Torrens Birkalla Soccer Club

Tenders for the construction of the sub-base for the new synthetic senior soccer pitch, concrete kerbing and retaining walls, new irrigation to the junior soccer pitch and associated civil / landscaping works ("Stage 1") closed on 14 November 2017.

At the time of the preparation of the report the submissions are currently still being evaluated by the Administration. Further information is also currently being sourced to assist in the tender evaluation from the Football Federation SA (FFSA) due to the delivery of the new synthetic senior soccer pitch component of works.

PHOS & Camden Sports and Social Club

The majority of amendments sought by the PHOS & Camden Sports and Social Club were able to be incorporated into the final designs for the clubroom building and the football club has written to Council confirming that it is happy with the final plans.

The Club has also advised that it is continuing to negotiate and explore playing, training and social/clubroom arrangements for the 2018 season. Whilst it appears to have secured facilities for senior home games and junior training and home games, it still seeks a venue for seniors training (two nights per week under lights) and is also seeking:

- Assistance with storage of its equipment and records etc; and
- Opportunities to raise/source revenue via alternate means (e.g. Council or other grant funding, sponsorship/signage agreements) (**Attachment 1**).

The Administration is continuing to investigate options and alternatives to assist the Club with storage requirements and relocation and has made a preliminary enquiry with representatives from the SANFL in relation to oval availability for club seniors training.

Prior to progressing any formal discussions with the Club, the Administration seeks the Committee's input into this request. (NB: Any additional area(s) which may be agreed will impact the Club's lease area and will result in the need for a Deed of Variation to its lease agreement.)

Development Application

Originally the Administration believed that the upgrade of the West Torrens Birkalla clubroom building and the demolition of the existing, and construction of a new, clubroom building for the PHOS & Camden Sporting and Social Club could be considered within a single development application framework.

However, following discussions with its consultants, it has been determined that it would be more appropriate to separate these project works into discrete components or packages. Separation in this manner will allow one or other of the developments to proceed in circumstances where there may be issues raised relating solely to one of the components.

The development application for the upgrade of the WT Birkalla clubroom was lodged on Friday 10 November 2017.

Conclusion

The Administration has instructed its architects to produce detailed designs for both the West Torrens Birkalla and PHOS & Camden Sports and Social clubroom buildings at Camden Oval. The development application has been lodged for the works which are proposed to occur to the Birkalla clubrooms.

The Administration will continue to endeavour to provide assistance to PHOS & Camden Sports and Social Club where possible.

Attachments

- 1. Email from PHOS & Camden Sports and Social Club**

From: President [mailto:President@phantomsfc.com.au]
Sent: Monday, 30 October 2017 2:25 PM
To: Steve Watson <swatson@wtcc.sa.gov.au>
Cc: mike@
Subject: Camden Oval redevelopment

G'Day Steve,

Thought I would communicate the following.

We are happy with the final plans as Paul Williams and yourself have recently modified.

Is it possible to provide new time frames for the redevelopment process. In particular we are keen to know the commencement of the demolition of the existing club rooms so we can plan to remove and store equipment.

At this stage we are still negotiating the following for 2018 and would appreciate the WTTC support or assistance.

Seniors football Training venue.	Will need oval with lights (2 nights per week can be any nights)
Senior Home Games	Arrangements being formalised with ADFL for Thebarton Oval
Junior Home Games	We have finalise to utilise Glenelg oval for training Friday nights and looking for a Sunday games which they may be able to accommodate few with Thebarton Oval
Home clubrooms	Winter 2018 - we are making inquiries with commercial operators but prefer a Sports and Social club.

With the loss of the club room facility in 2018 we will be short on revenue and we are exploring options to raise the funds from alternative means. Who would I contact within the council to discuss assistance.

One solution we have is to have sponsor signage along the work site facing Anzac Highway. We could do this discretely with storage containers which would be required to house our equipment. We could also have branded the bunting/fence screen with sponsors including WTTC.

Look forward to your response.

Thanks
Mike

Michael Hamilton

President

**Plympton High Old Scholars &
Camden Sports and Social Club Incorporated**

p: 8295 8681

a: Situated at Camden Oval, Anzac Highway, Novar Gardens SA

w: phantomsfc.com.au

e: President@Phantomsfc.com.au

8.3 Lockleys Oval, Apex Park and Mellor Park Masterplan - Update

Brief

This report updates Committee Members in relation to recent matters relating to the Apex Park, Lockleys Oval and Mellor Park Masterplan developments.

RECOMMENDATION

The Committee recommends to Council that:

1. The report be noted.
2. The Lockleys Football Club be advised that Council provides its in principle support to the request that one or two of the new courts proposed to be constructed at Lockleys Oval be dual purpose (tennis and netball) courts and requests that the Administration seek input from the Mellor Park Tennis Club (MPTC) in regard to this proposal. A further report be provided to the Committee following receipt of the MPTC's comments.

Introduction

At its meeting of 26 September 2017 the Committee was advised that:

- The Administration met with the lessee/licensee stakeholders who are to be accommodated within the proposed new shared clubroom building at the northern end of Lockleys Oval in an endeavour to agree a final design for the new building. Further, and resulting from this meeting, a number of amendments were to be made to the design to address the issues and concerns that had been raised by Club representatives, (e.g. removal of the void above the entry to the ground floor change rooms to increase the first floor balcony space and provision of privacy screens inside the change rooms to reduce the visibility to the change room interiors).
- Tenders for the Apex Park upgrade works closed on 4 September 2017 and are being evaluated. Further, replacement stormwater drainage works, preliminary to the commencement of the greater Apex Park project, will commence shortly and are scheduled to be completed prior to Christmas. These works will result in restricted vehicular access (to the car park) and temporary closure of the toilet facilities on the site.
- Following a recent article in the Messenger newspaper there were ongoing discussions with a number of parties in relation to the preservation (in one form or another) of movie posters within the former Windsor Theatre.

Discussion

Apex Park

Preliminary works to replace the stormwater drainage (box culverts) which are located on Burbridge Road and extend from Burbridge Road along the entrance roadway to Apex Park to the wetlands are scheduled to commence in late November 2017. All endeavours will be made to complete these works prior to Christmas, however, there are some complexities associated with these works that may impact the final completion date. (In the event that the works are not completed at this time, the contractor will be required to reinstate prior to leaving the site, and then recommence works following the Christmas break.)

A letter has been delivered to residents living in the proximity of Apex Park advising of these works and updating them in regard to the nature and timing of the planned Apex Park Masterplan works (**Attachment 1**). Further details on the project have also been included on Council's website.

The tender evaluation in regard to the project is continuing. Due to the tender project complexity / submission range (approximately \$5M-\$8M) which is over the allocated budget for this component of the project, the Administration are reviewing and proposing to meet with the short-listed tenderers for opportunities to reduce costing e.g. by staging the works or by substituting materials for alternates with similar functionality etc. The award of the project to the successful tenderer will not occur until the development approval is confirmed for the project.

Apex Park - Development Application

Two submissions were received from residents following Category 3 notification of the proposed Apex Park Masterplan development. The Administration met with the residents to discuss their concerns and offered to amend the proposal (principally to retain the eastern-most mound and reduce the extent of car parking along the Burbridge Road frontage). Following the discussions, the residents agreed to withdraw their Statements of Representation. As the Representations have been withdrawn the development application can be considered under delegation.

The assessing officer is currently undertaking the assessment of the development application.

Lockleys Oval

The Administration met with its consultant architects following the Committee meeting and identified and discussed the issues that had been raised during the lessee/licensee stakeholder meeting. Development of detailed design for tender documentation acknowledging these issues is continuing to progress. The Administration expects the documentation to be finalised during December which will enable the project to be tendered early in the new calendar year.

The attached email (**Attachment 2**) which has been received from the Lockleys Football Club, advises that the Club has been approached by a local netball club, (City Coasters Netball Club) which is considering affiliating with the Football Club. As part of the initial discussions between these groups a request has been made as to whether one or two of the tennis courts could be dual-use courts.

Whilst netball courts have a larger playing area, it would appear that a netball court could fit within the area required for a competitive tennis court as tennis requires a greater distance beyond each baseline and sideline, i.e. it would appear that no additional space allocation would be required to accommodate the request.

At this time no approach has been made to the Mellor Park Tennis Club in relation to this request. Should the Committee determine that it is supportive of this initiative, the Administration will contact the tennis club and seek its input in relation to this request. If the tennis club is in agreement this matter can be handled through the design documentation and leasing/licensing process.

Please note that it is unlikely that any grant funding which is to be received from the federal government as a result of this project proceeding will be adversely impacted by the football club's request, (as additional works would be required to be undertaken).

It should also be considered that an earlier request was received from a representative from a (different) netball club during the public consultation phase of this project which sought the provision of (additional) courts to be used for training and Saturday competition matches. The enquirer was advised at that time that, due to the proposed year round use of the tennis courts and the fact that such use would conflict with the desired use of the courts for Saturday netball competition matches, the request would not be considered as it was outside of the project scope.

Mellor Park

Early in the new calendar year (2018) the Administration proposes to undertake an Expression of Interest/Request for Quote process (seeking consultants to progress the concept plans to detailed design status) for the Mellor Park component of this overall project. This project needs to proceed to meet the grant funding timelines.

As an update into the investigation for the preservation of movie posters within the former Windsor Theatre, the Administration has arranged a site inspection in the coming month with a specialist preservation consultant to determine the feasibility and/or possible scope of the project.

It is also worth noting that the Administration met with representatives from the Lockleys RSL in mid-October following receipt of a letter from the RSL seeking a written response from Council in relation to Council's intent toward the RSL Hall (located at the rear of the former Windsor Theatre), **Attachment 3**.

Following the meeting the RSL representatives were advised that, to progress the matter further, the RSL would need to formally write to Council indicating its intentions in relation to:

- the premises; and
- any requirement for ongoing use of the premises, and if so, under what desired terms and/or conditions (or whether the RSL may prefer to be accommodated within alternate premises).

Although at the date of preparation of this report no further correspondence has been received from the Lockleys RSL, it is anticipated that further correspondence will be received at some time in the future. At that time a further report will be prepared for the Committee's or Council's consideration.

The Administration also took the opportunity to advise the RSL representatives of the works that are proposed to occur as part of the Mellor Park upgrade and offered an indicative timeframe in which these works are planned to occur.

Conclusion

Council Administration continues to progress matters relating to the Lockleys Oval, Apex Park and Mellor Park Masterplan project.

Two Statements of Representation were received from residents following Category 3 notification of the Apex Park Masterplan development. The representations were withdrawn subsequent to a meeting attended by residents and the Administration, on condition that the eastern-most mound be retained and that the extent of car parking along the Burbridge Road frontage be reduced. The development will now be assessed under delegation.

Council's consultants have been requested to amend the plans for the proposed new shared Lockleys Oval clubroom building to address issues raised by stakeholder clubs following a meeting attended by club representatives in mid-September 2017.

The Administration has met with representatives of the Lockleys RSL, whose clubrooms are located at the western end of the Mellor Park Reserve, following receipt of a letter from the Club which sought an indication of Council's intent in regard to the premises. The Administration has requested that the RSL provide further information to enable this matter to be considered.

Attachments

1. **Letter to Residents re Apex Park Works**
2. **Email from Lockleys Football Club**
3. **Letter from Lockleys RSL**

20 November 2017

TO THE RESIDENT / RATEPAYER

Dear Sir/Madam

Apex Park Stage 1 Redevelopment.

In order to help meet the growing needs of our community and provide better, more user-friendly recreational spaces, Council has been looking at ways to upgrade Apex Park to create areas that will cater for our community's needs now and in the future.

The City of West Torrens wishes to provide an update on stage 1 of the Apex Park redevelopment which will commence shortly.

The project is a joint initiative in conjunction with the Commonwealth of Australia and the Department of Infrastructure and Regional Development.

Council endorsed a Masterplan for Apex Park which includes the following stage 1 elements - earthworks to modify site levels, a new community building, construction of a horse arena with associated sheds and bridle track, new car parks and access roads, a path network and retaining walls around the southern perimeter of the wetland, a 'duck pond' with boardwalk and water recirculation system, shelters and barbeque, resurfaced and repurposed tennis courts, a new basketball ring area and a new irrigated lawn area with new plantings. Enclosed is a concept plan for your reference.

The stage 1 redevelopment of Apex Park aims to improve the versatility of the site, subsequently increasing public participation in activities, improving the amenity and safety within the park and further enhancing the natural environment.

Stormwater drainage works are scheduled to commence from 27 November 2017 and take approximately 4 weeks. The major construction works are scheduled to commence in early 2018. The stage 1 redevelopment is predicted to be completed by late 2018.

Please note, Apex Park will be closed to the public at various times during the redevelopment for public safety, we apologise for any inconvenience this may cause.

Further information can be found on Council's website www.westtorrens.sa.gov.au.

Should you have any further queries on this matter please do not hesitate to contact the undersigned on 8416 6333.

Yours sincerely



Dean Ottanelli
Manager City Property

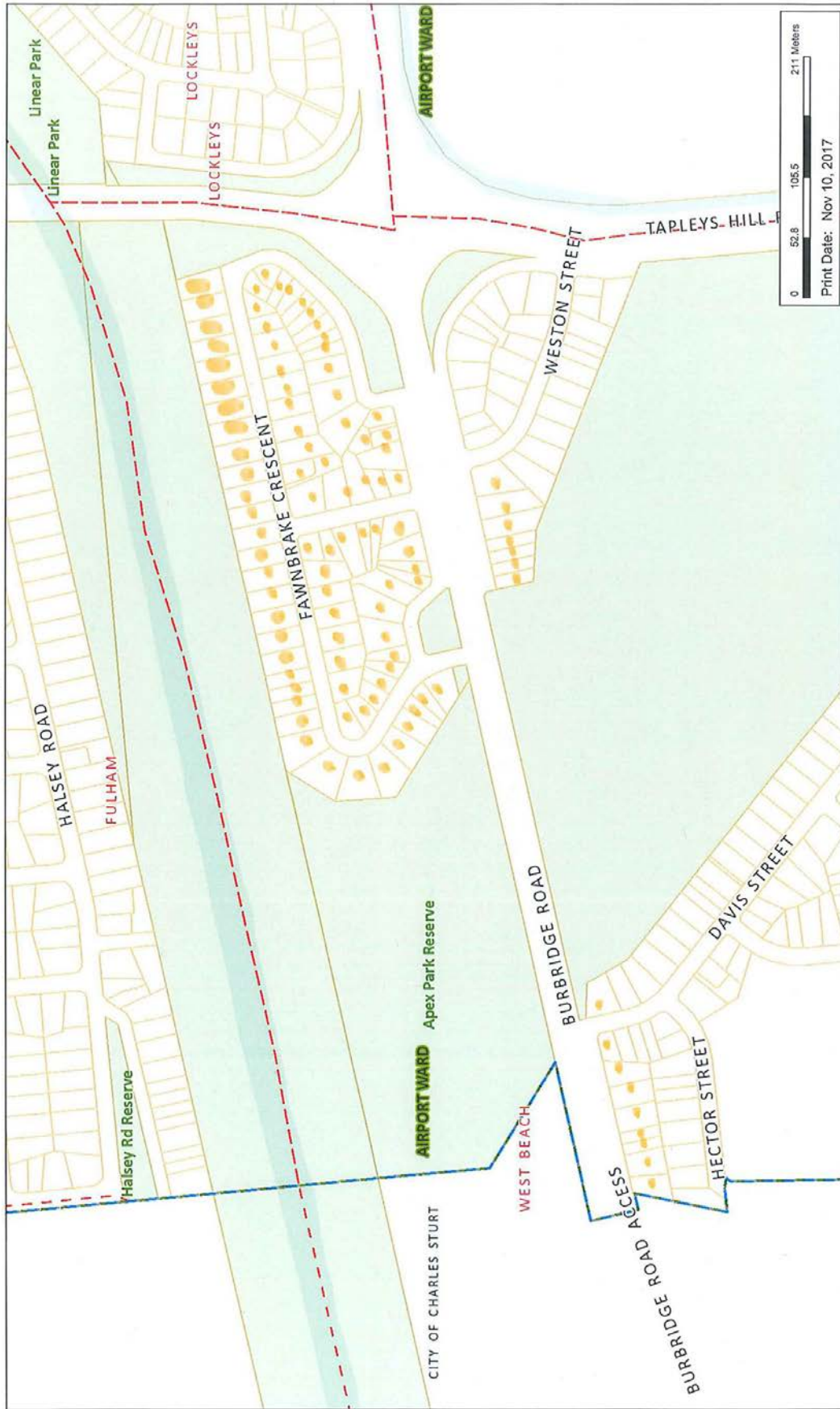
Enc Concept plan stage 1 Apex Park
cc Airport Ward Councillors Cr Rosalie Haese & Cr Garth Palmer

The extent of Stage 1 of the Apex Park redevelopment is defined in the diagram below:



110 letters

Apex Park stage 1 redevelopment letter distribution



Disclaimer
The City of West Torrens accepts no liability for any reliance placed on the validity and accuracy of data in this publication. While care and effort has been taken in the presentation of this data it is only to be used for demonstration purposes.



From: Ian Gifford
Sent: Monday, 6 November 2017 8:39 PM
To: Cr Kym McKay <kmckay@wtcc.sa.gov.au>; Steve Watson <swatson@wtcc.sa.gov.au>
Subject: Lockleys Oval Complex.

Hello Kym & Steve,

At our last football club committee meeting, it was raised that we have been approached by the City Coasters Netball Club in regards to a possible affiliation of the netball club with the Lockleys Football Club.

The netball club currently field 3 teams and play at the SA Netball Association courts and use the Coopers Ale House as their "club rooms" for post-game presentations and functions. A large number of the netballers currently attend social functions at the football club and if the affiliation goes ahead, they will then have their post-match presentations at the Lockleys Oval complex whilst still playing in the CBD.

One of the items that we have been asked to investigate as part of the proposed affiliation is if there is a possibility of having 1 or 2 of the tennis courts being available mid-week for training and if so, can they be set up as multi-purpose with netball rings and court markings?

We believe that this will be good result for both clubs if it can proceed and it will also bring more people to the facility and as the football club claims to be the "city club with a country feel", having a netball club affiliated will make it even more like a true community club like the country clubs are.

I look forward to your response,

Regards,
Ian Gifford
Lockleys FC President.



*Returned & Services League of Australia
Lockleys Sub - Branch*

President Mr. R. Paterson 8443 7424
Vice President Mr. J. Powers 8443 8430
Secretary Mr. I. Paterson 0416 299 222
Treasurer Mr. L. Tyler 8352 6370

Postal Address 362 Henley Beach Road
LOCKLEYS SA 5032
Phone Clubroom 8352 5906

WEST TORRENS COUNCIL
ATTN STEVE WATSON,
WEST TORRENS COUNCIL,
165 SIR BRADMAN DRIVE,
HILTON. S.A. 5033.

9TH SEPTEMBER, 2017.

DEAR STEVE,

I HAVE BEEN DIRECTED BY THE COMMITTEE OF LOCKLEYS RSL SUB-BRANCH TO WRITE TO YOU AS YOU ARE THE PROPERTY MANAGER FOR WEST TORRENS COUNCIL TO SEEK INFORMATION REGARDING COUNCILS INTENT TOWARDS OUR HALL WITHIN THE MELLOR PARK ZONE.
PLEASE REPLY IN WRITING SO THAT THE COMMITTEE CAN VIEW YOUR RESPONSE.

YOURS SINCERELY,

I.R. PATERSON,
SECRETARY.

RECEIVED - CWT IM
- 9 OCT 2017

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West Torrens CSU

8.4 Weigall Oval Redevelopment Update

Brief

This report provides an update on the current status of the Weigall Oval Masterplan project.

RECOMMENDATION

The Committee recommends to Council that the report be noted.

Introduction

Subsequent to consideration of a report at its meeting of 15 August 2017 dealing with the Weigall Oval Masterplan upgrade project, Council resolved as follows:

- 1. Council resolves to accept the funding offer of \$1.2 million made available under the State Local Government Infrastructure Partnership funding deed to proceed with the remaining components of the Weigall Oval Masterplan including the construction of a new shared clubroom facility and remediation and upgrade of the playing surface.*
- 2. Having resolved to accept the funding offer as per point 1 above, Council authorises the Chief Executive Officer to commence preparation of a Prudential Review Report for completion of the Weigall Oval Masterplan upgrade and such Prudential Review report be presented to Council for consideration as per S.48 of the Local Government Act 1999 at the earliest opportunity.*
- 3. Additional funding of \$3.3 million required to proceed with the remaining components of the Weigall Oval Masterplan upgrade be addressed by Council when it further considers the Prudential Review Report referred to in point 2 above.*
- 4. Prior to commencement of Phase 2 and 3 that Council consult with stakeholders, including community and local residents, to ensure any feedback is considered for minor changes in the final design.*
- 5. That additional landscaping and beautification of the verge along Oval Terrace, James Street and Urrbrae Terrace be included in Phase 1.*

At the Community Facilities Committee (the Committee) Meeting held on 26 September 2017, the Committee was advised Stage 1 works tenders had closed and were being evaluated by the Administration. All three submissions received were within the allocated \$2.5M budget.

The Committee also provided in principle support to retaining existing consultants (JPE Design Studios) for the completion of detailed design and documentation for Stages 2 and 3 of the Plan.

JAC Comrie Pty Ltd were engaged to undertake the Prudential Review Report for the balance (ie Stage 2 and 3) of the Weigall Oval works. The completed document was attached to a report provided to Council at its meeting of 17 October 2017. Following consideration of the report the Council resolved as follows:

- 1. It consider, note and acknowledge the contents of the Prudential Report prepared by JAC Comrie Pty Ltd in regard to the Weigall Oval Masterplan upgrade project.*
- 2. A copy of the Prudential Report undertaken by JAC Comrie Pty Ltd in regard to the Weigall Oval Masterplan upgrade project be made available at Council's Civic Centre for public inspection.*

3. *The Mayor and Chief Executive Officer be authorised to sign and/or seal the State Local Government Infrastructure Partnership Funding Deed, which confirms Council funding of \$3.3 million and State/Local Government funding of \$1.2 million, for the remaining components of the Weigall Oval Masterplan upgrade project.*
4. *Funding of \$3.3 million for the remaining components of the Weigall Oval Masterplan upgrade project be provided/sourced through a future budget variation(s) AND/OR borrowings.*

Discussion

Tenders for Stage 1 Works have been evaluated and the contractor, LCS Landscapes, has now been appointed as the successful tenderer.

LCS Landscapes have provided an initial draft construction program for the Stage 1 Works of the Weigall Oval redevelopment (**Attachment 1**). The draft program also identifies mobilisation of the site occurring in late November/early December 2017, and the majority of salvage and demolition occurring pre-Christmas 2017. This meets the requirements of the SLGIP funding deed.

Excavation of the site will begin in early 2018 followed by the installation of services, new surfaces, planting and the toilet facilities. At this stage it is anticipated that the Stage 1 Works will be completed in May 2018.

Signage will be erected on site by end of November 2017, advising the public that there will be restricted access from late 2017 until mid-2018 whilst Stage 1 Works are undertaken. Nearby residential properties (perimeter of Oval Complex) will also be advised of the commencement of work.

Following an analysis against industry guidelines and the project budget, JPE Design Studio's (architects) fee offer for detailed design and documentation of Stage 2 and 3 of the Plan has been accepted and work has commenced on designing the remaining work for the site.

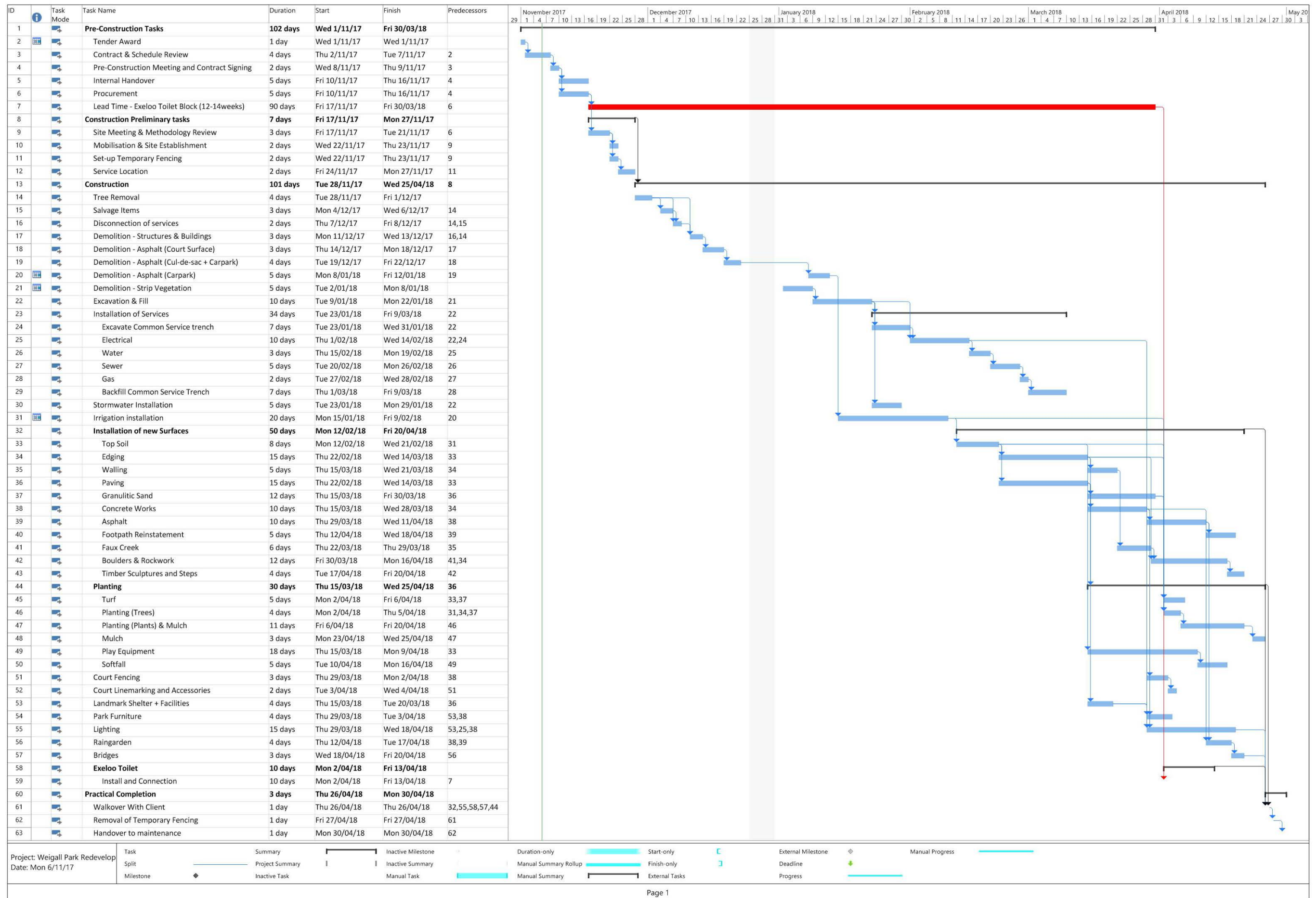
Lessee/Licensee stakeholders have been notified of the commencement of Stage 1 Works, and a (start-up) meeting was held on 21 November 2017 with the Baseball and Soccer Club representatives to begin discussions on Stage 2 and 3 of the Plan. The meeting aimed to identify the needs of the Clubs in order for their requirements to be effectively met in the design of the shared clubroom facility and separate playing field areas.

Conclusion

This report provides Members with background information and a general update on the current status of the three stage project in delivering the Weigall Oval Complex Masterplan.

Attachments

1. **Weigall Oval Upgrade Stage 1 - Construction Program**



8.5 Peake Gardens Riverside Tennis Club - Masterplan update

Brief

This report provides Committee Members with information in relation to activities undertaken to date regarding the development of a building Masterplan for the Peake Gardens Riverside Tennis Club.

RECOMMENDATION

The Committee recommends to Council that:

1. The report be noted.
2. The "Option 2" design for the proposed upgraded / new facility (as identified in Attachment 4 to this report) be endorsed and the Administration proceed to detailed design documentation.
3. A further report be provided to the Committee once the detailed design plans have been finalised.
4. The budget funding for this project be referred to the 2018 / 2019 budget deliberations.

Introduction

The Peake Gardens Riverside Tennis Club (PGRTC) has been a long term lessee of the Council owned facilities on Peake Gardens Reserve. The current Club was originally borne out of a merger of the Peake Gardens Tennis Club, West Adelaide Tennis Club and the Riverside Tennis Club of some 10 years ago. It currently fields 31 teams in 4 Associations, has arrangements with 11 coaches and has a membership of approximately 300 competitive and 150 social members. Having access to 14 competition tennis courts (12 of which are floodlit to tournament standard) on the Peake Gardens Reserve makes it the third largest facility in the metropolitan area (behind Memorial Drive Tennis Club and the newly opened Playford Tennis Centre), and thus particularly suitable for the conduct of larger (more important) tennis tournaments.

The Council's 2017 /2018 budget allocated funding of \$50,000 for the ongoing development of a building masterplan and the detailed design documentation to upgrade or replace the existing main clubroom building for the PGRTC. This project also included rationalisation of the remaining site building on the reserve.

New building works are now proposed to occur from 2018 / 2019 subject to the provision of further Council funding through the budget deliberations.

Discussion

Preliminary discussions held between tennis club representatives and the Administration have confirmed the Club's desire to consolidate the functions within the two existing buildings (as per the site aerial plan in **Attachment 1**) into a single clubroom facility. At present the easterly building is used by the Club's coaches and for storage, whilst the "central" building is utilised as a traditional clubroom, (with canteen, bar, social space, medical, office and WCs etc.).

This expressed Club desire (for a single rather than two separate clubroom buildings) also aligns with Council's asset management strategy which seeks the reduction and consolidation of discrete buildings into fewer or single (shared) clubroom facilities.

The 2013 Building Condition Audit of Council owned buildings confirmed that, at that time, both buildings were in average condition and their suitability was assessed as adequate (**Attachments 2 and 3**). However, given the Club's current operations and the success it presently enjoys in terms of participation numbers and rates, it is apparent that the existing facilities do not adequately meet its requirements. Further, whilst the suitability of the eastern building is assessed as adequate, this grading could only be realistically applied if it were to be used solely for storage purposes.

(Note - As with other instances, it should be noted that these audits were not intrusive in nature, and therefore recommended approximate expenditure to address compliance and other matters [identified as \$249,030 over a 10 year time horizon - in 2013 dollars] must be viewed as being conservative in nature.)

It is for the above reasons that funding to enable a Masterplan of the facility to be undertaken has been sought (and approved).

Architectural consultants have been engaged to assist facilitation of this process. Additionally, input and advice was sought from the peak sporting body (Tennis SA) early in the process in regards to necessary building facility considerations. This is particularly important as the Club has aspirations to conduct or hold significant / major tournaments at the facility.

There have been a number of meetings with the consultants, representatives from the PGRTC and the Administration to progress this initiative and a number of concepts have been produced (albeit these are basically minor variations on a similar theme e.g. with varied building setback distances from the tennis courts, etc.). Subsequent to these meetings and discussions the consultants produced a Draft Masterplan document (**Attachment 4**). This was provided to the Club and, following consideration of the concepts within that document, the Club has indicated its preference for "Option 2". As advised within this report, funding to proceed to detailed design has been provided via a previous budgetary process.

The proposed new clubroom building is more centralised than the existing building and features a large undercover deck area which will accommodate a large number of spectators and provides viewing opportunities to the main (and adjacent) competition courts. These criteria, i.e. maximisation of the decked area and the increase in the number of (on site) carparks, and also addressing and improving safety within the carpark, coupled with the need to upgrade the facilities, (particularly to accommodate changing facilities for female players) are deemed to be critical by the Club representatives for further ongoing success and to hold significant / major tournaments.

An indicative early high-level costing based on the Option 2 plan suggests a budgetary figure in the range of \$1.0 million to \$1.2 million for the project.

The existing 5+5 year lease which the Club holds over the buildings and courts expires in June 2018. A new lease will need to be negotiated and it is anticipated that this will occur in concert with the development of the new / upgraded facility (should funding be approved and the project proceed).

Conclusion

Following the provision of budgetary funding, a Masterplan has been developed in consultation with the Peake Gardens Riverside Tennis Club for a new clubroom facility at Peake Gardens Reserve. The Committee's (and Council's) endorsement of the Club's preferred option is sought to enable this project to proceed to detailed design documentation.


Attachments

- 1. Aerial plan - Peake Gardens Riverside Tennis Club site**
- 2. 2013 Building Condition Audit - Eastern Building**
- 3. 2013 Building Condition Audit - Central (Clubroom) Building**
- 4. Draft Masterplan - Peake Gardens Riverside Tennis Club**



1. Peake Gardens Complex - Riverside Tennis Clubrooms

1.1 Building Summary

Item	Description
	
Building ID: *(new item for 2012 report)	35909
Building Type	Club room
General Building Description	Single storey buildings used as a clubroom. It contains a main area and a kitchen
Building Construction Date	1950s – 1960s (est)
Floor Areas	79 m ²
Number of Levels	1
Required Building Condition Standard	S3 - Typical
Current Building Condition	3 - Average
Current Suitability	3 - Adequate
Functionality	Club room
Heritage Considerations	Nil

Peake Gardens Complex - Riverside Tennis Clubrooms

1.1.1 Suitability

This facility has been rated as a Suitability level of 3 – Adequate, based on the following:

- There are some code compliance issues which need to be addressed;
- On site car parking has been provided;
- The building is located amongst other council owned / community buildings;
- Change room facilities have not been provided;
- Toilet facilities have not been provided;
- Good disposition on the site.

1.2 General Condition

The building is in a poor to average condition. Many internal elements are old and should be scheduled for replacement.

1.2.1 Architectural

Externally:

Concrete block walls are in a satisfactory condition. Part of the roof has been recently replaced and is in a good condition. The timber supporting the eaves shows signs of wood rot, and the underside of the eaves is bubbling. We would recommend this be replaced.

Internally:

Internal fixtures/fitings have passed their life expectancy and will need replacing. These items include floor coverings and the kitchen. The ceilings are sagging and should also be replaced.

1.2.2 Disabled Access

The building is non compliant in a number of areas including:

- Non compliant entry (threshold step exists to door, clear opening dimension is non compliant);
- Nil access toilet (no toilet facilities at all exist within this building);
- Nil access car parking.

The Premises Standard (V2 – February 2013) prescribe national requirements for new buildings and where new building work is being undertaken in existing buildings in order to comply with the DDA in the areas and for the buildings covered by these Standard.

In this instance, compliance with the premises standards is not required unless the building is being upgraded.

Although compliance is not retrospective, GHD have recommended that the items noted above be addressed as part of the Councils DDA plan.

1.2.3 Other Compliance Issues:

Employers have a responsibility under state based Occupational Health & Safety Legislation to provide a safe work place for their employees including during emergencies.

Building owners also have a duty of care to make sure that occupants and visitors are safe in the building, including during emergencies.

The non-complying items that were noted during the inspection, which should be rectified, include:

- Evacuation plan (s) not displayed;

Peake Gardens Complex - Riverside Tennis Clubrooms

- Building does not contain any toilet facilities (public toilet facilities are provided to Peake Gardens Clubrooms located nearby);
- Non compliant asbestos register (does not show external cladding).

1.2.4 Structural

The building is in a sound structural condition. Nil structural defects were noted.

1.3 Services

1.3.1 Electrical

The electrical services in this building are limited to an external distribution board, ceiling mounted fluorescent lamps and some socket outlets.

Generally the services are aged but in reasonable condition.

The switchboard was inaccessible at the time of the inspection. Based on the condition of the remainder of the electrical services, we would expect it would be in sound condition, although we believe RCD protection would not be provided. Install RCD protection.

These are minor electrical issues that require rectification.

A power cable runs above a door and down to a freezer, We recommend a dedicated GPO be installed to serve this freezer.

There are no exit lights or emergency lights installed. The building floor area is less than 300m², therefore exit and emergency lights are not required under BCA requirements.

There is no security system in this building.

The issues recommended for prioritised attention as summarised below.

Priority 1	Install RCD Protection in the switchboard
Priority 2	Install new dedicated GPO for the freezer

1.3.2 Fire Detection

There are no smoke/thermal detectors installed. These are not required under BCA requirements due to the size of the building.

There are no items recommended for prioritised attention as summarised below:

Priority 1	Nil
Priority 2	Nil

1.3.3 Fire Protection

One Dry Chemical fire extinguisher is installed within this building. The extinguisher is mounted at high level and should be remounted at a lower level to meet code compliance.

The issues recommended for prioritised attention are summarised below.

Priority 1	Relocate extinguisher to lower height
Priority 2	Nil

Peake Gardens Complex - Riverside Tennis Clubrooms

1.3.4 Mechanical

There is no air conditioning or mechanical exhaust provided to this building. Outside air provisions are provided via openable doors and windows and would appear to meet the requirements of the BCA. There are no items recommended for prioritised attention as summarised below:

Priority 1	Nil
Priority 2	Nil

1.3.5 Hydraulics

The hydraulic system is minimal comprising water supply and drainage to one sink, which appears to be good condition.

Hot water is provided by an above bench boiling water unit. Whilst not a specific item of concern under OHS&W issues, we would generally recommend against the use of above bench boiling water units for use as the hot water supply to a sink due to scalding concerns. (We observed a sign above the sink advising "Hot Water Take Care"). We recommend a new under sink unit be installed to provide hot water to the sink to minimise these scalding issues.

There are no toilets installed within this building.

With the exception of minor plumbing issues, we do not expect any significant hydraulic work requirements.

The issues for prioritized attention are;

Priority 1	Nil
Priority 2	Install a new under sink hot water unit be installed to provide hot water to the sink instead of boiling water unit.

Peake Gardens Complex - Riverside Tennis Clubrooms

1.4 Cost Summary

Over a 10 year horizon, the building is projected to require approximately \$121,000 in expenditure on asset renewals, compliance and backlog maintenance. This estimate does not include any escalation or ongoing building maintenance such as cleaning and servicing of building components.

The table and charts provided below are a representation of a 10-year expenditure/works program. Will an allocation has been made for ablutions at this building we note the Peake Gardens Clubrooms located nearby have ablutions and the whole facility needs to be reviewed to determine if the shared arrangement is suitable.

Figure 1 Anticipated Expenditure by Code Category

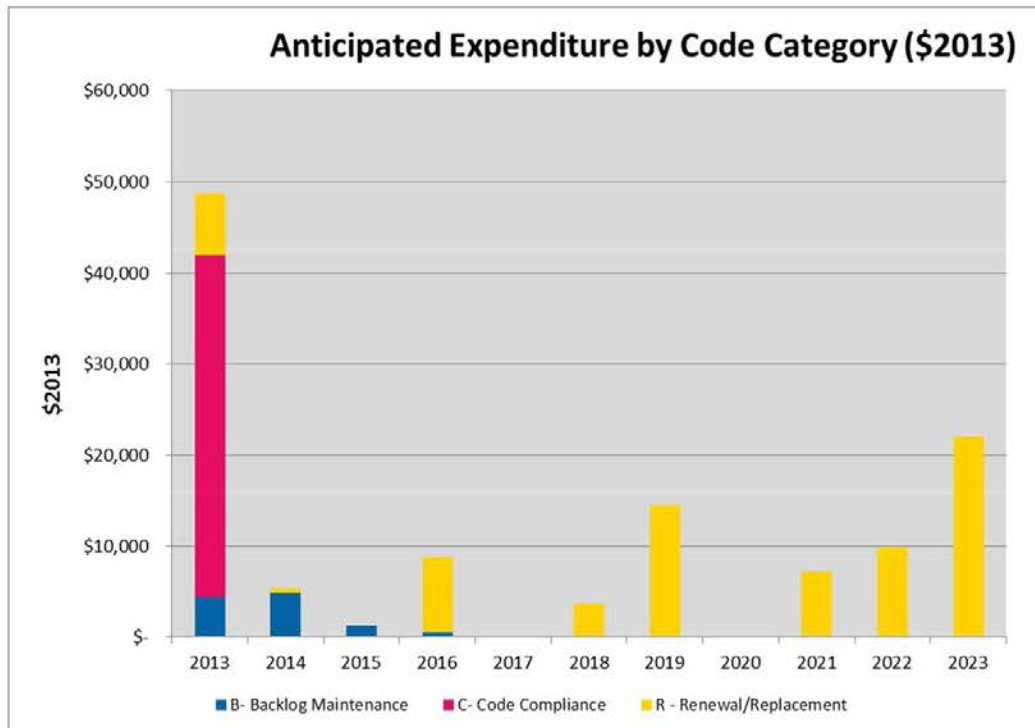


Table 1 and Figure 1 shows the anticipated renewal of a number of building elements, as well as funds allocated for the recommended backlog maintenance and compliance works including an allocation for funds to install DDA compliant facilities and refurbish the existing ablutions.

Table 1 10-year Forward Works Projection

Work Code	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	Total
B- Backlog Maintenance	\$ 4,400	\$ 4,800	\$ 1,200	\$ 500	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 10,900
C- Code Compliance	\$ 37,500	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 37,500
R - Renewal/Replacement	\$ 6,800	\$ 500	\$ -	\$ 8,300	\$ -	\$ 3,600	\$ 14,400	\$ -	\$ 7,200	\$ 9,800	\$ 22,000	\$ 72,600
Grand Total	\$ 48,700	\$ 5,300	\$ 1,200	\$ 8,800	\$ -	\$ 3,600	\$ 14,400	\$ -	\$ 7,200	\$ 9,800	\$ 22,000	\$ 121,000

Table 2 shows the anticipated expenditure by element group. This figure shows that there is a significant cost for works associated with compliance works including an allocation for funds to install DDA compliant facilities.


Peake Gardens Complex - Riverside Tennis Clubrooms

Table 2 Anticipated Expenditure by Element Group

Element Group	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	Grand Total
Building Ceiling Finishes	\$ 6,800	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,800
Building Door External	\$ -	\$ 300	\$ -	\$ -	\$ -	\$ -	\$ 600	\$ -	\$ -	\$ -	\$ 900	\$ 1,800
Building Filaments	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,000	\$ -	\$ -	\$ 500	\$ -	\$ 6,500
Building Floor Finishes	\$ 300	\$ -	\$ -	\$ 8,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 8,300
Building Furniture	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 600	\$ -	\$ 600
Building Roofing	\$ -	\$ 3,500	\$ 300	\$ -	\$ -	\$ -	\$ 4,000	\$ -	\$ 7,200	\$ 800	\$ 13,000	\$ 28,800
Building Wall External	\$ 3,300	\$ -	\$ -	\$ -	\$ -	\$ 3,600	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,900
Building Wall Finishes	\$ 800	\$ -	\$ 300	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 100	\$ 1,200
Disabled Access Services	\$ 36,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 36,000
Electrical Check	\$ 600	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 600
Electrical Services	\$ 300	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 5,000	\$ 5,300
Fire and Safety Services	\$ 600	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,000	\$ -	\$ 1,600
Hydraulic Services	\$ -	\$ 1,500	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,000	\$ 4,500
Landscaping	\$ -	\$ -	\$ 300	\$ -	\$ -	\$ -	\$ 2,800	\$ -	\$ -	\$ -	\$ -	\$ 3,100
Lighting Services	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 900	\$ -	\$ 900
Roads, Footpaths and Paved Areas.	\$ -	\$ -	\$ -	\$ 500	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500
Sanitary Fixtures	\$ -	\$ -	\$ 300	\$ 300	\$ -	\$ -	\$ 1,000	\$ -	\$ -	\$ -	\$ -	\$ 1,600
Window Coverings	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,000	\$ -	\$ 6,000
Grand Total	\$ 48,700	\$ 5,300	\$ 1,200	\$ 8,800	\$ -	\$ 3,600	\$ 14,400	\$ -	\$ 7,200	\$ 9,800	\$ 22,000	\$ 121,000

1. Peake Gardens Complex - Peake Gardens Tennis Clubrooms

1.1 Building Summary

Item	Description
	
Building ID:	35908
Building Type	Club room
General Building Description	Single storey buildings used as a clubroom. It contains a main area and other associated amenities, including kitchen and toilets
Building Construction Date	1950s – 1960s (est)
Floor Areas	79 m ²
Number of Levels	1
Required Building Condition Standard	S3 – Typical
Current Building Condition	3 – Average
Current Suitability	3 – Adequate
Functionality	Club room
Heritage Considerations	Nil

Peake Gardens Complex - Peake Gardens Tennis Clubrooms

1.1.1 Suitability

This facility has been rated as a Suitability level of 3 – Adequate, based on the following:

- There are some code compliance issues which need to be addressed;
- On site car parking has been provided;
- The building is located amongst other council owned / community buildings;
- Change room facilities have not been provided;
- Good disposition on the site.

1.2 General Condition

The building is in an average condition. Only minor defects were noted.

The attached toilet block was locked and chained, so we were unable to inspect. It appeared to be in a satisfactory condition, though the plastic sunlight screen was broken.

1.2.1 Architectural

Externally: Concrete block walls are in a satisfactory condition. This building has corrugated roof construction which appears to be in good condition. No visible signs of defects. Gutters line building and veranda in good condition and appear as new. .

Internally: Some internal fixtures/fittings have passed their life expectancy and will need replacing. These items include floor coverings, wet areas, kitchen etc. Note: female/access toilet facility is in good condition.

1.2.2 Disabled Access

The building is non compliant in a number of areas including:

- Access toilet provided within this facility not fully compliant with current regulations Uunisex facility provided, containing handrails. (Nil recommendations made; would need to be addressed if area was upgraded);
- Nil access car parking;
- Clearance dimensions to some internal doors are non compliant; (Nil recommendations made).

A ramp has been added from the main carpark to the porch, however the bottom plank is broken and may make access difficult.

The Premises Standard (V2 – February 2013) prescribe national requirements for new buildings and where new building work is being undertaken in existing buildings in order to comply with the DDA in the areas and for the buildings covered by these Standard.

In this instance, compliance with the premises standards is not required unless the building is being upgraded.

Although compliance is not retrospective, GHD have recommended that the items noted above be addressed as part of the Councils DDA plan.

1.2.3 Other Compliance Issues:

Employers have a responsibility under state based Occupational Health & Safety Legislation to provide a safe work place for their employees including during emergencies.

Building owners also have a duty of care to make sure that occupants and visitors are safe in the building, including during emergencies.

Peake Gardens Complex - Peake Gardens Tennis Clubrooms

The non-complying items that were noted during the inspection, which should be rectified, include:

- Evacuation plan (s) not displayed;
- Non-compliant access to roof to service / maintain plant and or equipment;
- Asbestos register was not visible at time of the inspection.

1.2.4 Structural

The building is in a sound structural condition. Cracking was noted to some areas, though these were limited to the plaster and can be repaired during painting work.

1.3 Services

1.3.1 Electrical

The electrical services to the building are aged, but appear to be in generally in reasonable condition.

Power to this building comprises an external main switchboard on the west side of the building, which we were unable to access. Externally, the board appeared to be in good condition. If the board has been replaced since our last inspection, we would assume that RCD protection was installed at this time.

The lighting generally comprises a mix of:

- Surface fluorescent luminaires;
- External Vandalites;
- Miscellaneous.

The internal and external lights generally appear to be in good condition. The light switches and electrical sockets appear in good condition.

The building has no emergency and exit lights, although not required under BCA due the size of the building being 300m^2 (79m²).

There is a security system in this building, however it does not work. This should be reinstated

The issues recommended for prioritised attention as summarised below.

Priority 1	Nil
Priority 2	Reinstate security system.

1.3.2 Fire Detection

A smoke detector is installed in the main room and appears in good condition.

There are no items recommended for prioritised attention as summarised below:

Priority 1	Nil
Priority 2	Nil

1.3.3 Fire Protection

There are no fire hose reels in this building. These are not required under BCA requirements due to the size of the building.

A dry chemical fire extinguisher is installed in the main room at 1860mm, which is higher than the code recommended 1200mm. We recommend it be installed at a lower level.

The issues recommended for prioritised attention are summarised below.

Peake Gardens Complex - Peake Gardens Tennis Clubrooms

Priority 1	Install fire extinguisher at a lower level
Priority 2	Nil

1.3.4 Mechanical

A ducted air conditioner that serves the main room has been installed in the last 5 years and appears to be in good condition. Outside air provisions are provided via openable doors and windows and would appear to meet the requirements of the BCA.

Ventilation to the toilets is provided via openable windows and would appear to meet the requirements of the BCA.

There are no items recommended for prioritised attention as summarised below:

Priority 1	Nil
Priority 2	Nil

1.3.5 Hydraulics

We were unable to access the store room, which we would assume houses the hot water unit. We expect that this has been replaced since our last inspection.

The water supply and sanitary drainage systems generally appear aged but in sound condition.

With the exception of minor plumbing issues, we do not expect any significant hydraulic work requirements.

There are no items recommended for prioritised attention as summarised below:

Priority 1	Nil
Priority 2	Nil

Peake Gardens Complex - Peake Gardens Tennis Clubrooms

1.4 Cost Summary

Over a 10 year horizon, the building is projected to require approximately \$128,030 in expenditure on asset renewals, compliance and backlog maintenance. This estimate does not include any escalation or ongoing building maintenance such as cleaning and servicing of building components.

The table and charts provided below are a representation of a 10-year expenditure/works program. The expenditure is generally related to an allowance for DDA compliance, backlog maintenance and elements reaching their end of useful life.

Figure 1 Anticipated Expenditure by Code Category

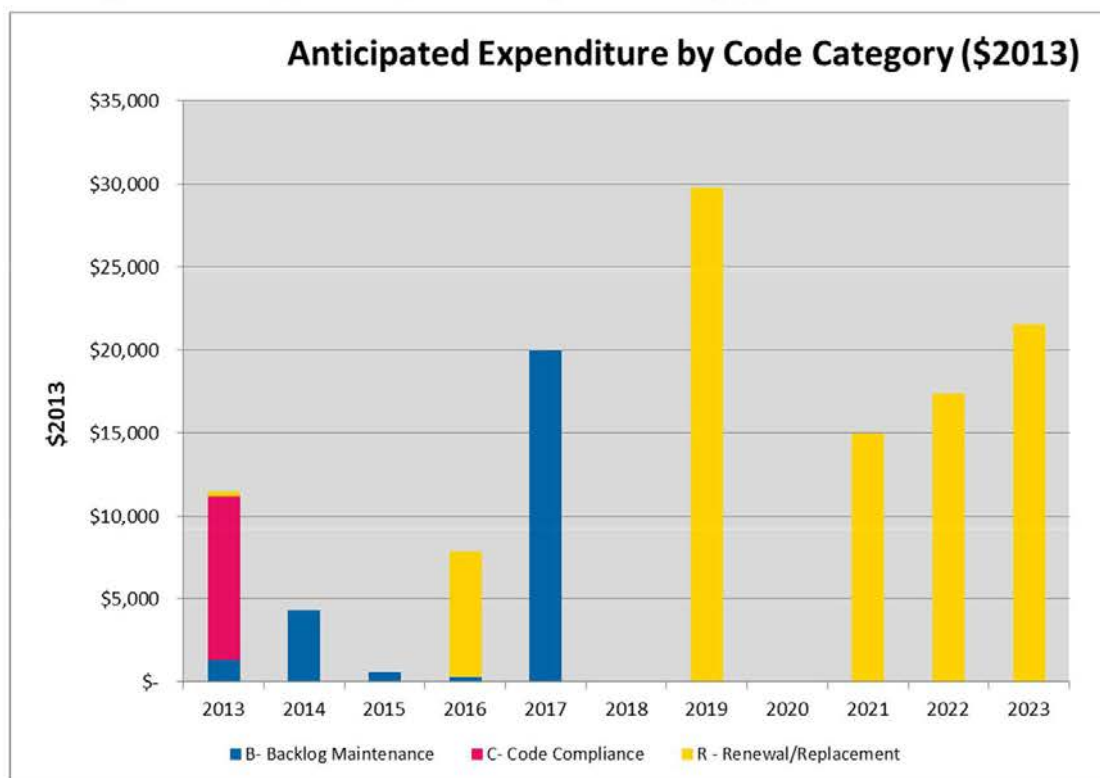


Table 1 and Figure 1 shows the anticipated renewal of a number of building elements, as well as funds allocated for the recommended backlog maintenance and compliance works including an allocation for funds to refurbish internal areas of the building.

Table 1 10-year Forward Works Projection

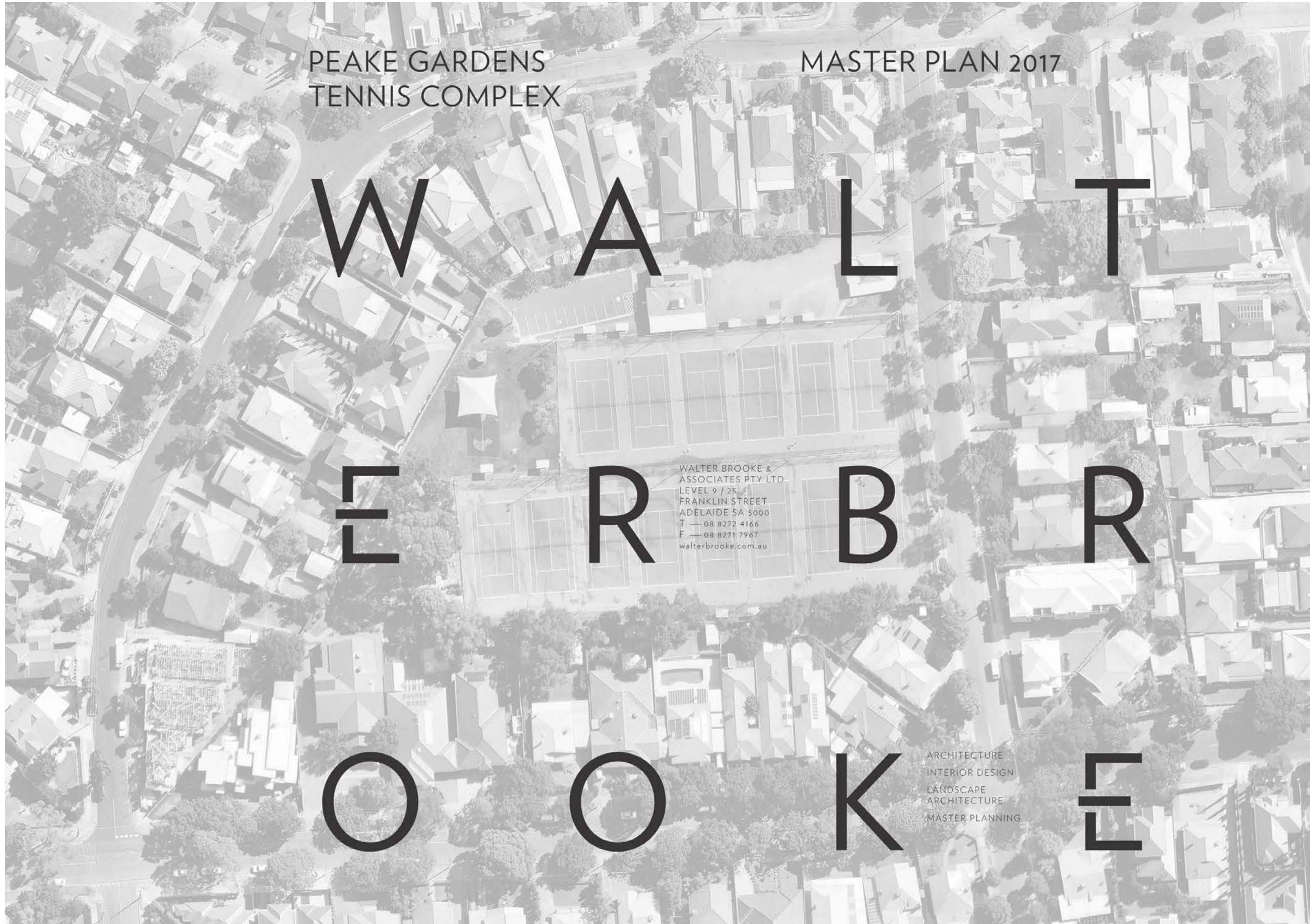
Work Code	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	Total
B- Backlog Maintenance	\$ 1,300	\$ 4,300	\$ 600	\$ 300	\$ 20,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 26,500
C- Code Compliance	\$ 9,900	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 9,900
R - Renewal/Replacement	\$ 300	\$ -	\$ -	\$ 7,530	\$ -	\$ -	\$ 29,800	\$ -	\$ 15,000	\$ 17,400	\$ 21,600	\$ 91,630
Grand Total	\$ 11,500	\$ 4,300	\$ 600	\$ 7,830	\$ 20,000	\$ -	\$ 29,800	\$ -	\$ 15,000	\$ 17,400	\$ 21,600	\$ 128,030

Table 2 shows the anticipated expenditure by element group.

Peake Gardens Complex - Peake Gardens Tennis Clubrooms

Table 2 Anticipated Expenditure by Element Group

Element Group	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	Grand Total
Alterations and Renovations	\$ -	\$ -	\$ -	\$ -	\$ 20,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 20,000
Building Door External	\$ -	\$ 600	\$ -	\$ -	\$ -	\$ -	\$ 1,200	\$ -	\$ -	\$ 1,200	\$ -	\$ 3,000
Building Door Internal	\$ -	\$ 500	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500	\$ 1,200	\$ 2,200
Building Fitments	\$ -	\$ 500	\$ -	\$ 300	\$ -	\$ -	\$ 700	\$ -	\$ -	\$ 5,000	\$ -	\$ 6,500
Building Floor Finishes	\$ 300	\$ 500	\$ -	\$ 1,530	\$ -	\$ -	\$ 12,900	\$ -	\$ -	\$ -	\$ -	\$ 15,230
Building Furniture	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,300	\$ -	\$ 1,300
Building Roofing	\$ 6,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,200	\$ -	\$ -	\$ -	\$ 14,400	\$ 21,600
Building Wall External	\$ 300	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 300
Building Wall Finishes	\$ -	\$ 500	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500
Building Walls Internal	\$ -	\$ 500	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 500
Building Windows	\$ -	\$ 300	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,500	\$ -	\$ 2,800
Catering Services	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,000	\$ -	\$ 1,000
Disabled Access Services	\$ 3,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,000
External Stormwater Drainage	\$ -	\$ 300	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 300
Fire and Safety Services	\$ 600	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,000	\$ -	\$ 1,600
Hydraulic Services	\$ -	\$ 300	\$ -	\$ -	\$ -	\$ -	\$ 3,000	\$ -	\$ -	\$ -	\$ 6,000	\$ 9,300
Lighting Services	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,000	\$ -	\$ 3,000
Medical Services	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 300	\$ -	\$ -	\$ -	\$ -	\$ 300
Roads, Footpaths and Paved Areas.	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 15,000	\$ -	\$ -	\$ 15,000
Sanitary Fixtures	\$ -	\$ -	\$ 600	\$ -	\$ -	\$ -	\$ 6,500	\$ -	\$ -	\$ 900	\$ -	\$ 8,000
Sanitary Plumbing	\$ -	\$ 300	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 300
Security Systems	\$ 1,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 4,000	\$ -	\$ -	\$ -	\$ -	\$ 5,000
Site Fitments	\$ -	\$ -	\$ -	\$ 6,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,000
Structure Internal Finishes	\$ 300	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 300
Time Keeping	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 100	\$ -	\$ 100
Window Coverings	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 900	\$ -	\$ 900
Grand Total	\$ 11,500	\$ 4,300	\$ 600	\$ 7,830	\$ 20,000	\$ -	\$ 29,800	\$ -	\$ 15,000	\$ 17,400	\$ 21,600	\$ 128,030



PEAKE GARDENS
TENNIS COMPLEX

MASTER PLAN 2017

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MASTER PLANNING

OCTOBER 2017
16-5385

PEAKE GARDENS TENNIS COMPLEX

MASTER PLAN 2017

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WALTERBROOKE

- 1.0 Introduction
- 2.0 Existing Site
- 3.0 Proposed Options
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1.0



INTRODUCTION

The City of West Torrens has approached Walter Brooke to undertake a master plan review of the Peake Gardens Tennis Club. Walter Brooke has engaged the assistance of Peter Leipus from Sport Dev to advise on the type of amenity that would be suitable for this venue.

EXISTING CLUB

The club currently has 14 courts used by people from all levels of both competitive and social tennis. It is the State's second largest tennis complex after Memorial Drive and 12 of the 14 courts have recently had floodlights installed that are tournament standard.

The club currently gains a lot of revenue from the hiring of the courts. Currently there are two access points for vehicles on the eastern and western sides of the site.

THE WAY FORWARD

The masterplan and design for new clubrooms at Peake Gardens has been brought about from a council wide strategy to consolidate existing buildings and assets. The requirement moving forward is to create a central and accessible facility that houses the needs of the club and enables them to run as both a social tennis club and a regional tennis center.

BRIEFING REQUIREMENTS

- Central Location.
- Tournament office fully visible.
- External canteen.
- Elevated viewing deck (wind protection required from west).
- External access to toilets.
- External access for coaches.
- Meeting / Multipurpose room.
- First Aid / massage / medical room required for tournaments with 120 plus children.
- Toilets / showers two per sex recommended (toilet numbers to be compliant with BCA).
- Merchandise storage.
- Allow space for 100 people for presentation (hire for events to members only).
- Integrated BBQ.
- Child / player lounge area.
- Storage for bar / toilets.
- Dedicated area for bags.
- Space for memorabilia.
- Restringing area (3m x 2m) – lockable.

2.0

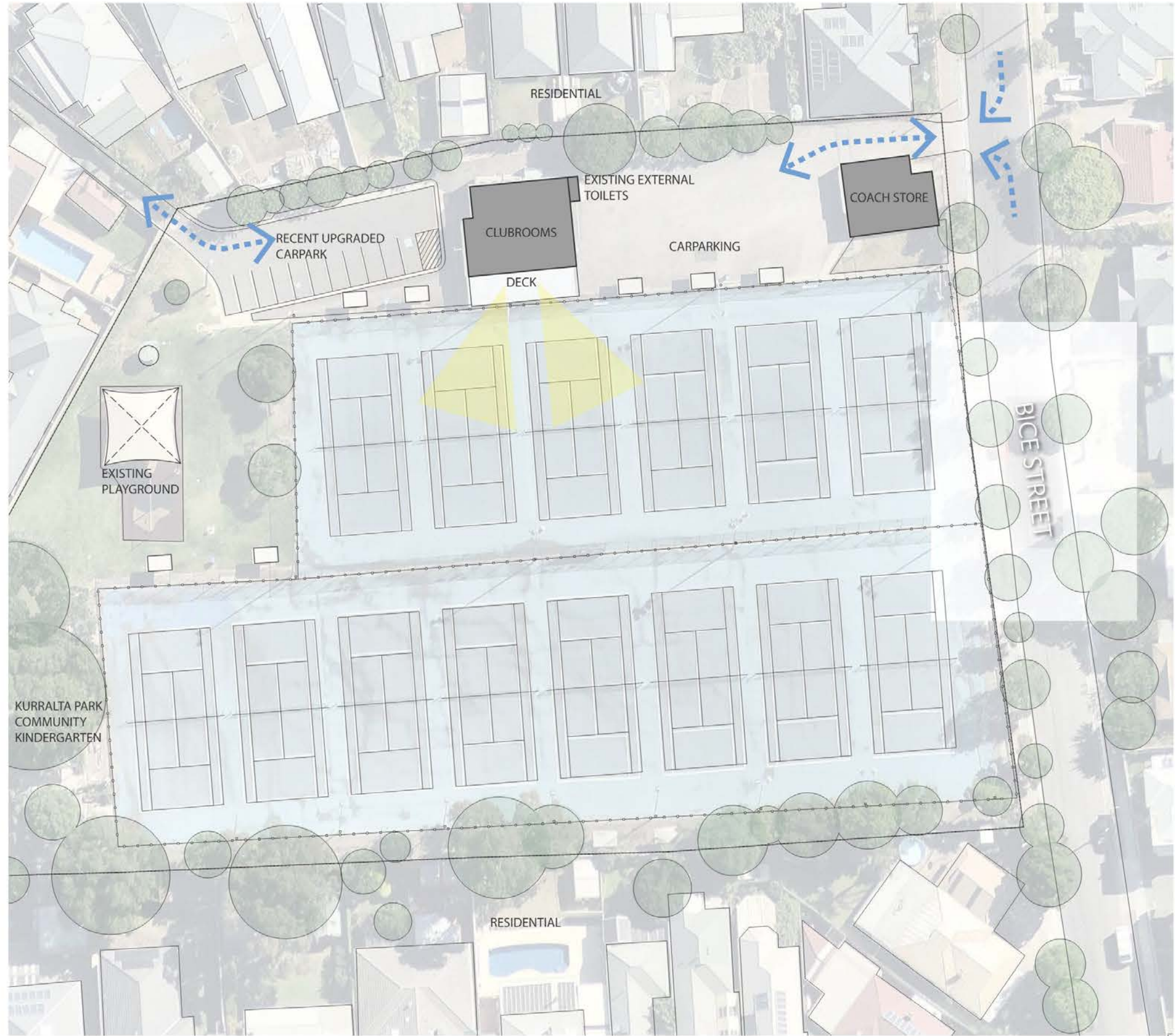
WALTERBROOKE

EXISTING SITE

2.1

EXISTING SITE

- EXISTING BUILDINGS
- VIEWING
- ACCESS



3.0

PEAKE GARDENS
TENNIS COMPLEX

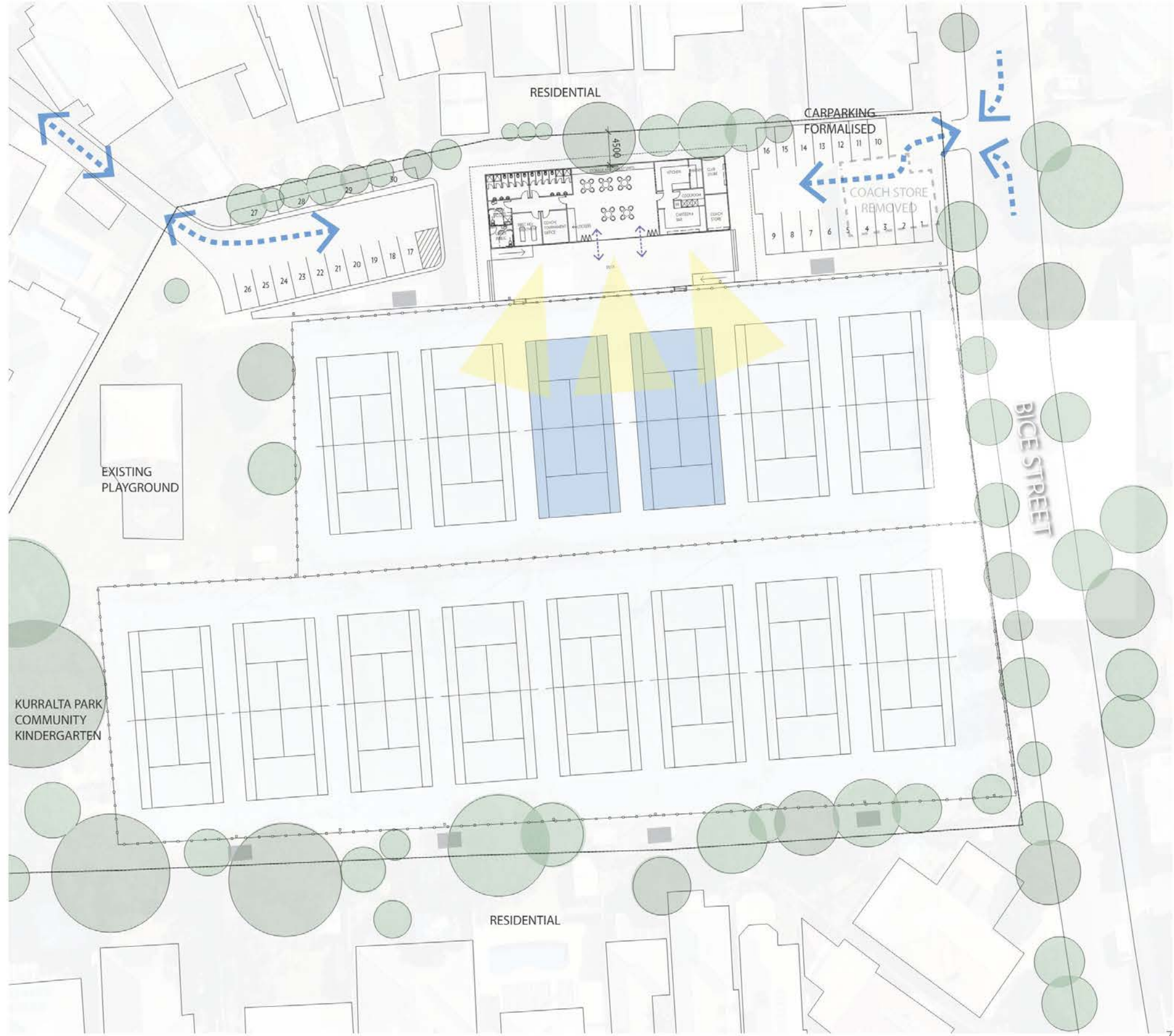
PROPOSED
OPTIONS

3.1

OPTION 1



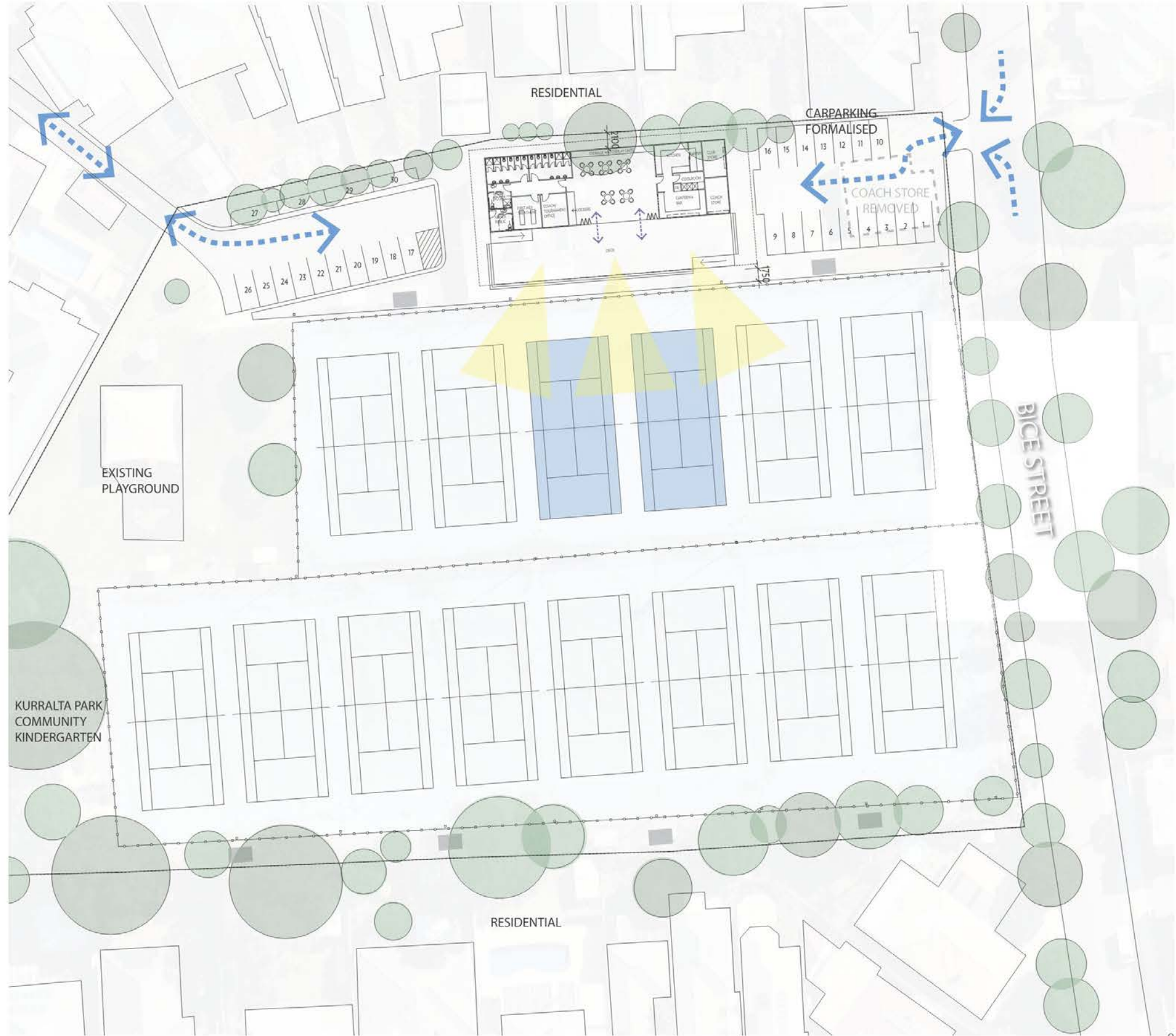
- SHOWCOURTS
- VIEWING
- ACCESS



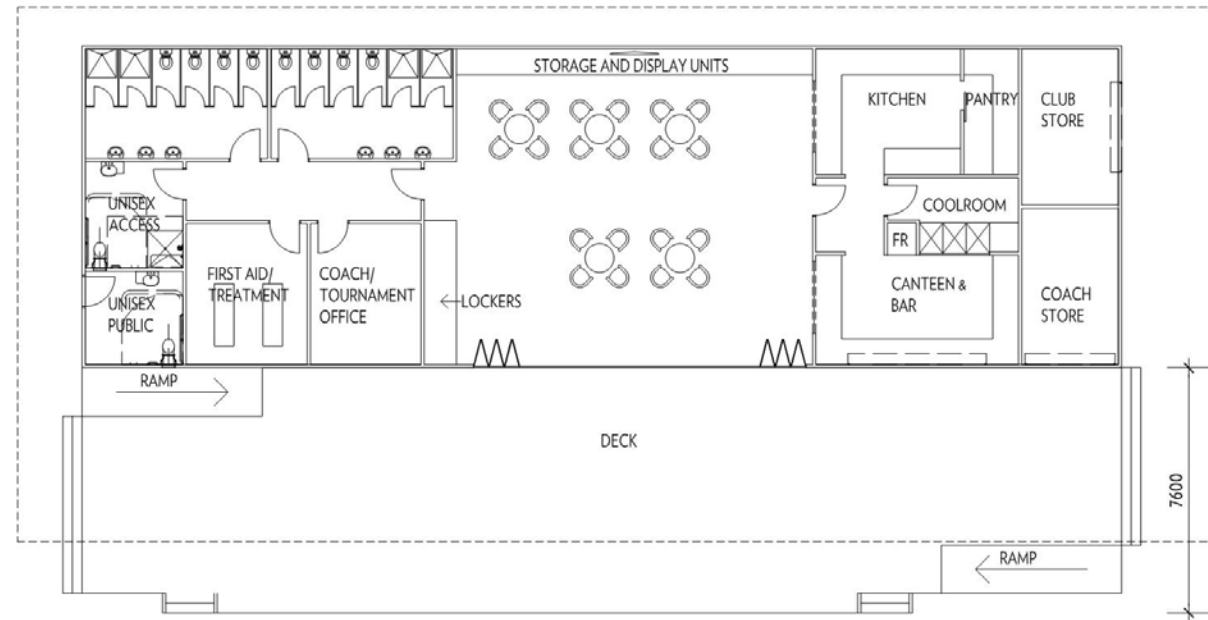
3.2

OPTION 2

- SHOWCOURTS
- VIEWING
- ACCESS



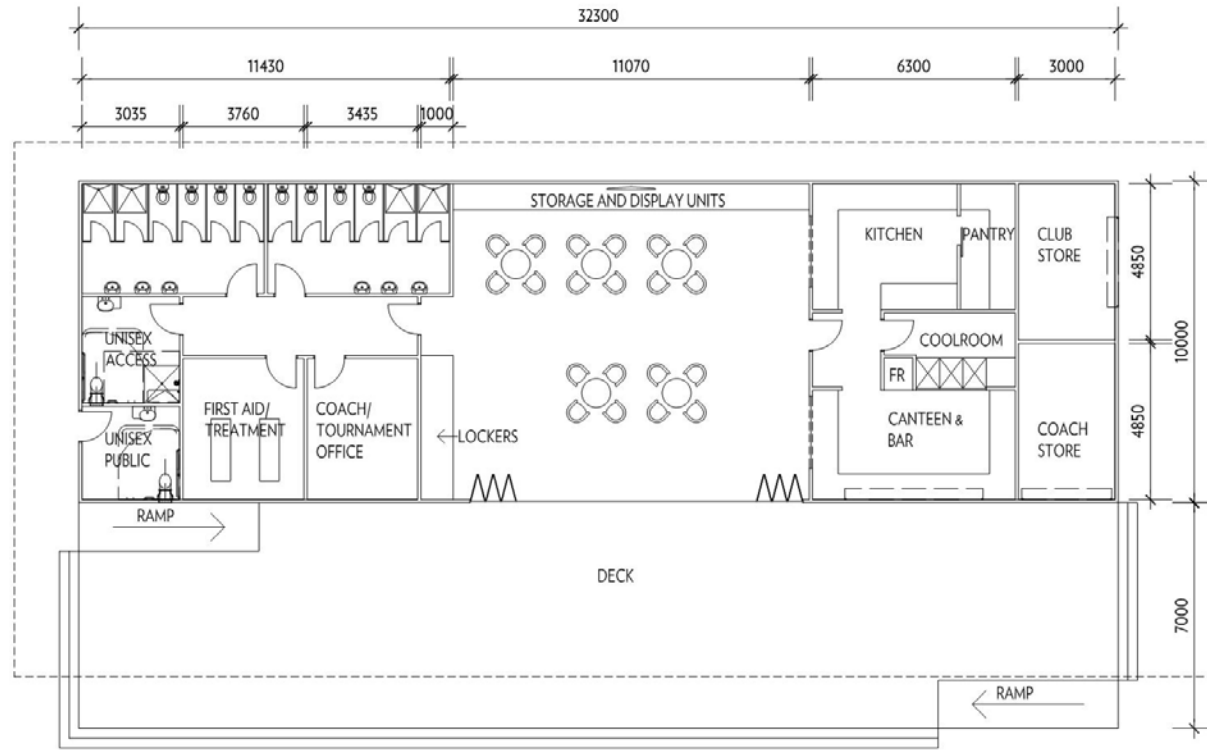
3.3



KITCHEN	- 18 m2
PANTRY	- 6 m2
CANTEEN	- 21 m2
COOLROOM	- 12 m2
CLUBROOM	- 114 m2
COACH STORE	- 15 m2
CLUB STORE	- 15 M2
COACH OFFICE	- 15 m2
FIRST AID	- 16 m2
MALE TOILET	- 20 m2
FEMALE TOILET	- 20 m2
ACCESS	- 10 m2
PUBLIC	- 8 m2
DECK	- 221 m2

OPTION 1

- DECK GOES UP TO FENCE OF TENNIS COURT
- RAMP ACCESS FROM BOTH SIDES



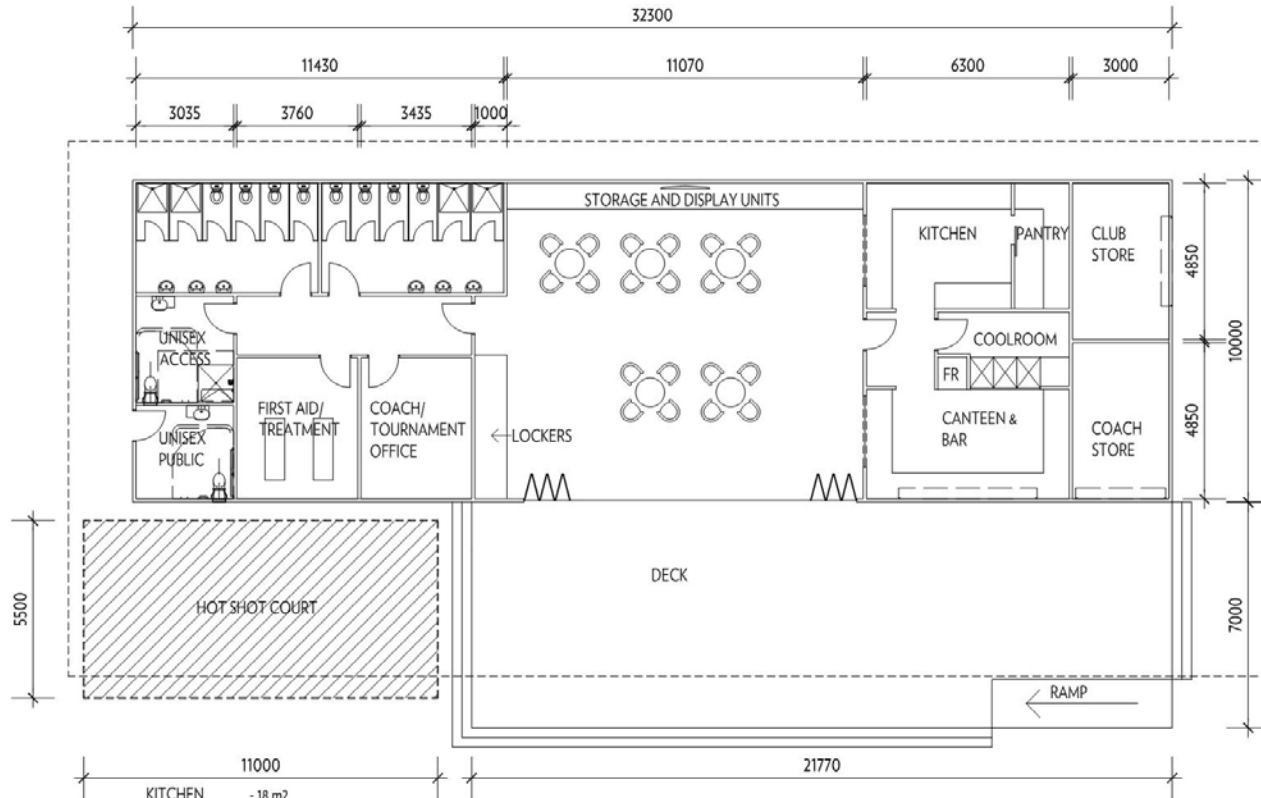
KITCHEN	- 18 m2
PANTRY	- 6 m2
CANTEEN	- 21 m2
COOLROOM	- 12 m2
CLUBROOM	- 114 m2
COACH STORE	- 15 m2
CLUB STORE	- 15 M2
COACH OFFICE	- 15 m2
FIRST AID	- 16 m2
MALE TOILET	- 20 m2
FEMALE TOILET	- 20 m2
ACCESS	- 10 m2
PUBLIC	- 8 m2
DECK	- 209 m2

OPTION 2

- DECK SET BACK FROM FENCE OF TENNIS COURTS
- ACCESS IN FRONT OF DECK
- STEPS/SEATS AT FRONT OF DECK

DRAWN BY: AUP
[1:200] (scaled) (1:5-5:85) peake gardens tennis centre clubroom design plan - drawing
This drawing was prepared on: Wed Oct 04 2017 @ 09:00

3.4



KITCHEN	- 18 m2
PANTRY	- 6 m2
CANTEEN	- 21 m2
COOLROOM	- 12 m2
CLUBROOM	- 114 m2
COACH STORE	- 15 m2
CLUB STORE	- 15 m2
COACH OFFICE	- 15 m2
FIRST AID	- 16 m2
MALE TOILET	- 20 m2
FEMALE TOILET	- 20 m2
ACCESS	- 10 m2
PUBLIC	- 8 m2
DECK	- 144 m2

OPTION 3

- DECK OFFSET AS IN OPTION 2
- ABILITY TO HAVE AN UNDER SHELTER AREA THE SIZE OF A HOT SHOT COURT
- POTENTIAL SCREENING AT THE WEST WONT BLOCK OFF VIEWS FROM DECK

DRAWN BY: MJP
 G:\projects\16-5385-01\16-5385-01-peake-gardens-tennis-centre\clubroom-plans\option-3\option-3.dwg
 The drawing was printed on: 16/11/2017 @ 09:30

4.0

PEAKE GARDENS
TENNIS COMPLEX

LOOK & FEEL/
DESIGN
INTENTIONS

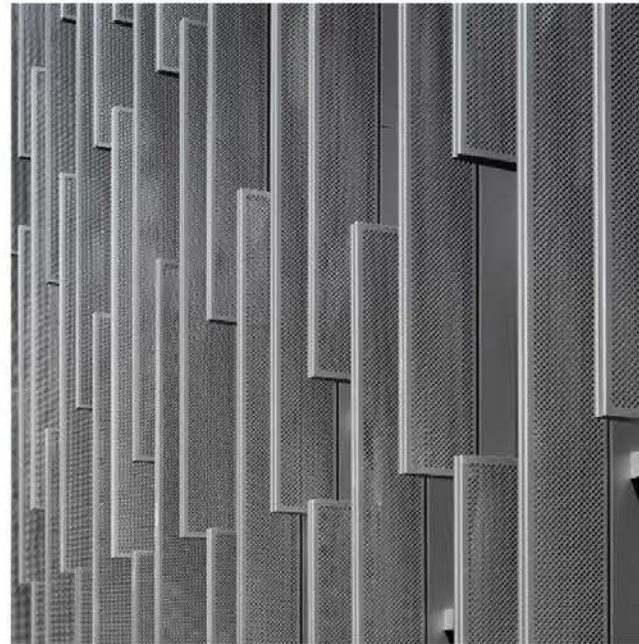
4.1

DESIGN
INTENTIONS



4.1

DESIGN
INTENTIONS

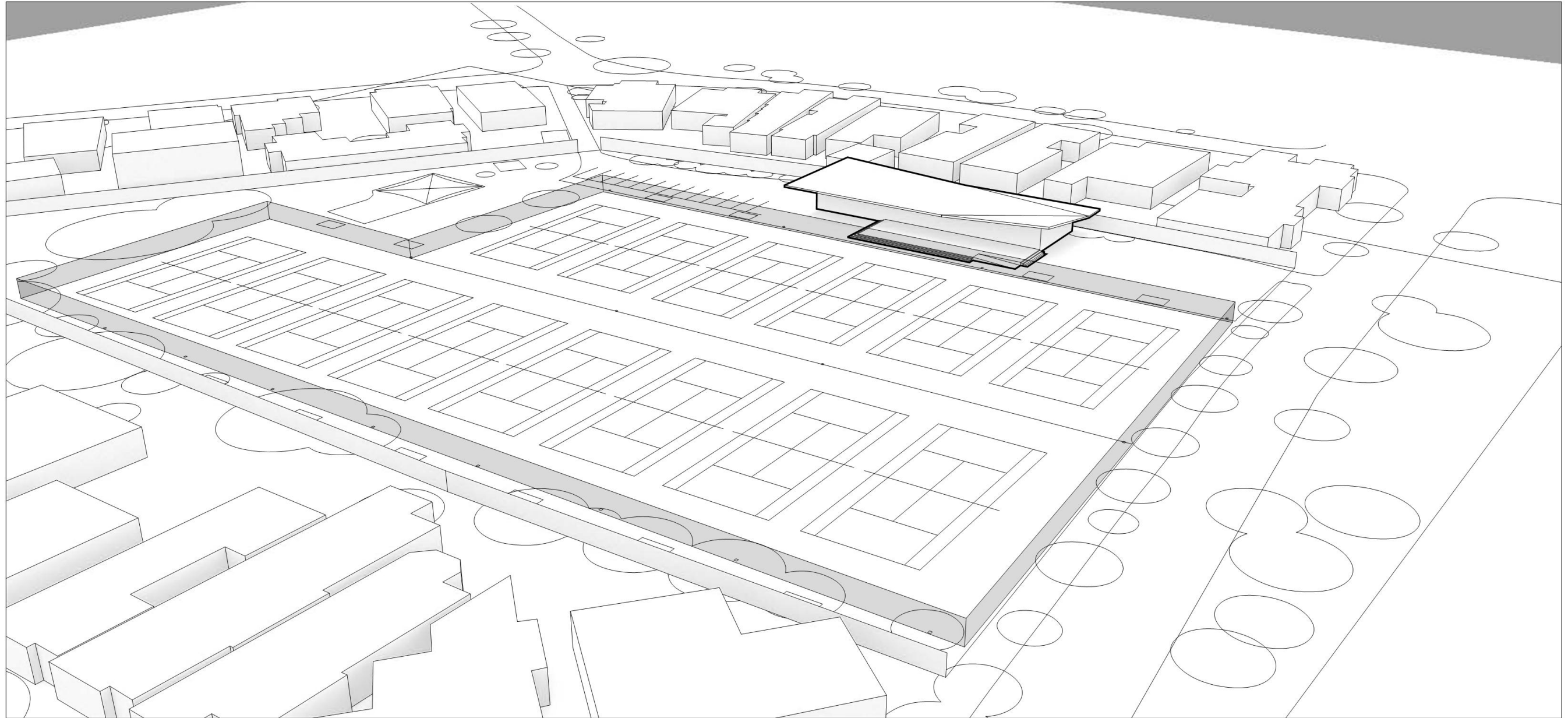


5.0

PEAKE GARDENS
TENNIS COMPLEX

FORM

5.1



8.6 Torrensville Bowling Club - Update

Brief

This report provides Committee Members with an update in relation to the Torrensville Bowling Club project.

RECOMMENDATION

The Committee recommends to Council that:

1. The report be noted.
2. The amendment to the proposed new carpark be endorsed in accordance with the staged plan provided at Attachment 2 (to limit the number of carparks to be provided for the bowling club redevelopment to an additional 13 or so carparks) and that access to the proposed carpark be from the existing access road off Ashley Street, opposite Danby Street.

Introduction

At its meeting of 26 September 2017 the Committee was advised that:

- the Torrensville Bowling Club (TBC) had been unsuccessful in its attempts to secure additional grant funding to allow the clubhouse to be constructed, ostensibly at the same time as the synthetic green and shade cover (which would require a minor amendment to the new lease agreement);
- as a result of this, there may be a need for Council and/or the Club to address some structural issues that are evident in the existing clubroom building;
- the Administration anticipated providing copies of the Deed of Variation to the South Australian Amateur Football League (SAAFL) and the new lease to the TBC in the near future; and
- the design of the new water feature / drainage wetland pond had been completed and that the procurement process for this has now been finalised.

Discussion

Lease Documentation

Following provision of a final plan by consultants acting on behalf of the Torrensville Bowling Club (TBC) on 11 September 2017 (which was also necessary to assist with the definition of the amended boundaries for the SAAFL lease), the Administration sought the production of executable copies of the Deed of Variation from its solicitors for the South Australian Amateur Football League (SAAFL) lease on 6 October 2017 and, also at this time, executable copies of the Torrensville Bowling Club lease.

The Deed of Variation and lease documents were received from Council's solicitors on 11 October 2017 and the Deed was hand-delivered to the SAAFL for execution on 12 October 2017. It was executed by SAAFL's signatories on 31 October 2017, collected from the SAAFL on 1 November 2017 and executed by Council's signatories on 3 November 2017.

As previously advised, given that portion of the land required for the bowling club redevelopment was held under lease by SAAFL, it was necessary for the SAAFL Deed of Variation to be executed prior to the new lease agreement for the TBC being executed. Given this, provision of the executable copies of the new lease to the TBC did not occur until after this time. The TBC lease documents were hand delivered to the bowling club on 7 November 2017.

The Torrensville Bowling Club is currently undertaking a final review of the lease and has sought clarification in regard to a number of matters. The Administration is working through this process with the Club and it is hoped that the lease will be executed shortly by the Club and returned to Council for execution by Council's signatories.

Development Application

The plans submitted by the Club for the development application are included in this report for the benefit of the Committee Members (**Attachment 1**).

Public consultation in regard to the proposed redevelopment commenced on 31 October 2017 and concluded on 15 November 2017. (The consultation occurred as the proposed works were classified as a Category 3 development.) A number of submissions have been received resulting from this notification and a number of parties have indicated that they wish to make representations to the Council Assessment Panel.

All of the submissions relate not specifically to the project itself (i.e. construction of the new shade structure etc.) but to the extent and location of the proposed new carpark on the southern side of the Thebarton Oval complex. The plans lodged with the development application relating to the carpark identified parking for 86 cars within the proposed carpark. The location and size of the proposed carpark was initially introduced to the public via the Draft Masterplan for Kings Reserve and Thebarton Oval, and given the need or demand for further off-road car parking to supplement the existing and the lack of negative comment in relation to this aspect of the draft Masterplan, it was determined that the carpark will be included for construction as part of the bowling club redevelopment project (although the development itself - without the new club room building - only requires the provision of an additional 10 carparks for the additional bowling rinks).

However, as a result of the submissions that have been received, the Administration has re-evaluated the decision to construct the entire carpark at this time and instead is suggesting that initially the extent of the carpark can be limited and construction be staged as indicated within the attached plan (**Attachment 2**).

It is noted that the number of carparks to be provided within this initial stage will be limited to an approx. additional 13 carparks (15 in total, 2 of which replace the carparks adjacent to, and on the western side of the playground and bocce shed) and that the entrance to be used to service this carpark will be the same as that which is currently used to access the two existing carparks (from Ashley Street and opposite Danby Street).

It is considered that these amendments, i.e. reduction in the number of carparks to be provided (from 86 to an additional 13 carparks) and use of the existing entry from Ashley Street will address the representors' concerns.

Water Feature / Wetland Project

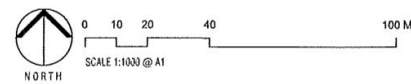
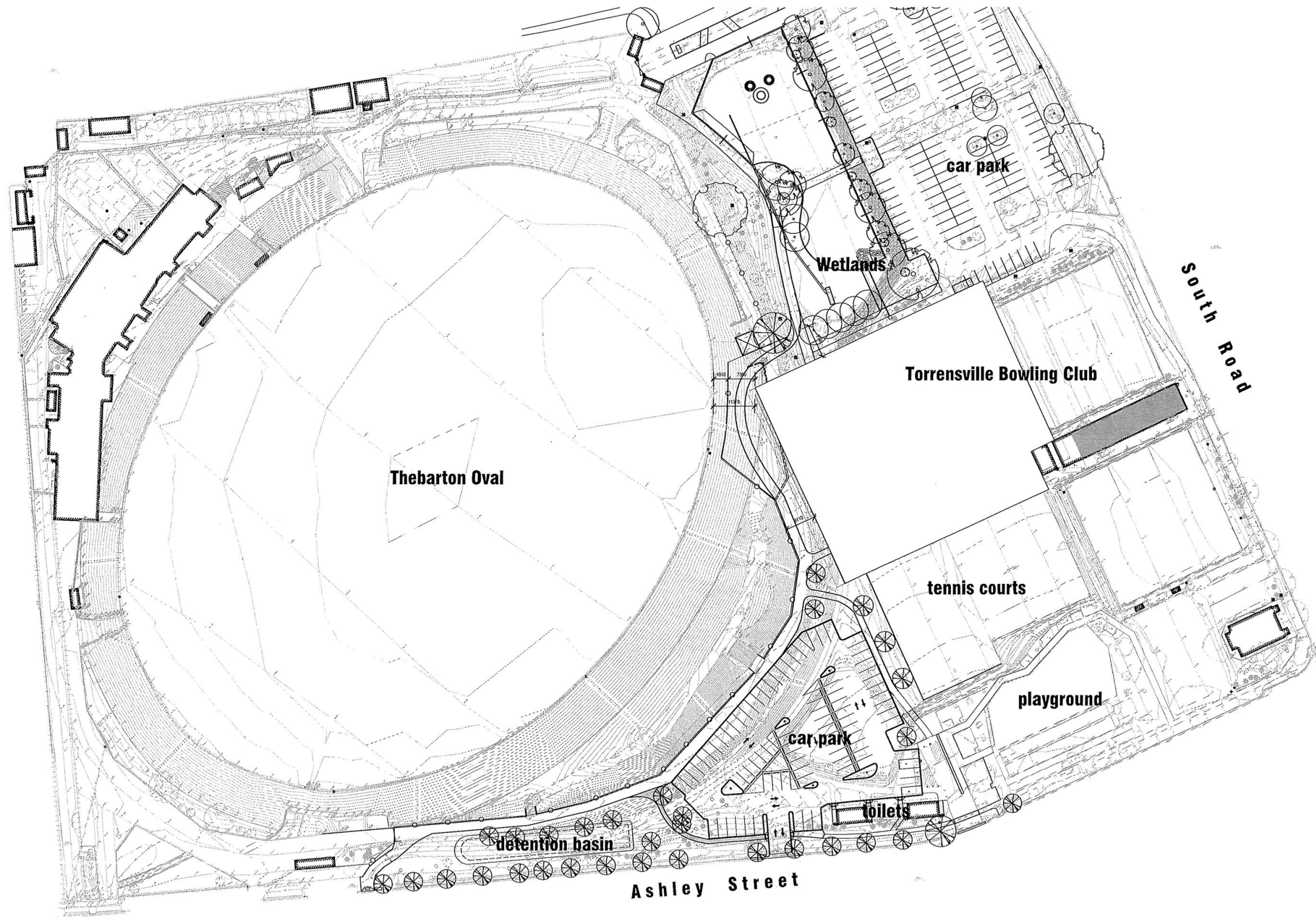
The tender has now been awarded for the water feature / wetland project. It is anticipated that these works will commence in mid-January 2018 and that they will be completed during May 2018.

Conclusion

The Torrensville Bowling Club and the Administration have continued to progress matters associated with the redevelopment of the Club. The required Deed of Variation has been executed by the SAAFL and lease documentation has been provided to the Torrensville Bowling Club. Whilst some queries have been raised by the Club regarding the lease it is hoped that these can be addressed and that the Club will shortly execute the agreement.

Attachments

- 1. Development Application Plans Torrensville Bowling Club**
- 2. Proposed Car Park Staged Construction**



Revision	Date	Issue

**swanbury
penglase**
architects of
human space



Kings Reserve, Thebarton

City of West Torrens

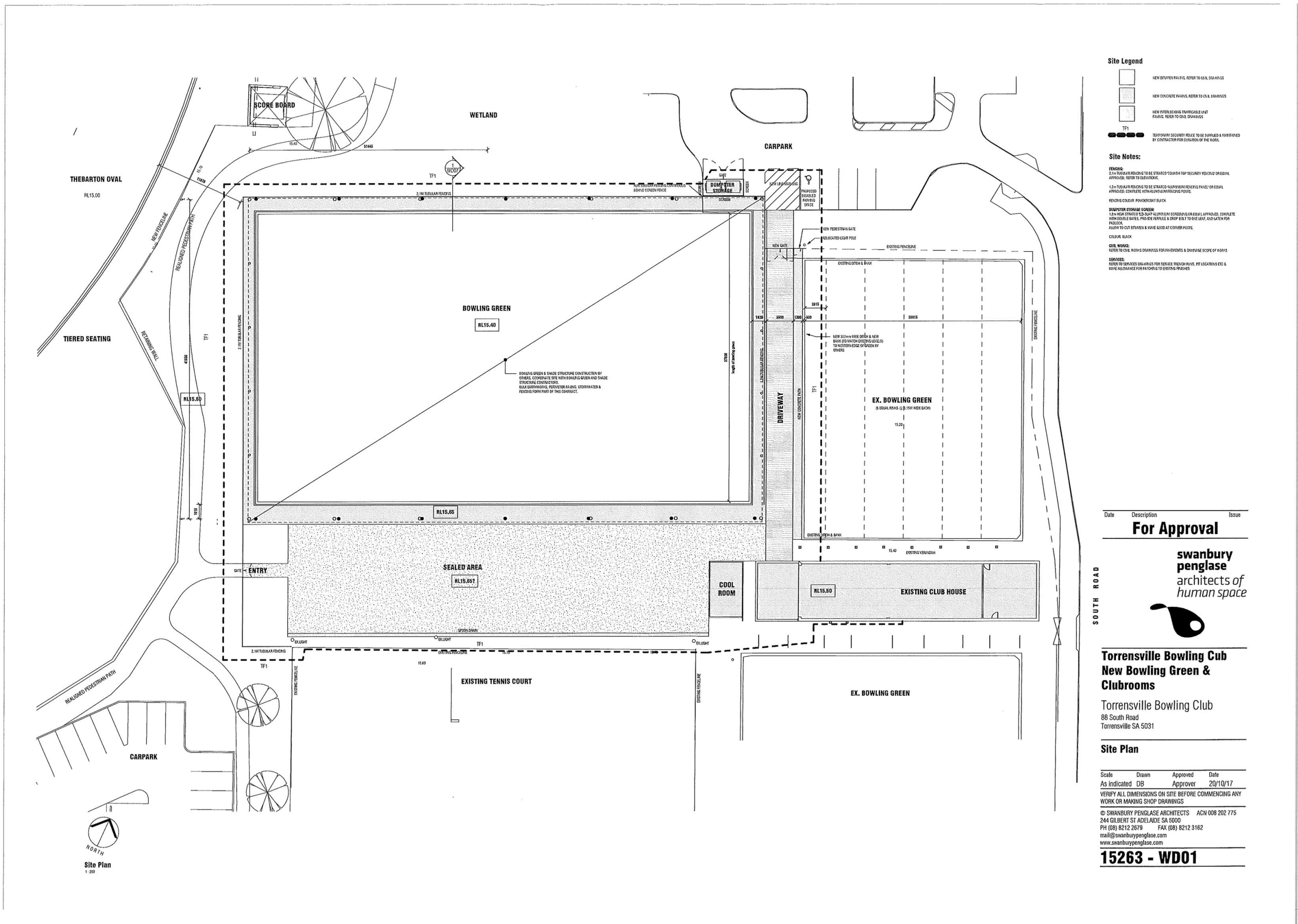
Site Plan

Scale	Drawn	Approved	Date
1:200@A1	DB		25.09.2017

VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS

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244 GILBERT ST ADELAIDE SA 5000
PH (08) 8122 2679 FAX (08) 8122 3162
mail@swanburypenglase.com
www.swanburypenglase.com

15263 WD18



- Site Legend**
- NEW BRICKEN PAVING REFER TO CIVIL DRAWINGS
 - NEW CONCRETE PAVING REFER TO CIVIL DRAWINGS
 - NEW INTERLOCKING TRAFFICABLE UNIT PAVING REFER TO CIVIL DRAWINGS
 - TF1
 - TEMPORARY SECURITY FENCE TO BE SUPPLIED & INSTALLED BY CONTRACTOR FOR DURATION OF THE WORK.
- Site Notes:**
- FENCING:** 2.1m TUBULAR FENCING TO BE STANCO TUBULAR TOP SECURITY FENCING OR EQUAL APPROVED. REFER TO ELEVATIONS.
 - 1.2m TUBULAR FENCING TO BE STANCO TUBULAR FENCING PANEL OR EQUAL APPROVED. COMPLETE WITH ALUMINIUM FABRICIOUS POSTS.
 - FENCING COLOUR: POWDERCOAT BLACK.
 - DOUBLE GATEWAY SCREEN:** 1.8m HIGH STANCO 52-54P ALUMINIUM SCREENING OR EQUAL APPROVED. COMPLETE WITH DOUBLE GATES. PROVIDE HORIZONTAL & DROP BOLT TO ONE LEAF AND LATCH FOR PROTECT.
 - ALLOW TO CUT RETURN & SHAKE GOOD AT CORNER POSTS.
 - COLOUR: BLACK.
 - CIVIL WORK:** REFER TO CIVIL WORKS DRAWINGS FOR FOUNDATIONS & GRADIENT SCOPE OF WORKS.
 - SEWERAGE:** REFER TO SERVICES DRAWINGS FOR SERVICE TRENCHES, PIT LOCATIONS ETC & MAKE ALLOWANCE FOR FACTORING TO EXISTING PIPES.

Date	Description	Issue
	For Approval	

swanbury penglase
architects of human space

**Torrensville Bowling Club
New Bowling Green &
Clubrooms**

Torrensville Bowling Club
88 South Road
Torrensville SA 5031

Site Plan

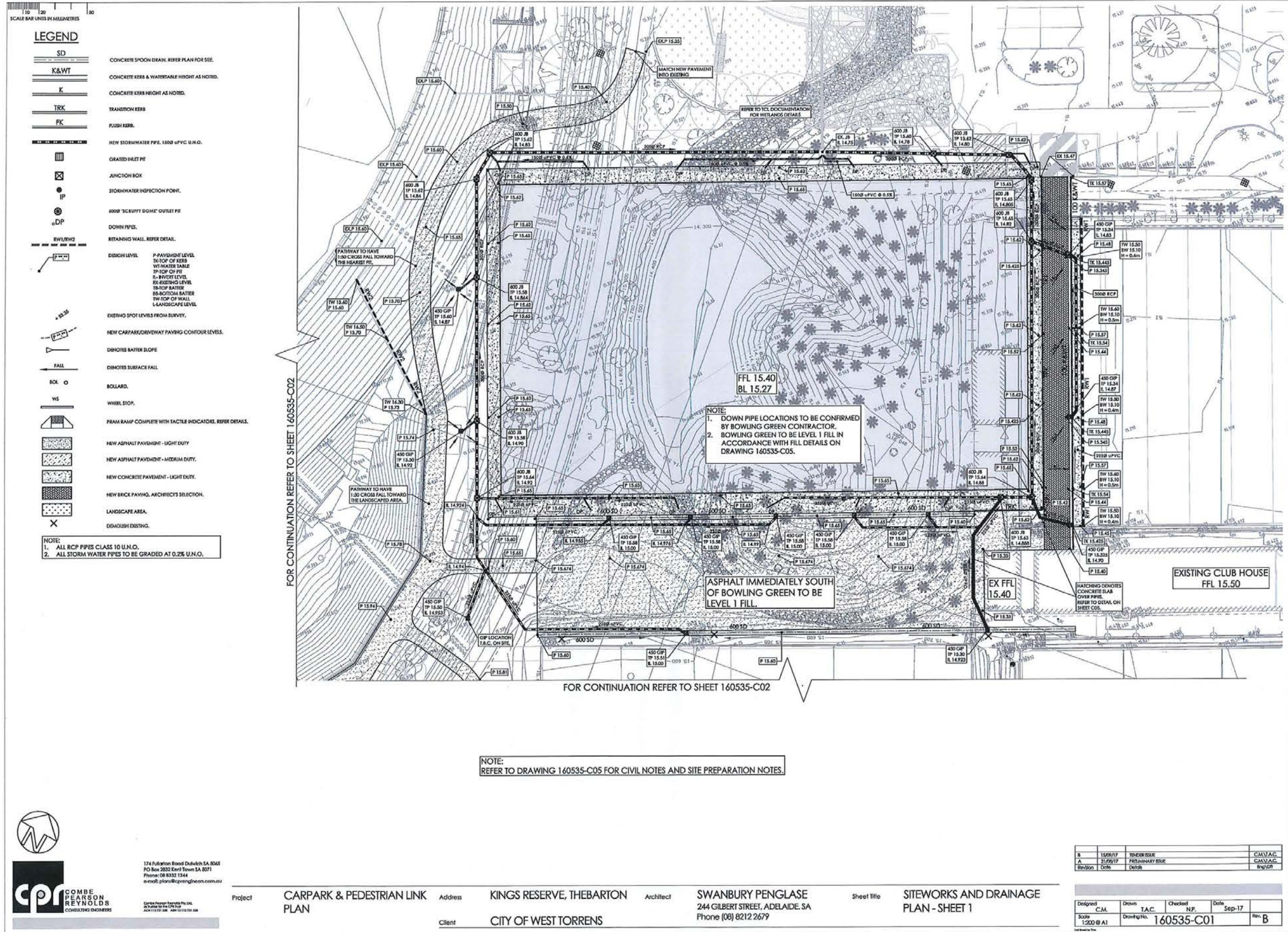
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As indicated	DB	Approver	20/10/17

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15263 - WD01





COMBE PEARSON REYNOLDS
CONSULTING ENGINEERS

174 Fullarton Road Dulwich SA 8046
PO Box 2832 Kent Town SA 8071
Phone: (08) 8332 1344
e-mail: plan@cpreng.com.au

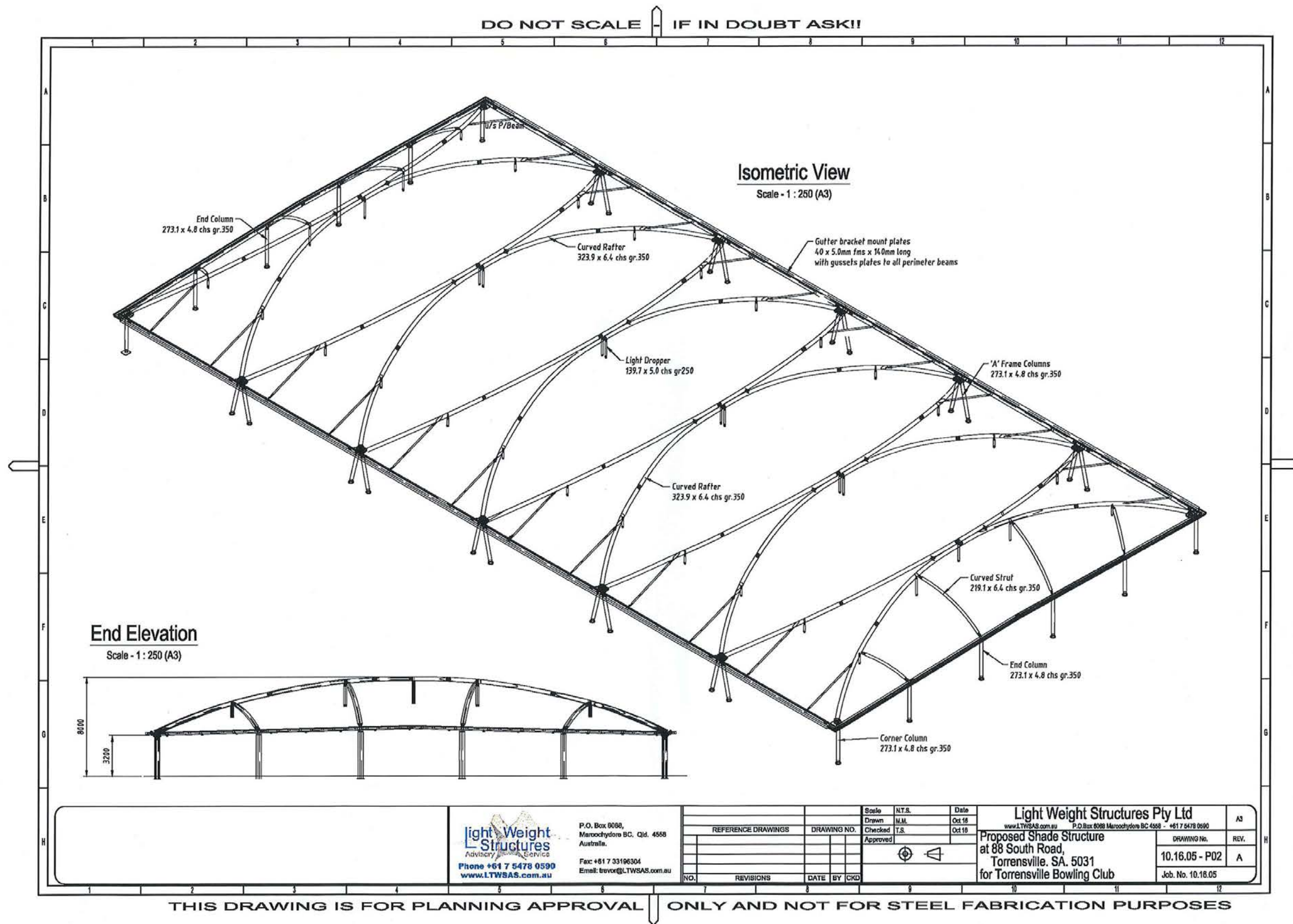
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24/09/17 10:00 AM
20/11/17 10:00 AM

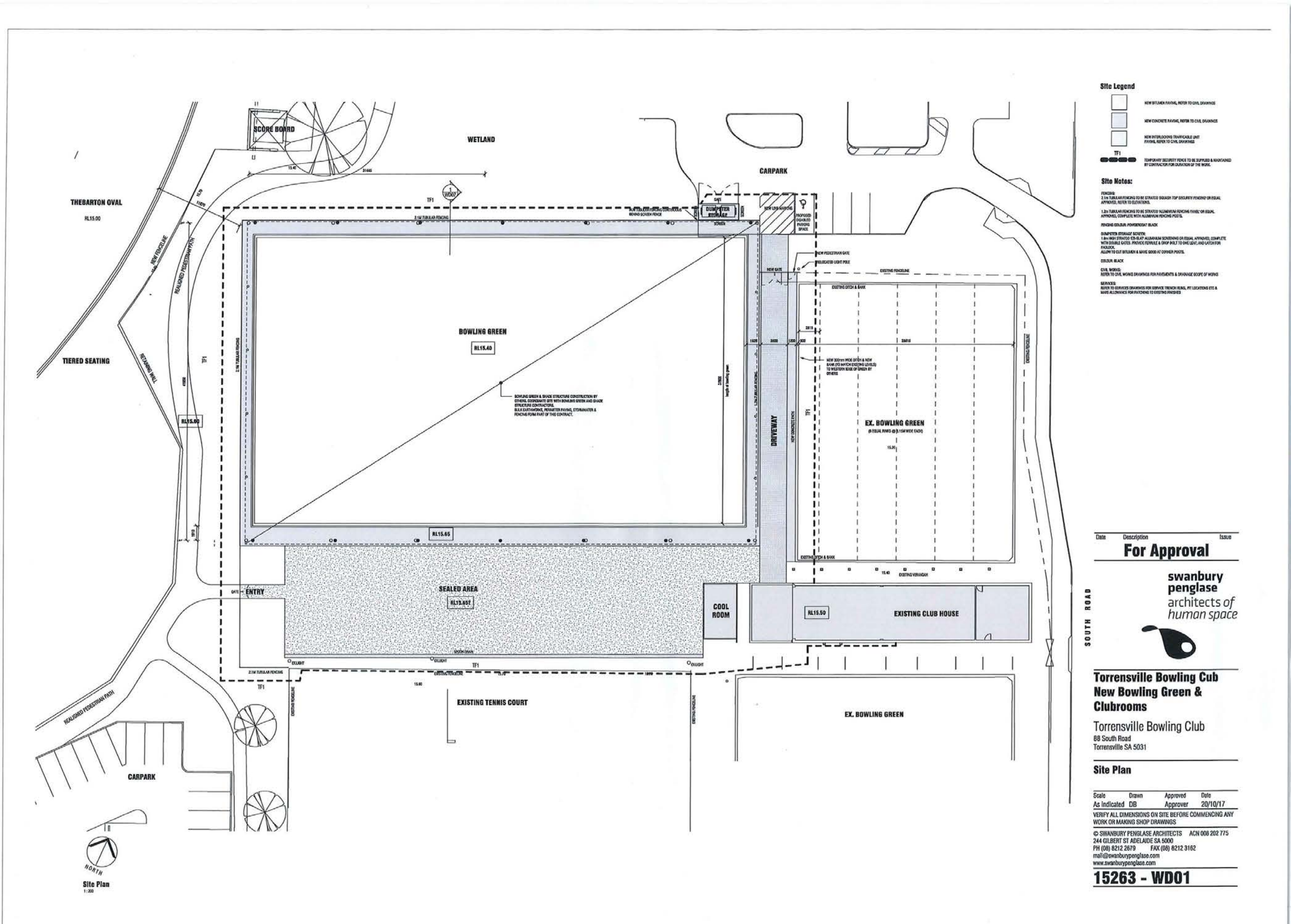
Project **CARPARK & PEDESTRIAN LINK PLAN** Address **KINGS RESERVE, THEBARTON** Architect **SWANBURY PENGLASE** Sheet title **SITWORKS AND DRAINAGE PLAN - SHEET 1**

Client **CITY OF WEST TORRENS** Phone (08) 8212 2679

B	15/09/17	TENDER ISSUE	CMVAC
A	21/09/17	PRELIMINARY ISSUE	CMVAC
REVISED	Date	Details	By/CDR

Designed	CJM	Drawn	TAC	Checked	NP	Date	Sep-17	Rev.	B
Scale	1:200 @ A1	Drawing No.	160535-C01						





Site Legend

- NEW BITUMEN PAVEMENT, REFER TO CIVIL DRAWINGS
- NEW CONCRETE PAVEMENT, REFER TO CIVIL DRAWINGS
- NEW INTERLOCKING PAVEMENT UNIT, REFER TO CIVIL DRAWINGS
- TFI TEMPORARY SECURITY FENCE TO BE SUPPLIED & MAINTAINED BY CONTRACTOR FOR DURATION OF THE WORK.

Site Notes:

- FENCING:
 - 2.1M TUBULAR FENCING TO BE STRAIGHT SQUARE TOP SECURITY FENCING OR EQUAL, APPROVAL, REFER TO ELECTRICALS.
 - 2.2M TUBULAR FENCING TO BE STRAIGHT ALUMINIUM FENCING PANELS OR EQUAL, APPROVAL, COMPLETE WITH ALUMINIUM FENCING POSTS.
 - FENCING COLOUR: POWDERCOAT BLACK.
- DUMPSTER STORAGE:
 - 1.8M HIGH STRAIGHT EDGE-UP ALUMINIUM SKIPPING OR EQUAL, APPROVAL, COMPLETE WITH DOUBLE GATES, PROTECT FENCING & DROP BOLT TO ONE LEVEL, AND LATCH FOR FOOTLOCK.
 - ALLOW TO CUT WITHIN & SAVE GOOD AT CORNER POINTS.
 - COLOUR: BLACK.
- CIVIL WORKS:
 - REFER TO CIVIL WORKS DRAWINGS FOR FINISHES & DRAINAGE SCOPE OF WORKS.
- SERVICES:
 - REFER TO SERVICES DRAWINGS FOR SERVICE TRENCH DEPTH, PIT LOCATIONS ETC & SAVE ALLOWANCE FOR FENCING TO EXISTING FINISHES.

Date	Description	Issue
	For Approval	



**Torrensville Bowling Club
New Bowling Green &
Clubrooms**

Torrensville Bowling Club
88 South Road
Torrensville SA 5031

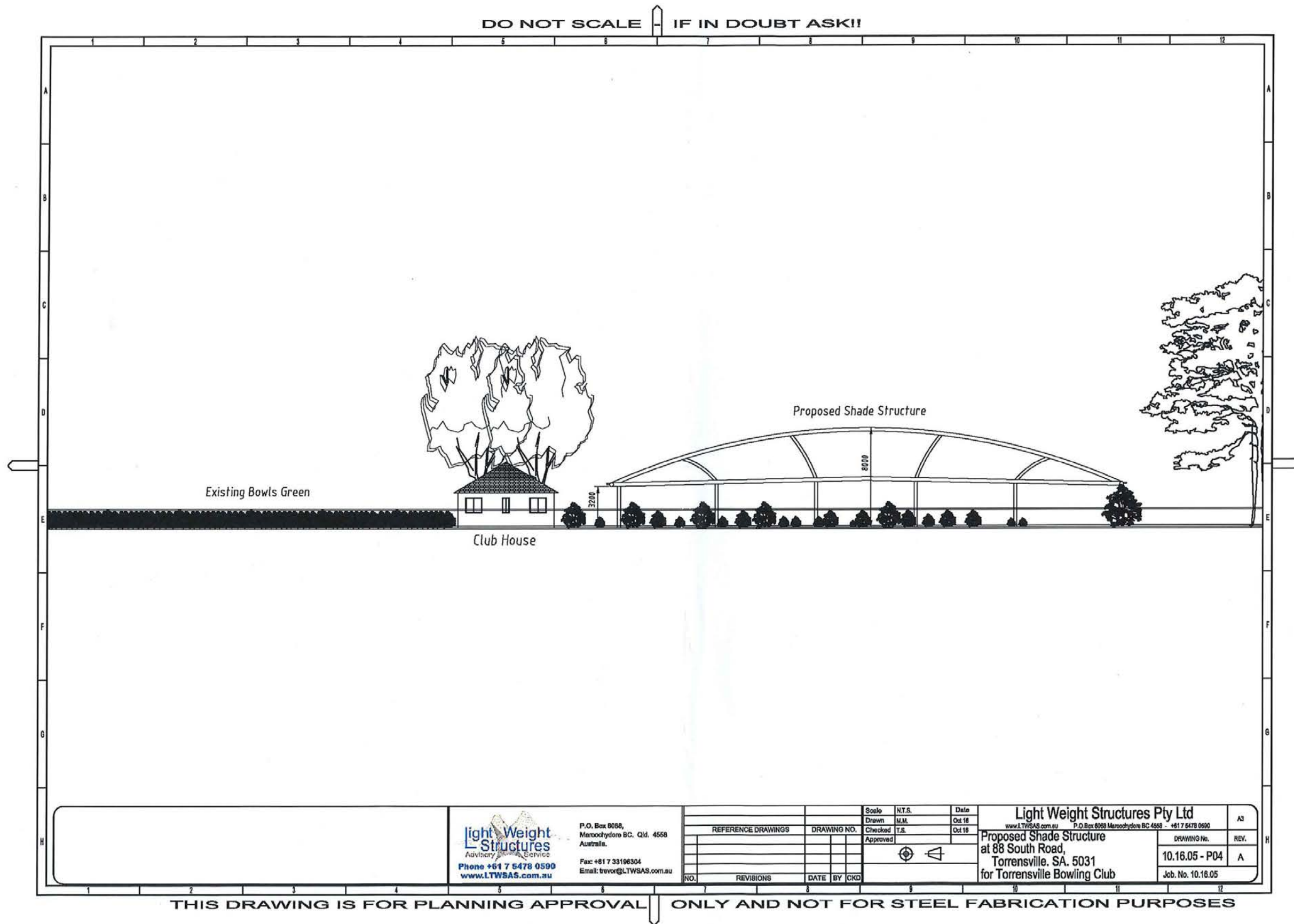
Site Plan

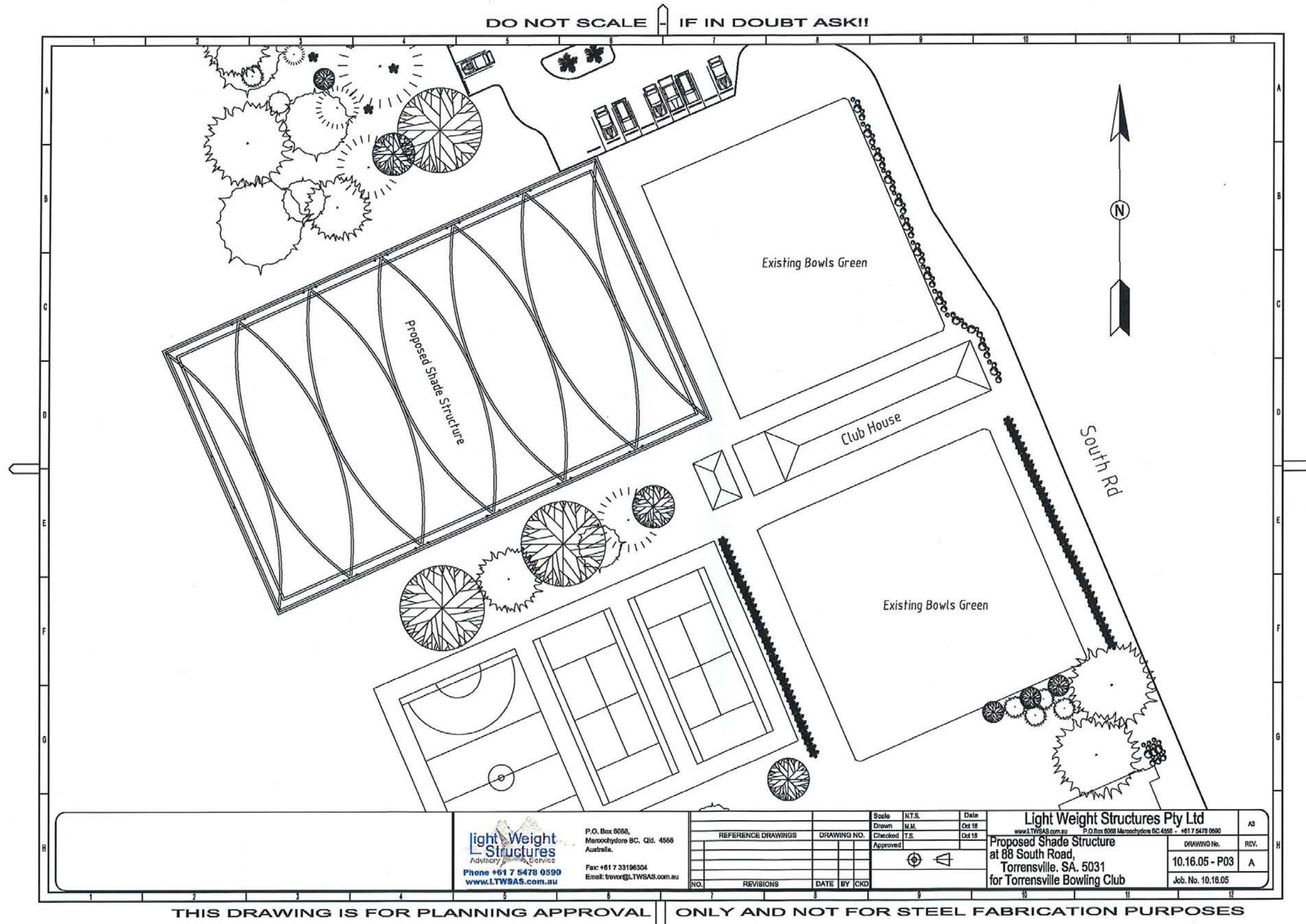
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As Indicated	DB	Approver	20/10/17

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Light Weight Structures
 Advisory Service
 Phone +61 7 5478 0590
 www.LTWSAS.com.au

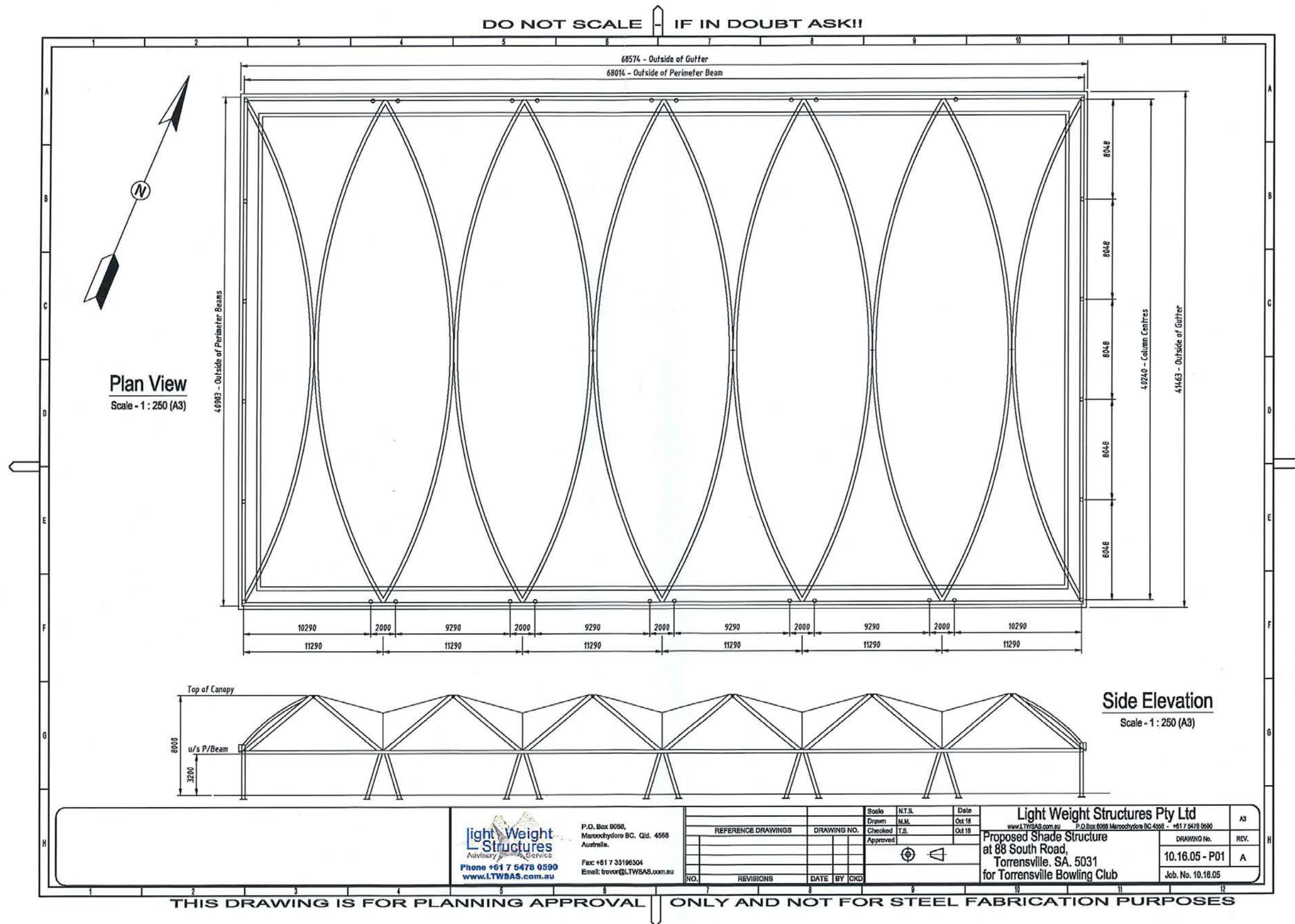
P.O. Box 6088,
 Maroochydore BC, Qld. 4568
 Australia.
 Fax: +61 7 33196304
 Email: trevor@LTWSAS.com.au

Scale	N.T.S.	Date	Oct 18
Drawn	M.M.	Checked	T.S.
Approved			
NO.	REVISIONS	DATE	BY CKD

Light Weight Structures Pty Ltd
 www.LTWSAS.com.au P.O. Box 6088 Maroochydore BC 4568 - +61 7 5478 0590

Proposed Shade Structure
 at 88 South Road,
 Torrensville, SA. 5031
 for Torrensville Bowling Club

DRAWING No.	REV.
10.16.05 - P03	A
Job. No. 10.16.05	



MASONRY PAVEMENT - HEAVY DUTY
Scale 1:10
80mm THK. INTERLOCKING PAVERS TO ARCHITECT'S SPECIFICATION
30mm THK. BEDDING SAND
125mm FINE CRUSHED ROCK (PM1/200G) COMPACTED TO 98% MODIFIED COMPACTION. REFER SPECIFICATION.
200mm QUARRY RUBBLE (PM2/200G) COMPACTED TO 95% MODIFIED COMPACTION.
SUBGRADE PROOF ROLLED & COMPACTED TO 98% STANDARD.

MASONRY PAVEMENT EDGE DETAIL
Scale 1:10
PROVIDE CONCRETE EDGE RESTRAINT TO PAVERS. (1/412 CENTRAL) TYP.

ASPHALT PAVEMENT - LIGHT DUTY (PEDESTRIAN PAVING)
Scale 1:10
30mm THK. AC7, 95% MARSHALL DENSITY REFER SPECIFICATION
150mm FINE CRUSHED ROCK (PM1/200G) COMPACTED TO 98% MODIFIED COMPACTION. REFER SPECIFICATION.
SUBGRADE PROOF ROLLED & COMPACTED TO 98% STANDARD.

ASPHALT PAVEMENT - MEDIUM DUTY (CARPARK PAVING)
Scale 1:10
30mm THK. AC10, 95% MARSHALL DENSITY REFER SPECIFICATION
125mm FINE CRUSHED ROCK (PM1/200G) COMPACTED TO 98% MODIFIED COMPACTION. REFER SPECIFICATION.
150mm QUARRY RUBBLE (PM2/200G) COMPACTED TO 95% MODIFIED COMPACTION.
SUBGRADE PROOF ROLLED & COMPACTED TO 98% STANDARD.

CONCRETE PAVEMENT - LIGHT DUTY (PEDESTRIAN PAVING)
Scale 1:10
100 THK. CONCRETE WITH S182 TOP FACE, 30 COVER.
100mm FINE CRUSHED ROCK (PM1/200G) COMPACTED TO 98% MODIFIED COMPACTION. REFER SPECIFICATION.
SUBGRADE PROOF ROLLED & COMPACTED TO 98% STANDARD.
[PROVIDE TOOLED JOINT AT 2m CTS. & EXPANSION JOINT @ 6m CTS.]

100 HIGH KERB & WATERTABLE
Scale 1:10
NOTE: TOOLED JOINTS AT 3000 CTS. EXPANSION JOINTS AT 6000 MAX CTS. AT EXPANSION JOINTS, TERMINATE REINFORCEMENT & PROVIDE 3-R16 x 400 LONG GALVANIZED DOWELS CENTRAL, GREASE ONE END.

100 HIGH KERB.
Scale 1:10
NOTE: TOOLED JOINTS AT 3000 CTS. EXPANSION JOINTS AT 6000 MAX CTS. AT EXPANSION JOINTS, TERMINATE REINFORCEMENT & PROVIDE 3-R16 x 400 LONG GALVANIZED DOWELS CENTRAL, GREASE ONE END.

CONCRETE WHEEL STOP
Scale 1:10
800 TO FACE OF WALL
620 TO FACE OF KERB
2/1160 x 400 PH1
ROAD PAVEMENT
BACK OF BOUNDARY

SPOON DRAIN (600 WIDE)
Scale 1:10
NOTE: TOOLED JOINTS AT 3000 CTS. EXPANSION JOINTS AT 6000 MAX CTS. AT EXPANSION JOINTS, TERMINATE REINFORCEMENT & PROVIDE 3-R16 x 400 LONG GALVANIZED DOWELS CENTRAL, GREASE ONE END.
3/81 CENTRAL
COMPACTED QUARRY RUBBLE
[450 WIDE SIMILAR]

TOOLED JOINT DETAIL
Scale 1:10
ENSURE THAT WEAKNESS IS FORMED ALONG LINE OF JOINT BY CHOPPING OR FORCING TROWEL THROUGH CONCRETE ALONG JOINT LINE TO SEPARATE CONCRETE AGGREGATES.
TOOLED JOINT DEPTH TO BE NOT LESS THAN 20mm. SHARPEN COVER TO REINFORCING BY BENDING DOWN REINFORCING LOCALLY.
CUT EVERY SECOND WIRE IN MESH.
25 HIGH CRACK INDUCER FOR 100 THK. SLABS.
40 HIGH CRACK INDUCER FOR SLABS GREATER THAN 100 THK.

WPJ - WEAKENED PLANE JOINT
Scale 1:10
NOTE: SAW CUTS MUST BE MADE WITHIN 12 HRS OF POURING OF CONCRETE SLAB & ALIGN WITHIN 15mm OF INDUCER.
6mm THK. DANLEY PL. DOWEL - 500 CTS. OR SIMILAR APPROVED, TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. (GALVANIZED FOR EXTERNAL APPLICATIONS).
MASTIC SEALANT COMPOUND ON BACKING ROD, TYP.
40mm x 3mm SAW CUT
STOP MESH EACH SIDE OF JOINT & PROVIDE N12 LACER BAR
40 HIGH CRACK INDUCER
MOISTURE VAPOUR BARRIER TYP.

DJ - EXPANSION JOINT
Scale 1:10
DJ ALSO ACTS AS CONSTRUCTION JOINT BETWEEN POURS.
20mm x 10mm MASTIC SEALANT ON BACKING ROD, TYP.
N12 LACER TYPICAL
DANLEY DIAMOND JOINT (6mm) AT 500 CTS OR SIMILAR APPROVED, TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. (GALVANIZED FOR EXTERNAL APPLICATIONS).
MESH
2nd POUR
1st POUR
MOISTURE VAPOUR BARRIER TYP.
PROVIDE 10mm. CLOSED CELL POLYURETHANE IN BETWEEN SLAB POURS. ALL JOINTS TO BE CALLED FLUSH TYPICALLY.

GRATED INLET PIT (450/600 SQ.)
Scale 1:20
COVER OR GRATE TO BE DATIC, EVERLEVEL OR SIMILAR APPROVED.
S182 CENTRAL OR N12 @ 200 CTS. E.V., N20 CONCRETE
PROVIDE SUABLE GRADE SOLID COVER FOR LOCATION OF JUNCTION BOX

PRAM RAMP - PLAN
Scale 1:20
PROVIDE TACTILE SURFACE INDICATOR TO COUNCIL'S DETAIL.
RAMP GRADIENT 1:8 MAX
S182 CENTRAL MESH
RAMP LENGTH 1.50m MAX
10mm MIN TO 1.50m MAX

PRECAST HEADWALL - PLAN
Scale 1:20
CSB HUMES PRECAST HEADWALL OR SIMILAR APPROVED.

HEADWALL SCHEDULE									
PIPE SIZE (NOM)	A	B	C	D	E	F	G	H	ANGLE
375	450	650	1050	600	920	270	250	65	45

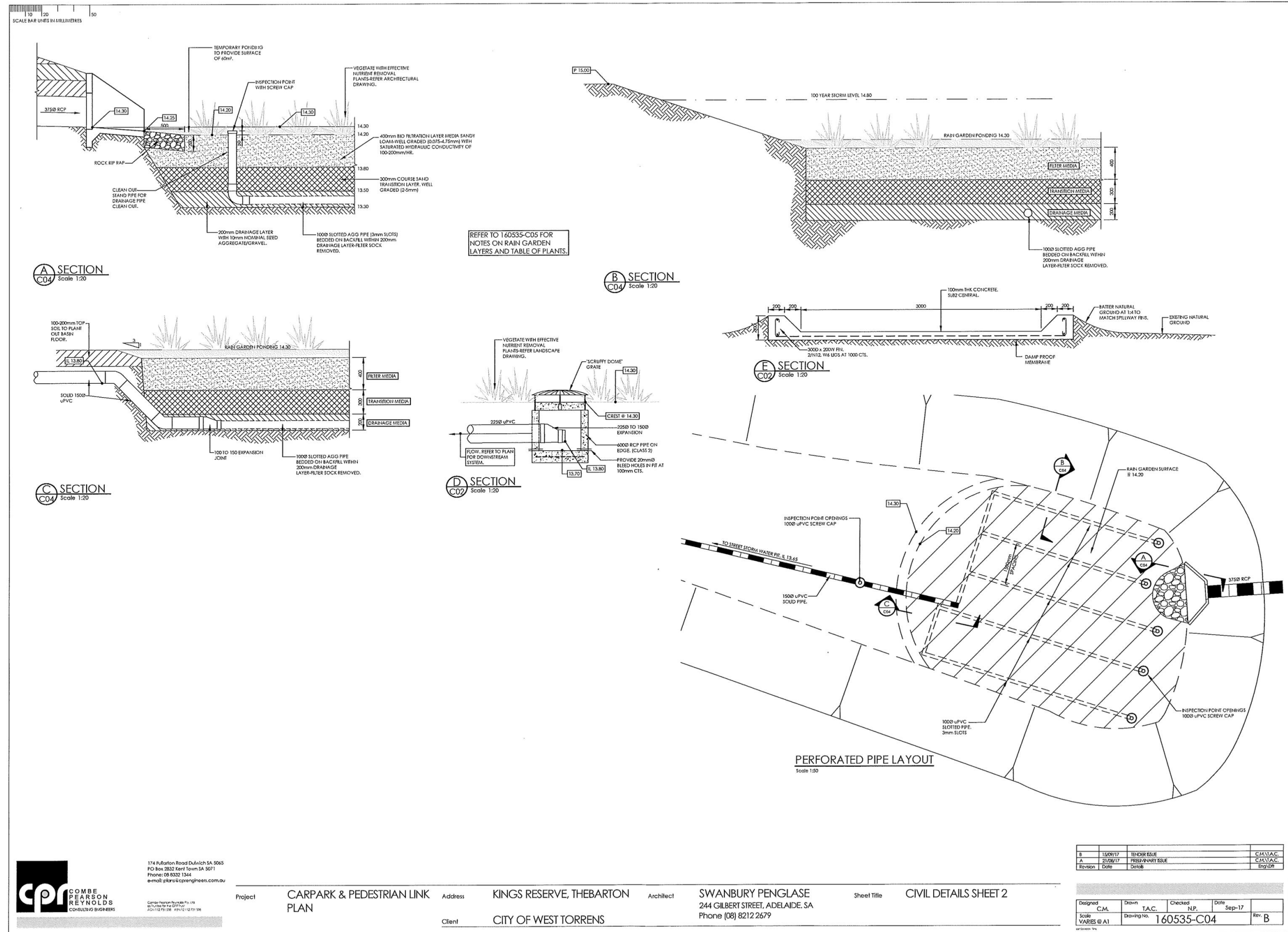
BOLLARD DETAIL
Scale 1:20
1600 x 4.8 CHS GALVANIZED BOLLARD FILLED WITH H20 GRADE CONCRETE
BRUSHED PAINT
UPVC SLEEVE TO SUIT EPOXY GROUT FILL
6000 PER TO 900 DEEP 4 N12 VERTICAL RODS WITH WA UGS @ 300 CTS, N25 CONCRETE
300 MAX. EMBELEMANT
3000
6000

FOOTING DETAIL TO LIGHTPOLE
Scale 1:20
ENSURE FULL LENGTH OF THREADS ABOVE FOUNDATION
REFER TO MANUFACTURERS DETAILS FOR BASEPLATE REQUIREMENTS
GROUT UNDER BASEPLATE WITH HIGH STRENGTH NON-SHRINK GROUT
6400 BARS WITH HEUCAL UGS AT 250 FRECH, N32 CONC.

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Client: CITY OF WEST TORRENS Sheet Title: CIVIL DETAILS SHEET 1

15/09/17	THICKER ISSUE	CM, T.A.C.							
21/09/17	PRELIMINARY ISSUE	CM, T.A.C.							
	Date	Detail							
Designed	CM	Drawn	T.A.C.	Checked	N.P.	Date	Sep-17	Rev	B
Scale	VARIES @ A1		Drawing No.	160535-C03					



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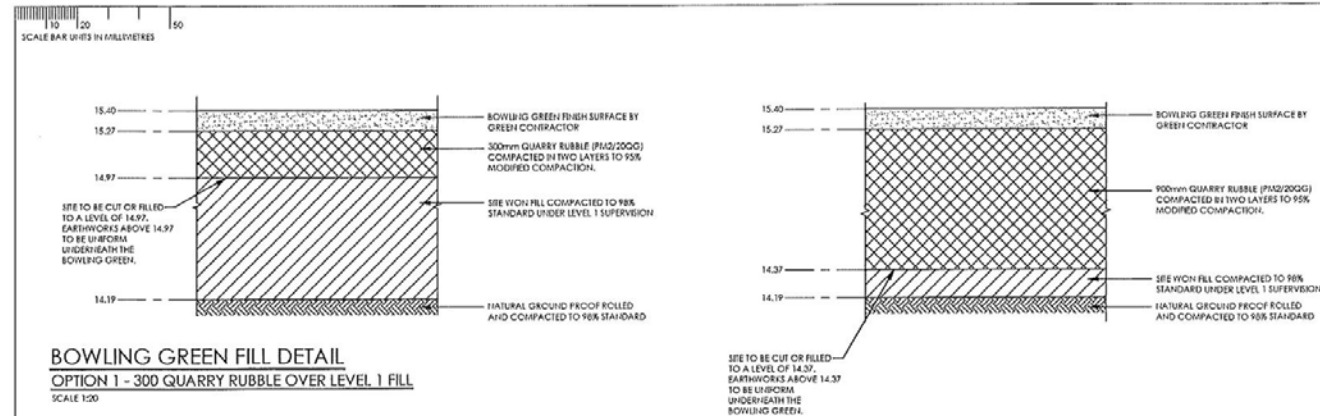
Combe Pearson Reynolds Pty Ltd
 ABN 12 012 791 126 AFN 12 12 791 126

Project **CARPARK & PEDESTRIAN LINK PLAN** Address **KINGS RESERVE, THEBARTON** Architect **SWANBURY PENGLASE** Sheet Title **CIVIL DETAILS SHEET 2**

Client **CITY OF WEST TORRENS** 244 GILBERT STREET, ADELAIDE, SA Phone (08) 8212 2679

Rev	15/09/17	TECHNICAL ISSUE	CMA/JAC
Rev	21/06/17	PRELIMINARY ISSUE	CMA/JAC
Revision	Date	Detail	Eng/DR

Designed	C.M.	Drawn	I.A.C.	Checked	N.P.	Date	Sep-17	Rev.	B
Scale	VARIES @ A1		Drawing No.	160535-C04					

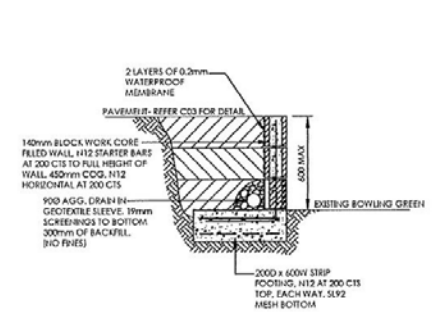


BOWLING GREEN FILL DETAIL
OPTION 1 - 300 QUARRY RUBBLE OVER LEVEL 1 FILL
SCALE 1:20

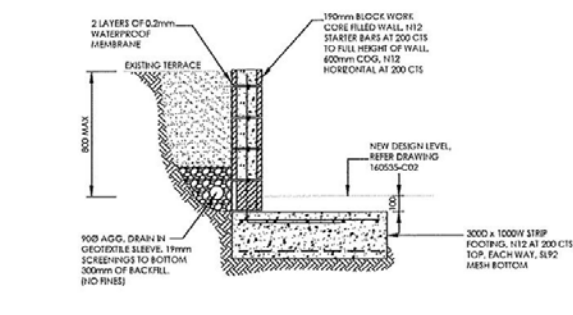


BOWLING GREEN FILL DETAIL
OPTION 2 - 900 QUARRY RUBBLE OVER LEVEL 1 FILL
SCALE 1:20

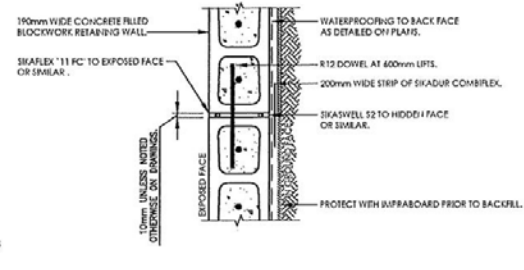
SHOULD EXISTING UNCONTROLLED FILL BE FOUND BELOW BENCH LEVEL, THE UNCONTROLLED FILL IS TO BE REMOVED AND REPLACED WITH LEVEL 1 FILL COMPACTED IN ACCORDANCE WITH THE ABOVE DETAILS.



RETAINING WALL 1 DETAIL
(PROVIDE CONTROL JOINTS IN WALL AT 6m CTS.)
SCALE 1:20



RETAINING WALL 2 DETAIL
(PROVIDE CONTROL JOINTS IN WALL AT 6m CTS.)
SCALE 1:20



TYPICAL CONTROL JOINT DETAIL IN BLOCKWORK RETAINING WALLS.
SCALE 1:10

Kings Reserve southern car park raingarden					
PROPOSED PLANT SPECIES	NUMBER OF PLANTS	DENSITY	BATTERS		RAINGARDEN & BASIN SURFACE
			200 Prop.	m2 No.	120 Prop.
EDGES/ BATTERS					
Groundcovers (planted between clusters)					
<i>Myoporum parvifolium</i>	240	3	0.4	240	
<i>Atriplex semibaccata</i>	120	3	0.2	120	
<i>Kennedia prostrata</i>	120	3	0.2	120	
<i>Scaevola albidia</i>	120	3	0.2	120	
Interplanting (single species in clusters or 3 or 5)					
<i>Dianella revoluta</i>	180	3	0.30	180	
<i>Callistemon sieberi</i>	20	1	0.10	20	
<i>Labellia alata</i>	180	3	0.30	180	
<i>Grevillea lanudulacea</i>	180	3	0.30	180	
RAINGARDEN & BASIN SURFACE					
<i>Lomandra longifolia</i>	120	4			0.25 120
<i>Juncus subsecundus</i>	120	4			0.25 120
<i>Cyperus gymnocaulis</i>	90	3			0.25 90
<i>Juncus kraussii</i>	36	3			0.10 36
<i>Goodenia ovata</i>	72	4			0.15 72
<i>Eucalyptus leucocylon</i> *	8				8
TOTAL	1,606				

* location to be instructed by superintendent

- RAINGARDEN LAYERS**
- NO HEAVY PAVEMENT SHALL BE PERMITTED WITHIN THE RAINGARDEN FOLLOWING PLACEMENT OF UNDERDRAINAGE. ALL FILTER MEDIA AND DRAINAGE LAYERS MUST BE PLACED FROM THE EDGES VIA APPROPRIATE EQUIPMENT OR CONVEYORS. THE DRAINAGE TRANSITION AND FILTER MEDIA LAYER MATERIAL SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND THE GUIDELINES FOR FILTER MEDIA IN BOP/TRAFFIC SYSTEMS (www.crowm.gov.au/infocentre/infocentre.htm).
 - PARALLEL SIZE DISTRIBUTION TEST RESULTS FOR THE TRANSITION LAYER SHALL BE PROVIDED PRIOR TO DELIVERY.
 - THE SATURATED HYDRAULIC CONDUCTIVITY OF THE FILTER MEDIA MUST BE 100,000 m/s.
 - TWO SAMPLES OF THE FILTER MEDIA THAT IS DELIVERED ON SITE SHOULD BE TESTED TO ENSURE COMPLIANCE WITH THE ABOVE SPECIFICATION. THE TEST RESULTS SHOULD BE SUPPLIED TO THE DESIGNER PRIOR TO PLACING THE MEDIA IN THE BASIN. THE SURFACE OF THE DRAINAGE LAYER, TRANSITION LAYER AND FILTER MEDIA MUST BE FLAT AND FREE FROM LOCALISED DEPRESSIONS. A SPRINGER BAR OR EQUIVALENT SHOULD BE USED.
 - THE SURFACE OF THE FILTER MEDIA SHOULD BE LIGHTLY COMPACTED (E.G. USING A SINGLE PASS OF A DRUM LAWN ROLLER OR BRUSH).
- BIORETENTION VEGETATION**
- VEGETATION SHALL COMPLY WITH THE FOLLOWING:
 - LARGE HEALTHY ROOT SYSTEMS, WITH NO EVIDENCE OF ROOT CURL, RESTRICTION OR DAMAGE.
 - WOODWORK, WELL ESTABLISHED, FREE FROM DISEASE AND PESTS, OF GOOD FORM CONSISTENT WITH THE SPECIES OR VARIETY.
 - IMPROVED OR NOT SOFT OR POOLED, AND SUITABLE FOR PLAYING IN THE NATURAL CLIMATIC CONDITIONS PREVAILING AT THE SITE.
 - PLANTS MUST BE AT LEAST 200mm HIGH AT TIME OF PLANTING.
 - EACH PLANTING HOLE MUST RECEIVE AT LEAST 1kg OF SLOW RELEASE FERTILISER AND 2kg OF WETTING AGENT IF WATER CRYSTALS ARE USED. THEY MUST BE PRE-WETTED. A MIXED FERTILISER/WETTING AGENT SUCH AS TERRACOTTON MAY BE USED. THE FERTILISER AND WETTING AGENT SHOULD BE MIXED INTO THE BASE OF THE PLANTING HOLE PLUS SURROUNDING SOIL BEFORE ADDING THE PLANT AS PER THE PRODUCT DIRECTIONS.
 - PLANTING HOLES SHOULD BE TWICE THE SIZE OF THE TUBESTOCK. PLANTS SHOULD BE CAREFULLY REMOVED FROM THE TUBE TO ENSURE THEIR STEMS DO NOT BREAK FROM THE ROOT BALL. THE TOP OF THE ROOT BALL SHOULD BE SLIGHTLY LOWER THAN THE SURFACE LEVEL AFTER THE MEDIA IS PLACED AROUND THE PLANT.

- CIVIL NOTES**
- BUILDER SHALL VERIFY ALL LEVELS, DIMENSIONS & LOCATIONS OF EXISTING SERVICES ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR SHOP DRAWINGS.
 - ANY DISCREPANCIES IN SITE CONDITIONS OR DOCUMENTATION TO BE REPORTED TO THE ARCHITECT IN CHARGE PRIOR TO COMMENCEMENT OF ANY WORKS.
 - THIS DRAWING TO BE READ IN CONJUNCTION WITH ANY CIVIL, STRUCTURAL, ARCHITECTURAL & SERVICES DRAWINGS FOR COORDINATION & CONSTRUCTION. REFER ALSO TO SA POWER NETWORKS TECHNICAL STANDARD 15-005 TECHNIQUE AND CONSTRUCTION STANDARDS FOR UNDERGROUND DISTRIBUTION CABLE NETWORKS, LATEST EDITION.
 - ALL PIPE SIZES GIVEN ARE FOR MINIMUM INTERNAL DIAMETERS.
 - CONTRACTOR TO CONFIRM INVERTS OF ALL EXISTING PIPES & SUMPS PRIOR TO CONNECTING & LAYING NEW PIPEWORK. ADVISE ENGINEER IF THERE ARE ANY DISCREPANCIES TO DESIGN LEVELS.
 - REFER TO ARCHITECT FOR DEMOLITION AND SETOUT DETAILS.
 - WHERE NECESSARY GRADE BATTERS AT 1% TO MATCH FROM EXISTING LEVELS TO DESIGN LEVELS. UNLESS NOTED OTHERWISE, ALL BATTERS SHALL BE CONSTRUCTED OF SUB-GRADE MATERIAL & COMPACTED AS PER THE SPECIFICATION. SUCH CUT & FILL BATTERS SHALL BE COVERED WITH 100mm DEPTH OF TOPSOIL, OR JUTE MATTING FOR EROSION CONTROL.
 - CUT AND FILL BATTER EXTERIORS ARE INDICATIVELY SHOWN ON PLAN. CONTRACTOR TO COMPLY WITH INCORPORATED GRADIENTS AND RECOMMENDATIONS WITHIN GEOTECHNICAL REPORT WHERE APPLICABLE.
 - FILL BATTERS ON EXISTING SURFACE TO BE REVERSE KETTED INTO NATURAL GROUND.
 - EXISTING BROWN SHALL BE SAWCUT IF NECESSARY & AS SHOWN ON THE DRAWINGS TO PROVIDE A CLEAN EDGE WHERE PROPOSED NEW PAVING AREAS.
 - THE BUILDER SHALL BACKFILL TO TOP OF TERRAPLAIN IN ALL LANDSCAPING AREAS WITH APPROVED SITE TOPSOIL TO ARCHITECT'S LANDSCAPE PLAN.
 - ALL CARPARK ISLANDS NOT SHOWN PAVED ARE TO BE LANDSCAPED & SHALL BE CLEARED OF ALL BUILDING RUBBLE PRIOR TO BACKFILLING WITH TOPSOIL TO ARCHITECT'S LANDSCAPE PLAN.
 - CONTRACTOR TO ALLOW FOR & ADJUST HEIGHTS OF COVERS TO EXISTING SERVICES, PIPES & GRATES ETC. TO USE NEW PROPOSED LEVELS.
 - THE CONTRACTOR SHALL ALLOW FOR & REBATE ANY SURFACE NOT INCLUDED IN THE WORKS BUT WHICH HAS BEEN DESIGNED.
 - ALL STORMWATER PIPES SHALL BE GALVANIZED STEEL, GRATED STRIP DRAIN ETC. TO HAVE HEAVY DUTY GRATES, COVERS & FRAMES UNLESS NOTED OTHERWISE. (CLASS 1) MINIMUM WITH LOCKED DOWN FRINGS), HOT DIP GALVANIZED, UNDO.
 - ALL UNDERDRAINING & SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH AUSTRALIAN STANDARD A.S. 1742.
 - EXISTING REDUNDANT STORMWATER PIPES REMOVED SHALL BE DISPOSED OF OFF SITE.
 - CONSTRUCT ALL STORMWATER DRAINAGE IN ACCORDANCE WITH AS/NZS 3500.3 UNDO.
 - 1000 UPVC STORMWATER PIPES SHALL BE CLASS SN4 UNDO. 1500 & 2250 UPVC STORMWATER PIPES SHALL BE CLASS SN4 UNDO. REINFORCED CONCRETE PIPES SHALL BE RUBBER RING JOINTED & CLASS 3 UNDO.
 - ALL MINOR CIVIL CONCRETE (18mm COVER, LEGS ETC) TO BE GRADE 10S UNLESS NOTED OTHERWISE. PROVIDE 50mm CLEAR COVER TO REINFORCEMENT (UNDO). PROVIDE TIGHTED GROUT JOINTS AT 30mm MAX CENTRE TO CENTRE TO MATCH LOCATIONS OF ADJACENT SLAB JOINTS IN ALL BEAMS & PILES & WATERABLES. PROVIDE EXPANSION JOINTS AT 4m CENTRES.
 - ALL TOWER & STORMWATER PIPES TO HAVE FLEXIBLE CONNECTIONS & 40mm CLOSED CELL COMPRESSIBLE LAGGING.
 - ALL PIPES TO BE SEALED, INCLUDING CONNECTIONS AND JUNCTION BOXES. GRATED PRET PITS, GRATED STRIP DRAIN ETC.
 - PROVIDE PROPRIETARY FIRST FLUSH SYSTEM TO RAINWATER TANK INLETS, INCLUDING LEAF SCREENS ETC. REFER ARCHITECT.
 - SERVICE TRENCHING AT ALL LOCATIONS UNDO. BACKFILL TO SERVICE TRENCHING TO BE COMPACTED TO 98% STANDARD OR 95% MODIFIED WHERE APPLICABLE. SERVICE TRENCHING FROM SIGNAGE AREAS TO BE 95% STANDARD. REFER SITE PREPARATION FOR SUPERVISION AND TESTING REQUIREMENTS.
 - CONTRACTOR IS TO PROVIDE AS CONSTRUCTED STORMWATER AND CIVIL SERVICES DRAWINGS AT TIME OF PRACTICAL COMPLETION. THIS IS TO INCLUDE PIPE SIZES, INVERT AND TOP OF PIPE LEVELS. THE AS BUILT DRAWING SHOULD ALSO VERIFY SURFACE LEVELS CORRECT WITH DOCUMENTED SOIL WHERE AS BUILT SURFACE LEVELS VARY THE CIVIL CONTRACTOR MUST ENGAGE THE CONSULTANT ENGINEER TO REVIEW AND CONFIRM ACCEPTANCE AT CIVIL COMPLETION. THE INFORMATION IS TO BE ISSUED IN AUTO CAD FORMAT AND PDF AND BEAR THE CIVIL CONTRACTOR'S DETAILS.
 - REFER TO STRUCTURAL HOSE SHEET FOR REQUIREMENTS OF EXTERNAL CONCRETE SLABS. LANDSCAPE RETAINING WALL SORTED AND PIPES ARE TO BE CONNECTED TO ADJACENT STORMWATER PIPES ON SURFACE DRAIN.
 - THE CONTRACTOR IS TO NOTE THAT STORMWATER PIPES ARE DESIGNED FOR RESERVE LOADING AT FINISHED SURFACE. THE CONTRACTOR SHALL CHECK PIPE STRENGTH FOR THE COMBINATION OF CONSTRUCTION TRAFFIC AT APPLIED LEVEL INCREASE PIPE CLASSES TO ACCOMMODATE CONSTRUCTION LOADS AS REQUIRED. RESPONSIBILITY FOR STRUCTURAL INTEGRITY OF THE STORMWATER PIPES RESTS SOLELY WITH THE CONTRACTOR WHO MUST UNDERTAKE MEASURES DEEMED APPROPRIATE TO ACHIEVE THIS.

SITE PREPARATION (BENEATH BOWLING GREEN & AREA TO SOUTH OF BOWLING GREEN)

- EXISTING TOPSOIL, TREE & ROOT MATERIAL, ASPHALT, BRICK BLOCKWORK, HIGH-DENSITY FILL, MISCELLANEOUS STRUCTURAL REBARS & MATERIAL TO BE STRIPPED FROM CONSTRUCTION AREA. TOPSOIL TO BE STOCKPILED ON SITE FOR FUTURE LANDSCAPING AREAS. ALL OTHER MATERIAL TO BE EITHER RECYCLED OR LEGALLY DISPOSED OF. REFER TO GEOTECH REPORT FOR FURTHER GEOTECHNICAL INFORMATION.
- SUB-CONTRACTOR SHALL SUBMIT TESTING SCHEDULE & METHODOLOGY FOR REVIEW PRIOR TO COMMENCEMENT ON SITE. SUPERVISION & TESTING SHALL BE TO LEVEL IN ACCORDANCE WITH A.S. 3798 WITH CERTIFICATES ISSUED IMMEDIATELY UPON COMPLETION. AFTER FILL IS REMOVED, THE EXPOSED NATURAL MATERIAL SHALL BE CONFINED TO WITHIN 50% OF THE OPTIMUM MOISTURE CONTENT & COMPACTED WITH AN APPROPRIATE MACHINERY TO ACHIEVE AT LEAST 100% STANDARD MAXIMUM DENSITY. ANY IDENTIFIED SOFT SPOTS TO BE FILLED WITH COMPACTED QUARRY RUBBLE. SELECT ALL REFER TO SPECIFICATION SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 200mm LOOSE THICKNESS TO A MINIMUM OF 95% MODIFIED MAXIMUM DRY DENSITY. REFER SPECIFICATION. FILLING IS TO OCCUR TO LEVELS OF TESTING AS PER NOTE 2 ABOVE. NOTE THAT THE USE OF RECYCLED MATERIALS IS NOT PERMITTED ON DECS PROJECTS OR UNDER ASPHALT PAVEMENTS.
- THE RESULT OF SITE WORK MATERIAL MAY BE PROVIDED BY THE CONTRACTOR FOR MATERIALS THAT ARE LOW IN REACTIVITY. PRODUCE TESTS FROM DILUTED AND ORGANIC MATTER. COMPLY WITH SECTION 4 OF THE LATEST EDITION OF AS 3798 AND THE SPECIFICATION, AND THAT CAN BE READILY COMPACTED. THE CONTRACTOR MUST ALLOW IN THEIR TENDER FOR ALL ADDITIONAL COSTS ASSOCIATED WITH POTENTIAL INCREASES IN MOISTURE TESTS INCLUDING ENGINEERING DESIGN FEES AND FOR THE REASSESSMENT OF THE SOIL PARAMETERS AND SITE CLASSIFICATION. WHERE THE USE OF SITE WORK MATERIAL IS APPROVED, IT MUST BE COMPACTED TO 95% STANDARD DRY DENSITY AND 85 MOISTURE CONTENT MINIMUM SO THAT IT DOES NOT UNDERGO ANY SIGNIFICANT VOLUME CHANGES DURING OR AFTER PLACEMENT. ANY ASSUMPTIONS MADE REGARDING THE SUITABILITY OF SITE WORK MATERIAL FOR REUSE IS SOLELY AT THE CONTRACTOR'S OWN RISK AND COST.

SITE PREPARATION (BENEATH PAVEMENTS)

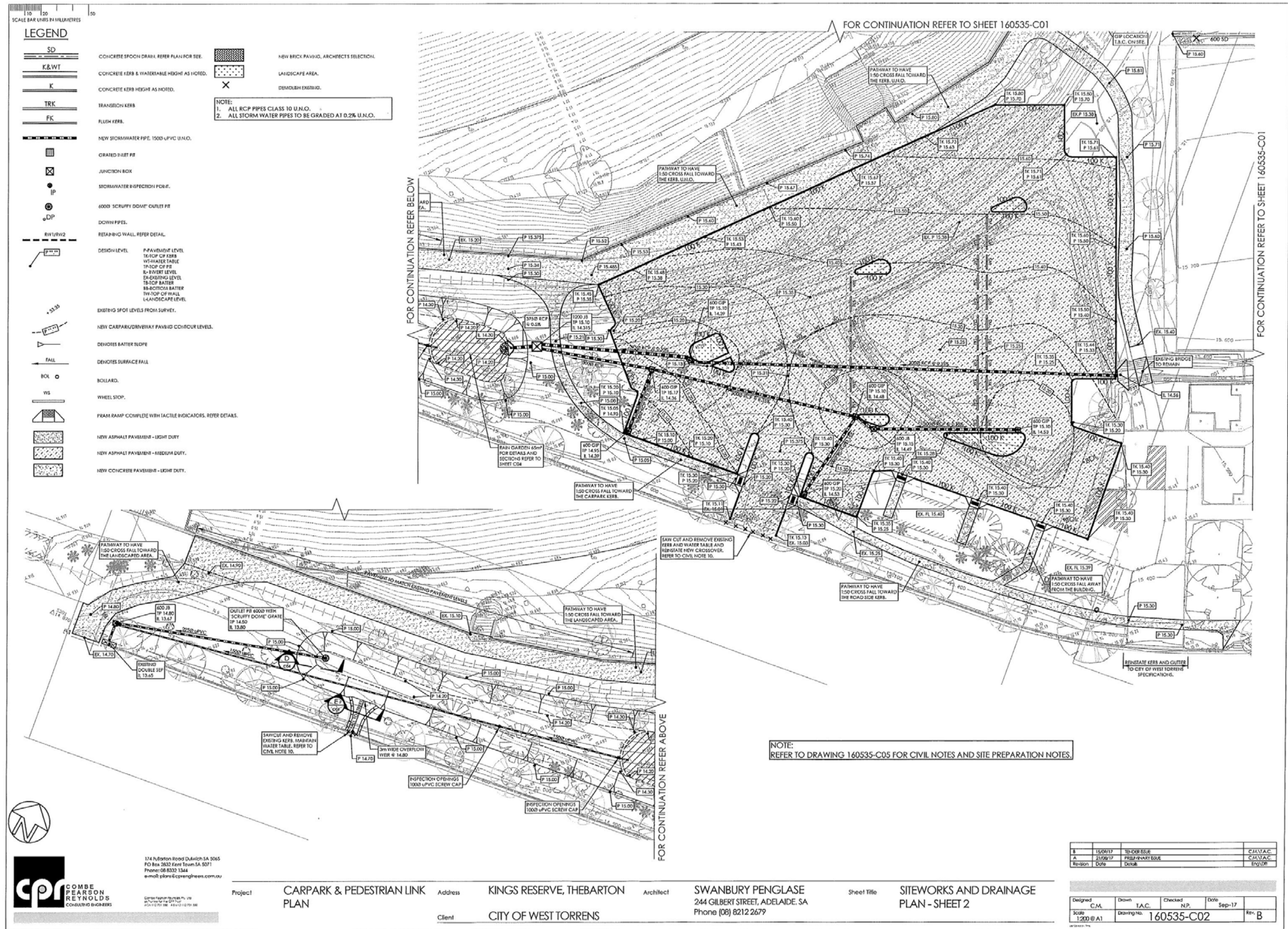
- STRIP ALL TOPSOIL, LANDSCAPING AND ANY OTHER NON COMPACTED FILLING. TOPSOIL TO BE STOCKPILED ON SITE FOR FUTURE LANDSCAPING AREAS. ALL OTHER MATERIAL TO BE EITHER RECYCLED OR LEGALLY DISPOSED OF. REFER TO GEOTECH REPORT FOR FURTHER GEOTECHNICAL INFORMATION.
- IN EXISTING PAVING AREAS REMOVE EXISTING ASPHALT SURFACE AND REMOVE EXISTING BASE AND SUB-BASE AS REQUIRED TO EXPOSE PROPOSED NEW BASE AND SUB-BASE THICKNESS. BENEATH NEW PAVEMENTS ARE ACHIEVED (AS MINIMUM) PROOF ROLL TO IDENTIFY ANY SOFT SPOTS. SUCH MATERIAL SHALL BE COMPACTED AND / OR REMOVED. MINIMUM COMPACTED 95% STANDARD.
- WHERE NECESSARY PROVIDE CLEAN, IMPROVED QUARRY RUBBLE FILLING (P24/P20) TO SUB-BASE LEVEL. COMPACT IN LAYERS NOT EXCEEDING 200mm IN THICKNESS TO ACHIEVE 95% MODIFIED COMPACTED. NOTE THAT THE USE OF RECYCLED MATERIALS IS NOT PERMITTED ON D.E.C.S. PROJECTS OR UNDER ASPHALT PAVEMENTS.

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244 GILBERT STREET, ADELAIDE. SA
Phone (08) 8212 2679
Client: CITY OF WEST TORRENS
Sheet Title: CIVIL DETAILS SHEET 3

B	15/09/17	THORNTON	CIVIL/AC
A	21/09/17	PRELIMINARY ISSUE	CIVIL/AC
Revision	Date	Details	Eng/DR

Designed	C.M.	Drawn	T.A.C.	Checked	N.P.	Date	16/09/17
Scale	VARIABLES @ A1	Drawing No.	160535-C05	Rev.	B		



SCALE BAR UNITS IN METRES

LEGEND

- SD CONCRETE SPOCH DRAIN. REFER PLAN FOR SIZE.
- K&WT CONCRETE KERB & WATERABLE HEIGHT AS NOTED.
- K CONCRETE KERB HEIGHT AS NOTED.
- TRK TRANSITION KERB.
- FK FLUSH KERB.
- NEW STORMWATER PIPE, 1500 UPVC U.N.O.
- GRADED INLET PIPE
- JUNCTION BOX
- STORMWATER INSPECTION POINT.
- 6000 SCUFFLY DOME OUTLET PIPE
- DOWN PIPES.
- RETAINING WALL. REFER DETAIL.
- DESIGN LEVEL: PAVEMENT LEVEL TO TOP OF KERB, WATER TABLE TO TOP OF PIPE, INVERT LEVEL EXISTING LEVEL, TOP OF WATER, 88-80% BATTER, TO TOP OF WALL, LANDSCAPE LEVEL.
- EXISTING SPOT LEVELS FROM SURVEY.
- NEW CARPARK/DRIVEWAY PAVING COURSE LEVELS.
- DEVELOPS BATTER SLOPE.
- DEVELOPS SURFACE FALL.
- BOLLARD.
- WHEEL STOP.
- FRAM RAMP COMPLETE WITH TACTILE INDICATORS. REFER DETAILS.
- NEW ASPHALT PAVEMENT - LIGHT DUTY.
- NEW ASPHALT PAVEMENT - MEDIUM DUTY.
- NEW CONCRETE PAVEMENT - LIGHT DUTY.

NOTE:
 1. ALL RCP PIPES CLASS 10 U.N.O.
 2. ALL STORM WATER PIPES TO BE GRADED AT 0.2% U.N.O.

NOTE:
 REFER TO DRAWING 160535-C05 FOR CIVIL NOTES AND SITE PREPARATION NOTES.



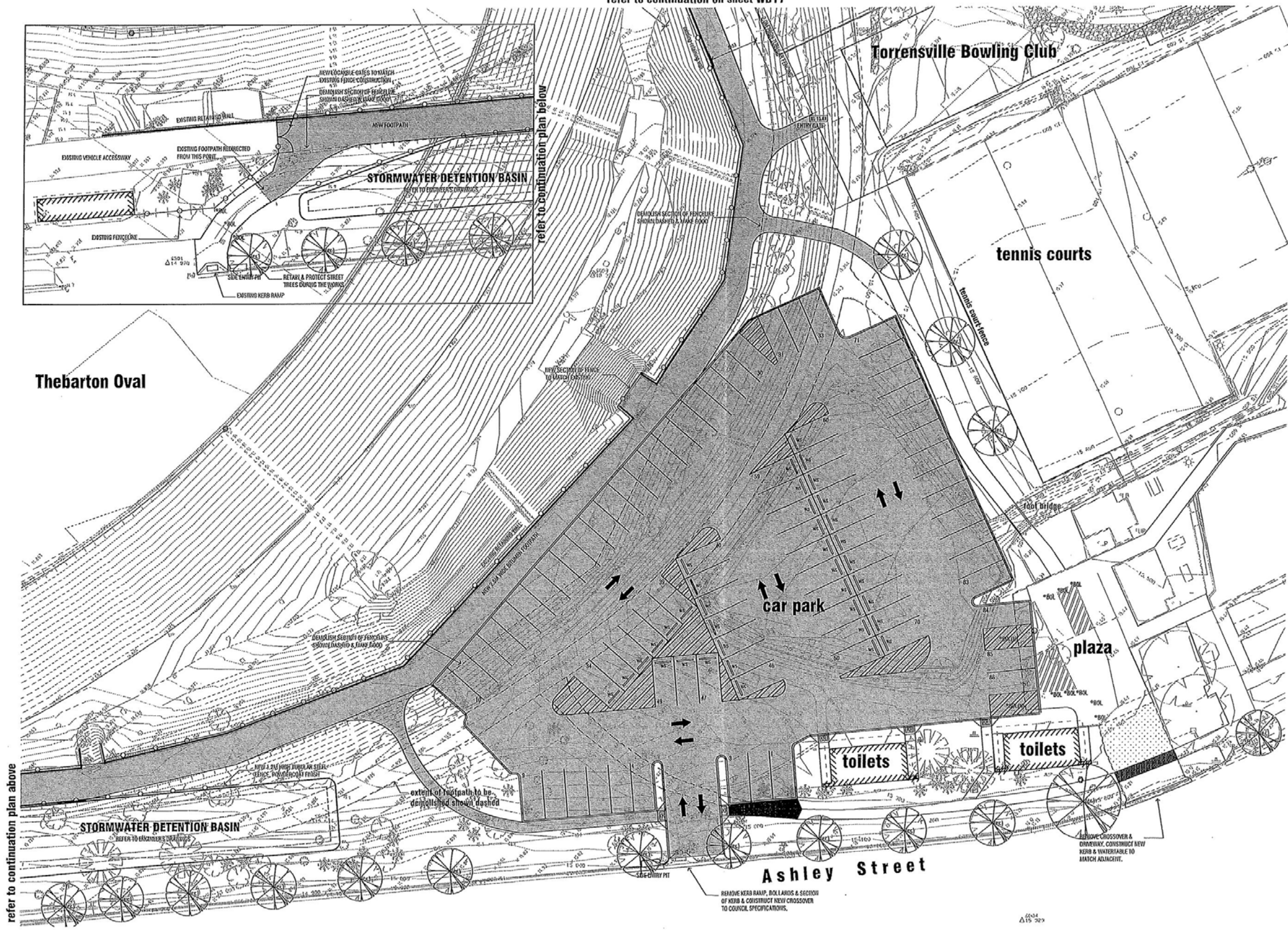
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Project: **CARPARK & PEDESTRIAN LINK PLAN** Address: **KINGS RESERVE, THEBARTON** Architect: **SWANBURY PENGLASE**
 Client: **CITY OF WEST TORRENS** Address: **244 GILBERT STREET, ADELAIDE, SA** Phone: **(08) 8212 2679** Sheet Title: **SITWORKS AND DRAINAGE PLAN - SHEET 2**

1	15/09/17	3D-CAD FILE					
A	21/09/17	PRELIMINARY BOX					
Revision	Date	Detail					

Designed	C.M.	Drawn	I.A.C.	Checked	N.P.	Date	Sep-17
Scale	1:200 @ A1	Drawing No.	160535-C02	Rev.	B		

refer to continuation on sheet WD17



- LEGEND**
- SUPPLY & INSTALL ORGANIC MULCH AS SPECIFIED
 - NEW LIGHT PAVING TO MATCH EXISTING BY ACCORDANCE WITH COUNCIL SPECIFICATIONS
 - NEW BITUMEN PAVING, REFER ENGINEER'S DRAWINGS
 - KERB RAMP BY ACCORDANCE WITH AS1428.1
 - BOLLARD
 - (W) DEPOSITE NEW AS SPECIFIED
 - WS CONCRETE WHEEL STOP AS SPECIFIED INSTALLED IN ACCORDANCE WITH AS2886.1
 - PARKED LIVERMARKING DISABLED SYMBOL

Revision	Date	Issue



Kings Reserve, Thebarton
Southern Car Park

City of West Torrens

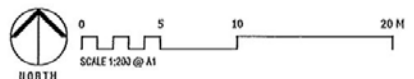
Car Park & Pedestrian Link Plan
Sheet 1

Scale	Drawn	Approved	Date
1:200@A1	DB		27.07.2017

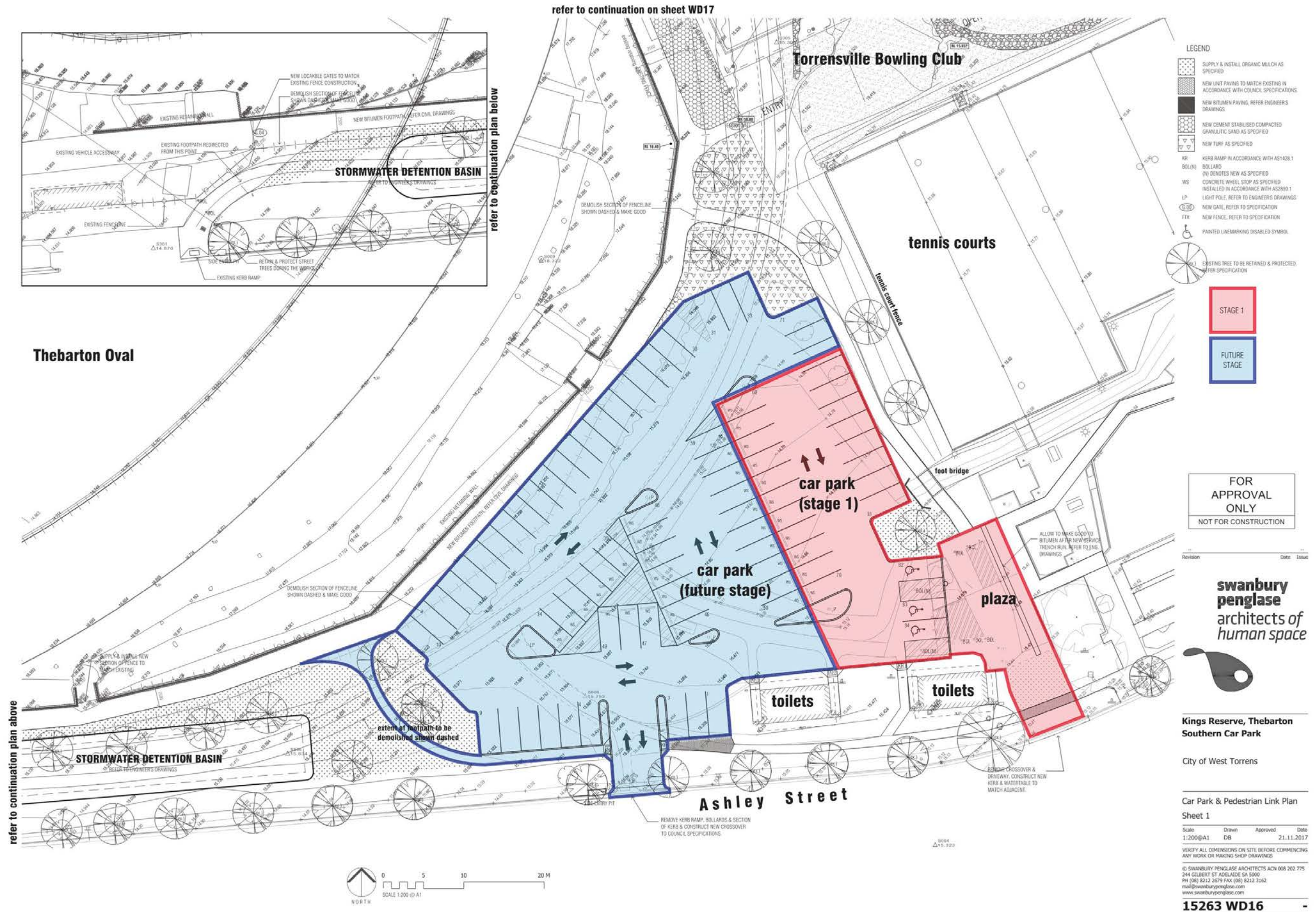
VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS

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15263 WD16



Total new carparks = 86



8.7 Kings Reserve Precinct Masterplan

Brief

This report advises Elected Members of the outcomes of the public consultation process undertaken in regard to the Kings Reserve Masterplan, and provides an updated Precinct Masterplan for review and endorsement.

RECOMMENDATION

The Committee recommends to Council that:

1. The Report be noted.
2. The South Australian Amateur Football League (SAAFL) be advised that in-principle support for the realignment of Thebarton Oval to North/South as well as reducing the current size of the oval to that of Australia Football league (AFL) standards has been granted.
3. The Masterplan Report for Kings Reserve, dated 20 November 2017, be endorsed.

Introduction

At the Community Facilities Committee Meeting held on 23 May 2017, the Committee endorsed the draft Precinct Masterplan (the Plan) for Kings Reserve, Torrensville, and authorised the Administration to proceed with community consultation on the Plan.

At the Community Facilities Committee Meeting held on 25 July 2017, the Committee approved the following Consultation Plan for the draft Kings Reserve Masterplan:

Consultation Tool	Implementation	Administrator	Anticipated Timeframe
Online Survey	Accessible through Council website	Survey Monkey / CWT	July-Sept 17
Online Information	Page on Council's website	CWT	July-Sept 17
Outdoor Signs	5 signs erected on and near Kings Reserve (Meyer Street, Ashley Street, South Road carpark and Kings Reserve)	CWT	July-Sept 17
Public Display	In Brickworks market (in vacant shopfront)	CWT	July-Aug 17
Community Event	Little Day Out on Kings Reserve	CWT	26 Aug 17
Fact Sheet with Survey	Letterbox drop to Thebarton and Torrensville residents	CWT	Aug 17
	Available from Thebarton Community Centre, Hamra Centre Library and Civic Centre	CWT	July- Sept 17
	Provided to stakeholders (leaseholders and neighbour businesses of Kings Reserve) with copy of Masterplan	CWT	Aug 17
Public Notice	Messenger Newspapers	CWT/Messenger	Aug 17
Social Media	Updates on Facebook	CWT	Aug-Sept 17

Discussion

A targeted consultation program was undertaken during 2016 / 2017 in order to develop a draft Masterplan for the Kings Reserve Precinct. The consultation was undertaken by the Administration with key stakeholders (leaseholders) and the community, including families of the Torrensville Kindergarten and Childcare Centre. Over 150 opinions were initially provided and helped guide the development of the draft Masterplan.

The Draft Masterplan for Kings Reserve was developed together with consultants TCL (Taylor Cullity Lethlean), and the community consultation plan endorsed by the Committee was implemented from 30 July 2017.

The consultation received an overwhelming response from the local community with over 30 respondents from the Brickworks Market Shopping Complex, "pop-up shop", 25 through the online survey and postal mail, and over 100 local families attended the community day at Kings Reserve on Saturday 26 August 2017.

Although the delivery of fact sheets to the Torrensville residents was not as successful as had been hoped due to distributor error, over 100 people (91.5% local residents, with 64.5% from Torrensville) provided comments on the Plan. A copy of the fact sheet and survey form is included **(Attachment 1)**.

Feedback was provided via the survey (either online or in hardcopy) and some respondents provided feedback via email. Not all respondents answered all questions and, of the respondents, 80% support the improvements to the Kings Reserve precinct.

Consultants TCL undertook analysis of survey responses and a summary of the survey data has been included in this report **(Attachment 2)**.

The Administration held supplementary discussions with key stakeholders (leaseholders of Kings Reserve / Thebarton Oval), South Australian Amateur Football League (SAAFL), MA Hawks Soccer Club, Thebarton Senior College and Torrensville Bowling Club. Consultants also held further discussions with key user groups of the site including Council horticulture staff, local families and a group of local skaters who utilise the skate park. The additional feedback was used to refine the Plan incorporating key concerns and opinions.

There is general support by SAAFL for the Kings Reserve upgrade and, through discussions, the Administration was made aware of the League's own vision for the area which includes an upgrade of the oval and buildings within the lease area **(Attachment 3)**. The League seeks Council's in principle approval to realign the oval to North/South as well as reducing the current size of the oval to that of Australian Football League (AFL) standards (specifically Adelaide Oval.) The Administration is seeking Council advice on this issue and recommends a decision be made as to whether or not in principle support will be granted to SAAFL for this modification to the oval.

The following summary includes the following items that have been amended to this final Master Plan (dated 20 November 2017) as a result of the community feedback:

- deletion of the central connecting spine road (with on-road car parks) between Ashwin Parade and Meyer Street, replaced with lawn, garden beds and tree planting due to safety concern for playground and park users;
- provision of lighting within the playground and sport playing fields for safety measures and night time use;
- provision of new picnic shelters with BBQ facility and drinking fountain (and potential new toilet blocks) within the play space and skate plaza area;
- provision of new asphalt footpath along west boundary fence line between Ashwin Parade and Meyer Street, connecting Thebarton Senior College and the reserve to the Brickwork Marketplaces and River Torrens Linear Park;

- provision of new concrete or asphalt footpaths for shared use purposes of walking, scooting, running and cycling with new lighting;
- improvements to the drainage system to the soccer pitches;
- new playground to include flying fox, sand pit and water play;
- new skate plaza extension to be further design developed with a specialist skate consultant with skate community input;
- new SAAFL building upgrades including function room with four change room facilities, storage and education facilities.

The Kings Reserve Precinct Masterplan (dated 20 November 2017) has now been updated (**Attachment 4**) and the Administration is seeking the Committee's endorsement of the Plan to proceed to detailed design with the implementation of Stage 1 beginning in 2018.

The draft Masterplan (dated 15 May 2017) that was provided as part of the consultation phase has also been included (**Attachment 5**) for the purposes of referencing.

Conclusion

Public consultation on the Kings Reserve Draft Masterplan has occurred and over 100 comments were received. 80% of those who provided feedback support the development of Kings Reserve. The Masterplan was updated to incorporate key findings from the feedback, and is now presented to the Committee for endorsement to proceed to detailed design (including high level costings), and implementation of Stage 1 in early 2018.

SAAFL have advised they wish to realign Thebarton Oval to North/South as well as reducing the current size of the oval to that of AFL standards (specifically Adelaide Oval.) The Administration is seeking Council advice on this issue and recommends a decision be made as to whether or not in principle support will be granted to SAAFL for this change.

Attachments

1. **Kings Reserve Fact Sheet and Survey Sheet**
2. **Survey Results from Kings Reserve Masterplan Consultation**
3. **SAAFL Feedback on Kings Reserve Masterplan, (Dated 27 September 2017)**
4. **Kings Reserve Masterplan Report - Dated 20 November 2017**
5. **Draft Kings Reserve Masterplan, (For Consultation) - Dated 15 May 2017**



KINGS RESERVE MASTER PLAN

HAVE YOUR SAY

About the Master Plan

The City of West Torrens has developed a Draft Master Plan for the Kings Reserve precinct. The three stage plan aims to provide a sustainable, high-value, high-quality public reserve, which is more accessible and user-friendly for local residents and sporting clubs.

Proposed key features of the Kings Reserve Draft Master Plan are:

- improved accessibility throughout
- playground upgrade and relocation
- connecting vehicle and pedestrian path to better link facilities
- improved activation of community open space (picnic areas and sports fields)
- youth recreational hub including skate plaza, half basketball court and shelter
- bowling club upgrade
- new SAAFL building
- wetland with water harvesting capabilities.

The Draft Master Plan concept drawing is provided on the back of this notice for your information. The full report can be viewed on Council's website westtorrens.sa.gov.au. Council is inviting community feedback on the Draft Master Plan until Friday 1 September 2017 with various opportunities to be involved as outlined.

Feedback

You can provide feedback on the Kings Reserve Draft Master Plan through any of the following ways:

1. Complete the Master Plan Feedback form

Once you have viewed the Draft Master Plan, this can be completed online through Council's website westtorrens.sa.gov.au or with the enclosed survey.

2. Attend a community day on 26 August 2017

Council will be holding a community day and Little Day Out at Kings Reserve on Saturday 26 August between 1pm and 3pm. Attendees will be given the opportunity to obtain additional information, discuss the Master Plan and provide feedback in person.

3. In writing

By mail:

'Kings Reserve Master Plan feedback'
City of West Torrens
165 Sir Donald Bradman Drive
Hilton SA 5033

or

By email: csu@wtcc.sa.gov.au

Feedback must be received by 5pm on Friday 1 September 2017.

Submissions received (including names and addresses) may be made public.



T.C.L



Master Plan staging plan

Kings Reserve will be staged in order to achieve the overall built expectations and design quality.

STAGE 1

Stage 1 is a 0-2 year procurement plan of construction works. It will consist of:

- » Stage 1 Wetland & water harvesting
- » Skate park & recreational plaza with shelter
- » Playground
- » New Torrensville Bowling Club upgrade
- » Thebarton Community Centre access ramp

STAGE 2

Stage 2 is a 2-5 year procurement plan of construction works. It will consist of:

- » Stage 2 Wetland
- » Open lawn / picnic facilities
- » Picnic Area

STAGE 3

Stage 3 is a 5-10 year procurement plan of construction works. It will consist of:

- » Internal car park & connecting spine road to Meyer St, Ashwin Parade & Ashley St.
- » New SAAFL building

Key

1. Wetland and water harvesting
2. Thebarton Oval
3. Car park and connecting spine
4. Skate park and recreation plaza with shelter
5. Sporting fields and facilities
6. Open lawns and picnic facilities
7. Picnic area
8. Playground
9. Thebarton Community Centre
10. New SAAFL building
11. Torrensville Bowling Club upgrade
12. Thebarton Community Centre access ramp





KINGS RESERVE MASTER PLAN

HAVE YOUR SAY

Kings Reserve Draft Masterplan community feedback sheet

Feedback is encouraged on the Kings Reserve Draft Master Plan. The Plan can be viewed on Council's website westtorrens.sa.gov.au

Thank you for your feedback!

Name (optional): _____

Which street and suburb do you live in? _____

What is your age range?

- | | |
|---|---|
| <input type="checkbox"/> under 15 years | <input type="checkbox"/> 15 - 19 years |
| <input type="checkbox"/> 20 - 24 years | <input type="checkbox"/> 25 - 34 years |
| <input type="checkbox"/> 35 - 44 years | <input type="checkbox"/> 45 - 54 years |
| <input type="checkbox"/> 55 - 64 years | <input type="checkbox"/> 65 years and older |

Are you male or female?

- Male
 Female

How do you use the Kings Reserve precinct? Tick as many as appropriate.

- | | |
|---|---|
| <input type="checkbox"/> Participate with a soccer club | <input type="checkbox"/> Use Ashley Street playground with children |
| <input type="checkbox"/> Participate with a football club | <input type="checkbox"/> Use Thebarton Community Centre |
| <input type="checkbox"/> Play a sport on the reserve for fun | <input type="checkbox"/> Use the tennis/basketball courts for fun |
| <input type="checkbox"/> Organised fitness activities | <input type="checkbox"/> Leisure activities |
| <input type="checkbox"/> Walking a dog | <input type="checkbox"/> Watch organised sport at ALDI Arena |
| <input type="checkbox"/> Use the skate park | <input type="checkbox"/> Use the bowling club |
| <input type="checkbox"/> Use the barbecue/picnic facilities | <input type="checkbox"/> Make use of the car parking |
| <input type="checkbox"/> Use the Kings Reserve playground with children | <input type="checkbox"/> Other (please specify): _____ |

Comments on the Kings Reserve Draft Master Plan

1. In general, do you support improvements to Kings Reserve?

- Yes
- No
- Unsure

2. Do you have any comments to make about the Kings Reserve Draft Master Plan or Kings Reserve in general? Please provide these below. If you require extra room, please attach an extra sheet to this survey.

Thank you for your feedback!



165 Sir Donald Bradman Drive, Hilton SA 5033
westtorrens.sa.gov.au
Email: csu@wtcc.sa.gov.au
Telephone: 8416 6333

Kings Reserve Draft Master Plan

Q1 Name (optional)

Answered: 77 Skipped: 40

#	RESPONSES
1	Tapash
2	Jenny Mclelland (QuickTap)
3	Harry (QuickTap)
4	Hamid (QuickTap)
5	Marcus (QuickTap)
6	Pauline
7	Richard
8	Sam (QuickTap)
9	Vicky Tolotta (QuickTap)
10	Sarah (QuickTap)
11	Rui (QuickTap)
12	Josie (QuickTap)
13	Tom Slowinski (QuickTap)
14	Nicole Scott (QuickTap)
15	Mel (QuickTap)
16	Beth (QuickTap)
17	Russell Max (QuickTap)
18	Emma (QuickTap)
19	Lauren (QuickTap)
20	Sharon (QuickTap)
21	Ryan (QuickTap)
22	Tessa (QuickTap)
23	Steve (QuickTap)
24	Sue (QuickTap)
25	Sam (QuickTap)
26	Eva Kannis-Torry
27	Tyler Keenan
28	Simon Reynolds
29	Kris Tammahill
30	Jasper Leijs
31	Linda
32	Donna Samphier
33	MA Hawks Football Club - Peter Bouras
34	P. Williams
35	Mark Reynolds
36	Gina
37	Wendy Marks
38	Graham Nitschke

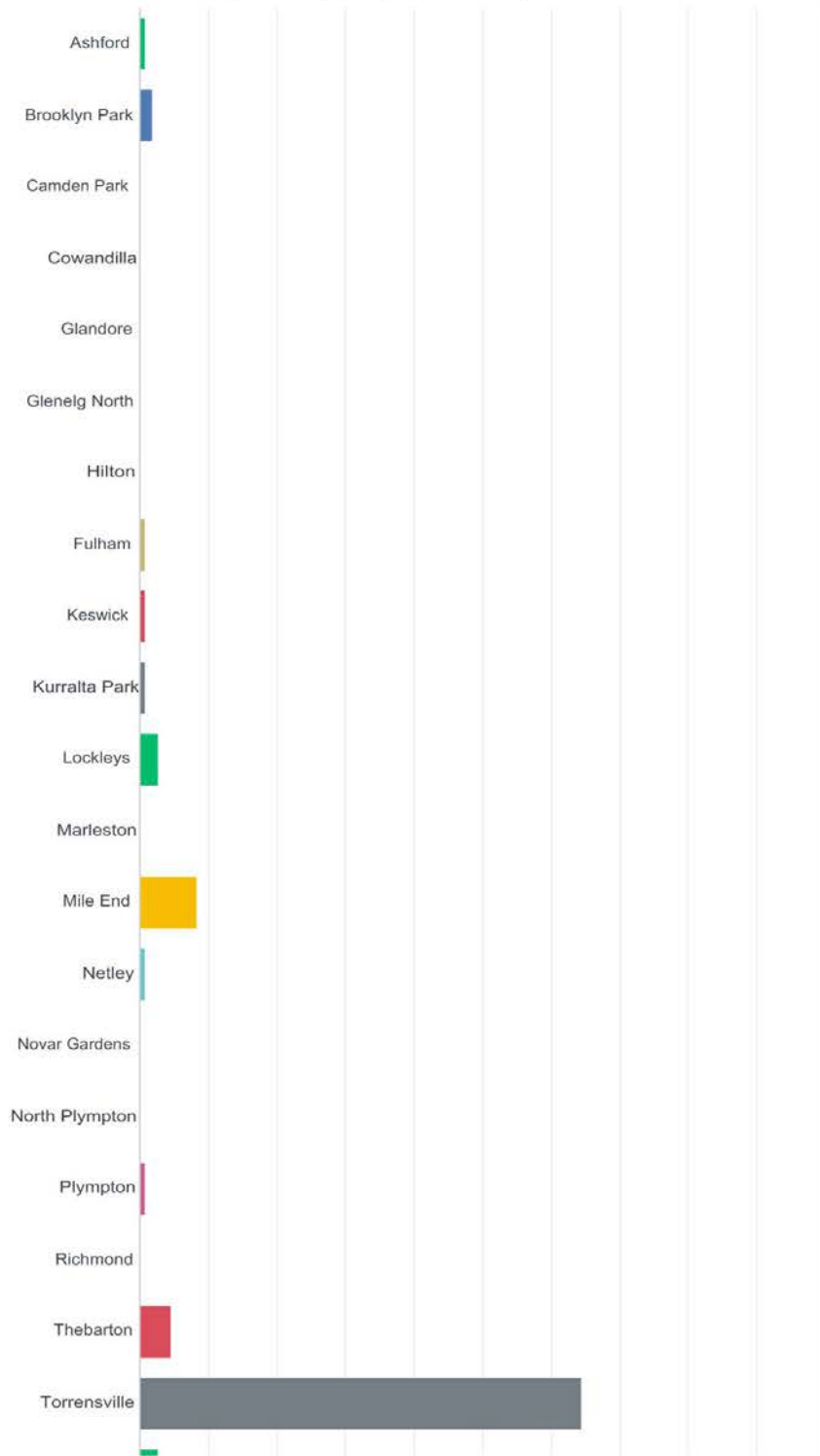
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Kings Reserve Draft Master Plan

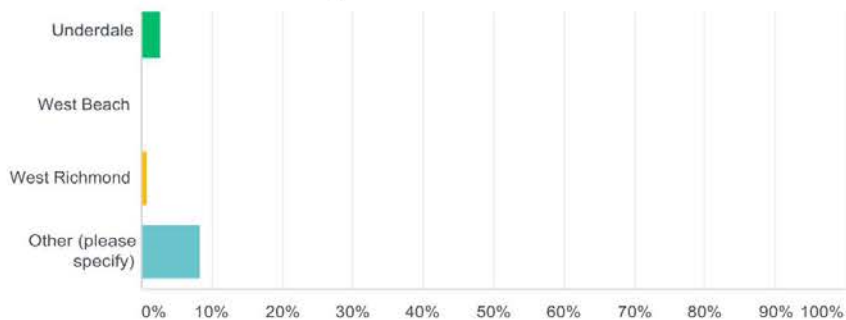
39	Sue Marks
40	rensi
41	David Baldwin
42	Carley Quirk
43	Stephanie and Clive Blanchard
44	John Vass
45	Robert Price
46	Bec Bilton
47	Marie D'Alessandro
48	Bevan Dearman
49	Stephanie Pirimolas
50	David Gibson
51	Briony Anker
52	Kate Donnelly
53	Adam Ward
54	Tim Westergaard
55	Damian Shepherd
56	Ash Harrison
57	Joanne
58	Jason Wood
59	Riley Ashton
60	Matthew Fenech
61	Andrew Noble
62	Michael Arman
63	Dianne Barrington
64	Trevor Rogers
65	Isabelle Hermes
66	Daryl Jarrett
67	Di Voysey
68	Jeanette Oatey
69	Ric Gatto
70	Lewis D'Antonio
71	Eva Kannis-Torry
72	Lola Curcic
73	Matt Heath
74	Terry Grealy
75	Mike (& Vicki) PIPER
76	James ROCK
77	Kellie

Kings Reserve Draft Master Plan

Q2 What suburb do you live in?



Kings Reserve Draft Master Plan



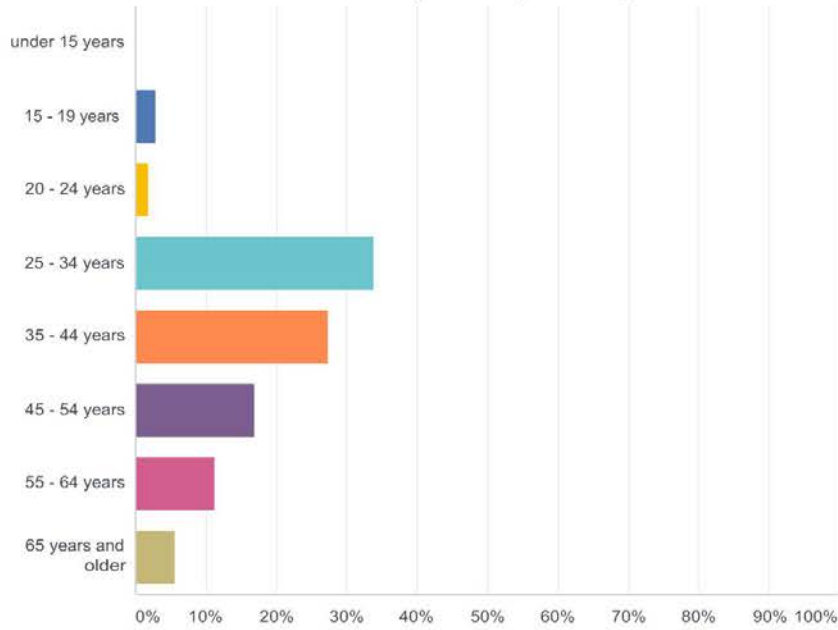
ANSWER CHOICES	RESPONSES
Ashford	0.93% 1
Brooklyn Park	1.87% 2
Camden Park	0.00% 0
Cowandilla	0.00% 0
Glandore	0.00% 0
Glenelg North	0.00% 0
Hilton	0.00% 0
Fulham	0.93% 1
Keswick	0.93% 1
Kurralta Park	0.93% 1
Lockleys	2.80% 3
Marleston	0.00% 0
Mile End	8.41% 9
Netley	0.93% 1
Novar Gardens	0.00% 0
North Plympton	0.00% 0
Plympton	0.93% 1
Richmond	0.00% 0
Thebarton	4.67% 5
Torrensville	64.49% 69
Underdale	2.80% 3
West Beach	0.00% 0
West Richmond	0.93% 1
Other (please specify)	8.41% 9
TOTAL	107

Kings Reserve Draft Master Plan

#	OTHER (PLEASE SPECIFY)
1	Bridgewater
2	Enfield
3	Flinders Park
4	Plympton Park
5	West Hindmarsh
6	St Morris
7	Flinders Park
8	x
9	Allenby Gardens

Kings Reserve Draft Master Plan

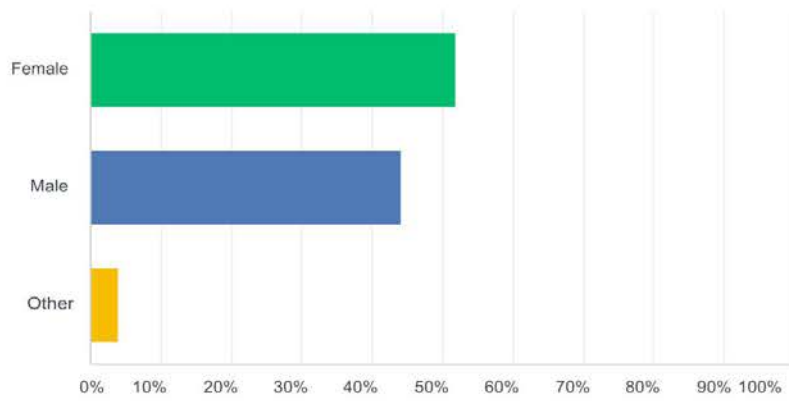
Q3 What is your age range?



ANSWER CHOICES	RESPONSES	
under 15 years	0.00%	0
15 - 19 years	2.83%	3
20 - 24 years	1.89%	2
25 - 34 years	33.96%	36
35 - 44 years	27.36%	29
45 - 54 years	16.98%	18
55 - 64 years	11.32%	12
65 years and older	5.66%	6
TOTAL		106

Kings Reserve Draft Master Plan

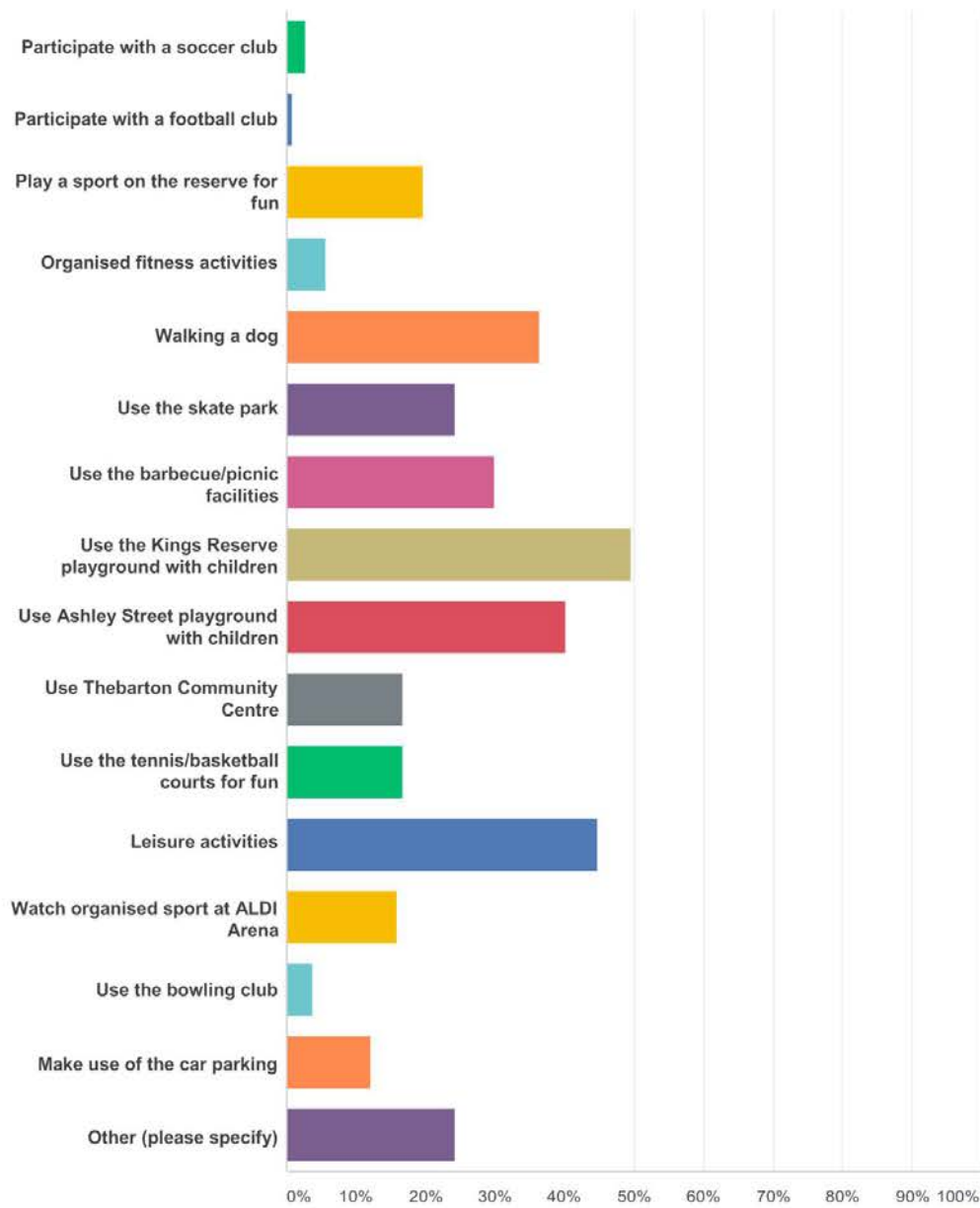
Q4 What gender do you identify as?



ANSWER CHOICES	RESPONSES	
Female	51.96%	53
Male	44.12%	45
Other	3.92%	4
TOTAL		102

Kings Reserve Draft Master Plan

Q5 How do you use the Kings Reserve precinct? Tick as many as apply.



ANSWER CHOICES	RESPONSES
Participate with a soccer club	2.80% 3
Participate with a football club	0.93% 1
Play a sport on the reserve for fun	19.63% 21

Kings Reserve Draft Master Plan

Organised fitness activities	5.61%	6
Walking a dog	36.45%	39
Use the skate park	24.30%	26
Use the barbecue/picnic facilities	29.91%	32
Use the Kings Reserve playground with children	49.53%	53
Use Ashley Street playground with children	40.19%	43
Use Thebarton Community Centre	16.82%	18
Use the tennis/basketball courts for fun	16.82%	18
Leisure activities	44.86%	48
Watch organised sport at ALDI Arena	15.89%	17
Use the bowling club	3.74%	4
Make use of the car parking	12.15%	13
Other (please specify)	24.30%	26
Total Respondents: 107		

#	OTHER (PLEASE SPECIFY)	DATE
1	Aquatic centre	9/12/2017 5:11 PM
2	bike riding on paths	9/12/2017 5:08 PM
3	walk through to shops	9/12/2017 5:00 PM
4	walking	9/12/2017 4:59 PM
5	Aquatic Centre	9/12/2017 4:55 PM
6	Festivals (Japan / Summer Festival)	9/12/2017 4:52 PM
7	Access to shops	9/12/2017 4:42 PM
8	walk through to get to shops	9/12/2017 4:35 PM
9	As An Access Path From House To Shops	9/12/2017 4:28 PM
10	Principal of Thebarton Senior College	9/12/2017 3:48 PM
11	brickworks	9/12/2017 12:42 PM
12	Brickworks	9/12/2017 12:31 PM
13	shop at brickworks	9/12/2017 12:26 PM
14	have used Kings Playground in the past	9/12/2017 12:18 PM
15	First time here	9/12/2017 11:51 AM
16	walk through Meyer Street to South Road to catch bus	9/12/2017 10:54 AM
17	live local	9/11/2017 5:25 PM
18	swimming centre	9/11/2017 5:16 PM
19	As a walking area all around the park this is a unique area, safe, quiet and enjoyable, and should not be compromised by a road through the middle of the park adjacent to family/children areas.	9/7/2017 6:32 PM
20	I live directly behind Kings Reserve	9/6/2017 10:43 AM
21	Thebarton Senior College student and staff (over 1000 people) use the reserve in a range of ways	9/1/2017 3:25 PM
22	My residence backs onto the Kings Reserve	9/1/2017 12:00 PM

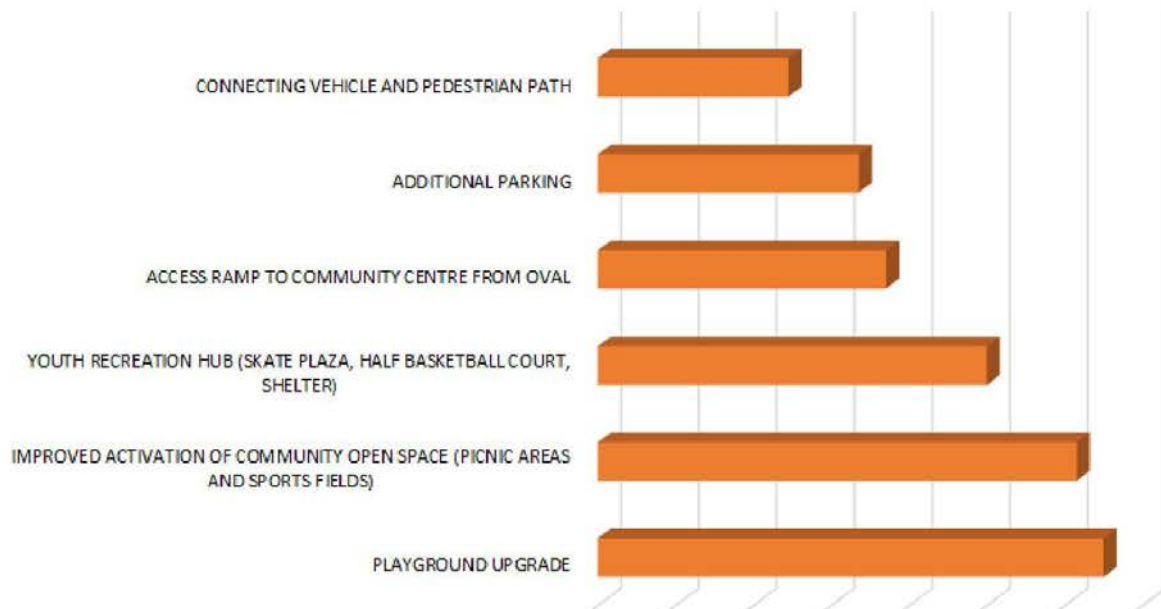
Kings Reserve Draft Master Plan

23	General enjoyment of the view of Kings Reserve from our home and walking in the park, sometimes to walk to the Brickworks through the park. We often take our grandchildren to the park to play on the playground equipment. We are therefore looking forward to the proposed upgrade and installation of the exciting new equipment.	8/31/2017 11:26 AM
24	Live adjacent to the precinct at 88-100 East Street and face onto the precinct (Unit 6).	8/31/2017 9:27 AM
25	Football, cycling, walking	8/29/2017 1:13 PM
26	Walking access to brickworks shopping centre Walking to loop around the back of the oval and reserve with kids	8/26/2017 9:29 PM

What part of the upgrade is most important to the community?

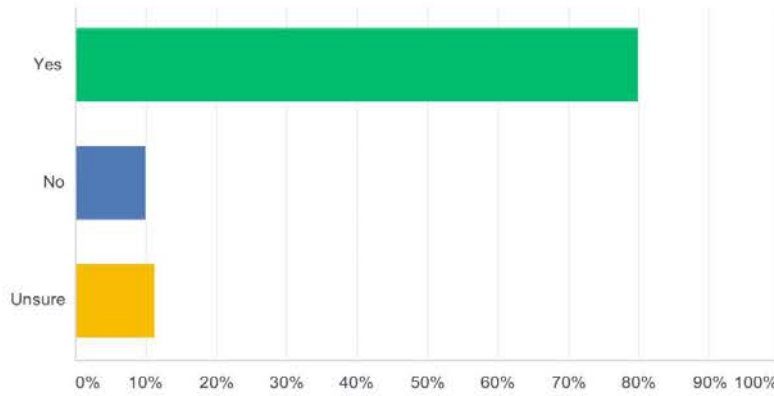
26 people were surveyed at the Community Day and asked to rank the below six aspects of the upgrade from most important to least important. Below is the overall results with the connecting spine being of least importance to people and the playground upgrade being most important.

What part of the upgrade is most important to you?



Kings Reserve Draft Master Plan

Q6 In general, do you support the proposed improvements to the Kings Reserve precinct?



ANSWER CHOICES	RESPONSES	
Yes	79.44%	85
No	9.35%	10
Unsure	11.21%	12
TOTAL		107

Kings Reserve Draft Master Plan

Q7 Specifically, what parts of the plan do you support or oppose?

#	RESPONSES
1	Please don't put a connecting road through. Additional parking on ashwin side may be valuable, however vehicle traffic through the park would decrease its safety and the pleasure in using the park. Open space is limited and we should do our best to keep it for our families and dogs to safely play in. The majority of uses live locally and are walking or riding to the park. Continuing to support responsible offlead dog use is also important. We love the ideas about the new playground. Lots of climbing and balancing.
2	Road is a bad idea. It will ruin the open space Safety issues with kids and dogs
3	The road is a very bad idea. It will cause safety issues for kids and clog traffic on the already badly designed Ashwin pde roundabout.
4	The road. Families use the bbq facilities while their kids play. Now there will be a road separating them.
5	In general I like the proposed plan for Kings Reserve. My only concern is the changes to the skatepark. I'm a local skateboarder from the area and I use this facility of a very regular basis. My concern is that local skaters have not had an input towards the design of the new Park and judging by the overview of the plans it looks like a small street style plaza which is okay but Adelaide needs some diversity. In the last few years almost every skatepark built has been based around the street style plaza. I would like to see something that is more user friendly for every style of skater. I think a new pool style bowl with street obstacles around it would be better for everyone and would bring skaters and riders from all around Adelaide and Australia. I personally have travelled around just to skate at certain skateparks and I know other skaters do the same. Unfortunately I can not make it to the meeting on Saturday the 26th because I'm currently in Europe on a skate trip. Kind regards Jasper Leijs PS Would it be possible to get a copy of the skatepark plan
6	no car park through middle
7	no roadway
8	Do not support road. Hoons will use it, congestion at round-a-bout already, syringes found near soccer club and playground. Road will attract teens in cars or drug addicts at night. Not safe!
9	Would be great if the ground of the park was rubber and not bark. Maybe keep some parts of the old park section like the big silver slide. Undercover shelter for barbecues.
10	Crawlers - appropriate play area for under 2 year olds. Swings Appropriate shaded areas. I like the idea of being circular.
11	Don't put the road in the Park - loss of green space. Don't split the BBQ area and the Kids playground as then kids can play and eat. Upgrade the path along the western side of the path.
12	Wish the toilet could be built closer to new playground and more water fountains as well!
13	I do not understand how cutting a children's/community park in half to cater for cars can be seen as an improvement??? The last thing I want to see is cars and people close together in what should be a place to get away from traffic!
14	No carpark - dogs/kids + cars don't mix. Good link with community centre. If expanding playground, need toilet closer.
15	Road near playground should not be included. Better cycle/scoot area for young kids just learning (in cement or pavers). Toilets MUST be closer to the new playground
16	Do not support the roadway.
17	Relocate Basketball Ring (keep it) Water fountains (need more) with dog bowl Carparking needed, not sure in right spot though. Better link from Thebarton Senior College to Brickworks on pathway on western edge of park.

Kings Reserve Draft Master Plan

18	I think you should reconsider the road addition as it will make the play areas less practical for parents watching small children. I also think it will be worth investing in high quality and exciting play equipment for the new children's playground as there are a growing number of young families in Torrensville and other surrounding suburbs. High quality playgrounds also reflect well on the Council's who provide them, because parents are always telling other parents about good parks etc. It would be great to see the playground emulate the one at Bonython Park with a combination of nature play and "high risk" equipment.
19	Do not support the carpark in the middle. Local people will walk. People for sport can park in streets and walk. People are too lazy now. Car park will make the area unsafe - paedophiles with vans can park there, people may sleep there. Its already an unsafe area. If need to have a carpark, make carpark at northern end away from playground and not a link road through the site. Many people with kids walk and ride from Ashley Street to Ashwin Parade in the site. Bringing cars will be dangerous for this. Very bad idea. Do not support at all the carparking.
20	No road through playground/oval. Car plus dogs or kids do not mix. Hoons will congregate there. Already unsafe at night. Trying to link the area and all you are doing is splitting it all up making it lots of quadrants.
21	Do not support road through the precinct
22	I do not like the proposed new road idea. I think it is dangerous right next to the playground and picnic area. I am not happy with cars parking on Kings Reserve at present right next to the 'no vehicles on the reserve' sign. They have been doing this near the picnic area and soccer clubrooms for years without permits. It isn't very far to walk and children, people on bikes and other park users are put at risk.
23	I have read the 41 page document which is full of politically correct "fluffy" statements. I am amazed that nowhere does it mention how much this is going to COST ME AS A RATEPAYER. My rates have risen by 5.5% this year which in my opinion is totally unnecessary. PS the community garden in my street is only 50% utilised after only being established a couple of years ago.
24	My main concerns with the proposal: 1. Separation of the picnic area #6 from the playground #8. Many of the picnic users will have small children wanting to use playground. Easier to supervise if collocated. REALLY concerned they are separated by a ROAD!!! 2. Replacing existing small oval by playground at #8 will mean that here is no where for families to play or dogs to play when organised sport is occurring on oval #5. This frequently occurs on weekends so there will be no 'overflow' area. 3. Length of 'spine road' and its placement across two main activity area of park, especially given children. I understand it will likely be limited low speed but why not just have access from Meyer Street ad carpark off of South Rd? The Ashwin Street round-a-bout already backs up when busy so it will get even worse. Plus you will need to alter the 1.5 lane round-a-bout!!!
25	Oppose the skate park, tree removal and road - see further comments
26	My partner and I are owners of Unit 3, 88-100 East Street Torrensville. Our group of units is directly adjacent Kings Reserve, to the west. Overall we strongly support the Kings Reserve Masterplan. For some time, we have thought that the reserve could be improved in ways that encourage more people to enjoy it and the Masterplan provides a great foundation for this to occur.
27	I think the idea of the wetland and much of the work to the football oval will benefit the community and encourage more people to participate in sport there as well as to spectate.
28	I highly support plans to upgrade the current skate park, however do not support the development of a 'skate plaza' as included in the draft master plan, as the best option for this upgrade.
29	A road through the existing park would reduce the park area and quality of amenity, be a danger to children, and attract unnecessary traffic.
30	I wonder how close these upgrades will be to the units backing on the reserve and whether it will attract a lot of people creating much noise day and night.
31	I support everything except the road going through the middle of the park. This will pose a danger to children and dogs. It will also reduce dog walking areas and will make the park a less relaxing place.
32	support the whole plan especially the upgrade to the Torrensville Bowling Club and car parking
33	Skatepark re-development is needed!!!
34	Skatepark. It needs redevelopment

Kings Reserve Draft Master Plan

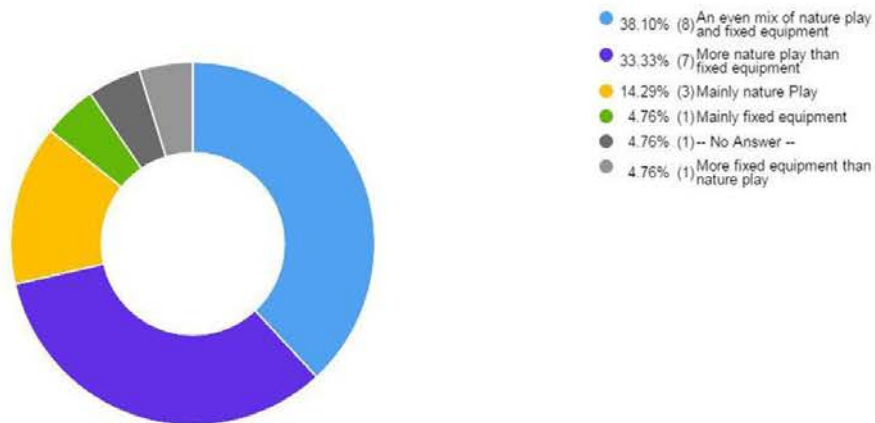
35	I am opposed to the connecting spine road cutting through the park as it represents a risk to residents, children and students using the playground and picnic facilities. I am also deeply concerned about the open lawn and picnic area proposed for the boundary of the SAAFL and Thebarton Senior College. If the intention is to have this open 24 hours a day-it represents a significant level of security risk to the college.
36	Not as a whole, no. I support stage 1 and 2 of the plan, but I'm very much opposed to Stage 3 which involves a new road being introduced and splitting the current area in two. Council states its to provide a more user friendly for local residents and sporting clubs but I don't think it would be more user friendly at all - at least not for local residents. introducing a road and additional car parking between the 2 parks would be an increased risk for kids using the facilities. King's park is the only area nearby thats large enough and open enough as a dog off leash area, and it's pretty obvious this would not be able to be the case with stage 3. The benefits of stage 3 appear to be geared towards other stakeholders and not local residents.
37	I strongly oppose the position of the playground (No.8) from its current position for the following reasons: 1. proximity of playground to existing residential homes 2. reduced privacy and increased security risk (playground users can monitor properties and when they are/are not occupied) 3. exposure to increased levels of noise from playground users, particularly on weekends 4. potential for increased foot traffic through our common area to access playground from East St
38	As a frequent 2-3 times a week visitor to Kings Reserve I feel that aside from maybe some improvements to play equipment and amenities, it serves the community very well in its current state and is the best park/play/fitness area in the area. From what I see on the plans, there will be a significant decrease in grassed areas which is a huge step backwards and the idea of adding a driveway through an area where kids and pets run around is simply preposterous.
39	Opposed to the road running through the park. People have been irresponsible with cars on that oval over the years. Also unsafe for dogs and children. Also the fact it will give people the opportunity to park and loiter especially at night. I used to find syringes in the park 10 years ago when my daughter was younger I would hate to think what it would be like with a drive through road and parking facilities. The only people that it would really benefit are the soccer people who mostly do not even live in the area. As we take our dog on the oval for a run it will make it impossible if there are cars coming through. It detracts from the lovely open area it is now. It is a pity you couldn't leave the park where it is now and put a car park in the area where you intend putting the childs playground. It has always been a dead area.
40	The connecting spine, the SAAFI building and the SAAFI car park.
41	Skate and Bike Bowl Shelter. We would prefer the location of the skate and bike bowl shelter to be between the new playground area and the skate bowl, rather than closer to the rear fences of homes in East Street that back onto the park. This would help mitigate noise from the use of the shelters, particularly at night, impacting on adjacent properties ... who often have bedrooms at the rear of their homes, again backing onto Kings Reserve. The Ramp and Stairs for Skate Plaza Concept. Again we are concerned that the location of this facility be carefully considered in relation to the possible noise impact on properties backing onto Kings Reserve. Trees. We fully support the maintenance of all the existing trees and and fully support the development of additional plantings of shrubbery and addition of new garden areas. Similarly we fully support the proposed development and installation of playground equipment as outlined in the Master Plan.
42	The oval nearest to the East Street Townhouses will be almost consumed by a children's playground (marked "8" on the plan). This may pose and issue for those of us (residents) near the oval: • for noise during the day; and • as an area for undesirable behaviour at night (much like the current gazebo hosts). I also suspect that our common area will become a thoroughfare for some of those accessing the playground. I submit that this impact be minimised and that there is a sufficiently large buffer zone between the most westerly aspects of the proposed playground and the townhouses.
43	It really needs a kids cycling circuit for kids learning to ride bikes..it's the perfect place for it and had the space.
44	Strongly against the road connecting ashley st to meyer st. Feel that the reserve should stay a reserve and not be turned into carparks and roadways. We use the reserve often and feel blessed to have such a large space, free of traffic and with natural surrounds so close to where we live. It would be a real shame for the park to lose its feel and we are unsure whether the new design would enable us to still walk throughout the reserve without having to be aware of traffic - something that is a concern when walking with our young kids and dog.

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We are very supportive and excited about the upgrade as a whole. The picnic are, wetland etc. will be a welcome addition. The playground looks great and we are supportive that it will be 'high risk'. The one very concerning element of the master plan is the 'spine road'. As a family we are very opposed to a 'through' road connecting Ashwin Parade to Meyer St. We understand that there is a need for increase parking in the area to service the football club and the park and are happy for this to be included, but would suggest that logically this would be included at the edges of the park? The reasons we oppose the spine road are as follows. X The swimming Ctr, childcare centre, Tafe, footy training/games and general park traffic make the dead end of Meyer Street a very busy place for cars. We feel that the spine road would become a thoroughfare for people using all of these facilities and would reduce the safety and also ambiance of the reserve area. X the access directly to the Ashwin Parade roundabout for people coming from Torrensville would be very enticing to use as a safe and easy way of turning right onto Ashwin Parade especially for morning traffic. X children using the playground and needing to use the toilet will need to cross an area with moving cars. X the picnic area and playground are separated by the road, which reduces the ability for the areas to be used in conjunction for families. X Dogs would need to be kept more contained to avoid the road. X The spine road would likely be approx 6m wide plus 90 degree parking both sides. This is a huge amount of 'green space' to be given over to this use. X We currently have a very unique urban situation at Kings Reserve, where you are able to escape the hussel and Brussel of traffic and let the kids and dogs run free in a relaxing environment with minimal traffic risk. The area behind the Aussie Rule football oval is also great as it feel like a bush setting with lots of birds etc. it would be a shame to loose this to roads and car parking X in terms of future proofing - it is anticipated that car use and car parking requirements will drop with the pending release of driverless cars etc. therefore giving over space to this may not be as valuable as anticipated. Thank you for considering our thoughts

What would you like to see in the playground?



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Q8 Do you have any further comments to make about the Kings Reserve Draft Master Plan or Kings Reserve in general? Please provide these below.

#	RESPONSES	DATE
1	- playground = An even mix of nature play and fixed equipment - Carparking required near aquatic centre and more bbq for picnic area and strict rules for tidyness for picnic area - Most important to least important (interviewed by staff): 1. Additional parking 2. Playground upgrade 3. Improved activation of community open space (picnic areas and sports fields) 4. Connecting vehicle and pedestrian path 5. Youth Recreation Hub (skate plaza, half basketball court, shelter) 6. Access ramp to community centre from oval	
2	- playground = More nature play than fixed equipment - Please don't put a connecting road through. Additional parking on ashwin side may be valuable, however vehicle traffic through the park would decrease its safety and the pleasure in using the park. Open space is limited and we should do our best to keep it for our families and dogs to safely play in. The majority of users live locally and are walking or riding to the park. Continuing to support responsible offlead dog use is also important. We love the ideas about the new playground. Lots of climbing and balancing. - Most important to least important (interviewed by staff): 1. Playground upgrade 2. Youth Recreation Hub (skate plaza, half basketball court, shelter) 3. Improved activation of community open space (picnic areas and sports fields) 4. Additional parking 5. Access ramp to community centre from oval 6. Connecting vehicle and pedestrian path	
3	- playground = Mainly fixed equipment - Artificial soccer pitch (court size) - Most important to least important (interviewed by staff): 1. Improved activation of community open space (picnic areas and sports fields) 2. Youth Recreation Hub (skate plaza, half basketball court, shelter) 3. Playground upgrade 4. Connecting vehicle and pedestrian path 5. Additional parking 6. Access ramp to community centre from oval	
4	- playground = More nature play than fixed equipment - Most important to least important (interviewed by staff): 1. Youth Recreation Hub (skate plaza, half basketball court, shelter) 2. Improved activation of community open space (picnic areas and sports fields) 3. Playground upgrade 4. Access ramp to community centre from oval 5. Additional parking 6. Connecting vehicle and pedestrian path	
5	- Most important to least important (interviewed by staff): 1. Improved activation of community open space (picnic areas and sports fields) 2. Youth Recreation Hub (skate plaza, half basketball court, shelter) 3. Access ramp to community centre from oval 4. Additional parking 5. Connecting vehicle and pedestrian path 6. Playground upgrade	
6	- Most important to least important (interviewed by staff): 1. Access ramp to community centre from oval 2. Playground upgrade 3. Connecting vehicle and pedestrian path 4. Improved activation of community open space (picnic areas and sports fields) 5. Youth Recreation Hub (skate plaza, half basketball court, shelter) 6. Additional parking	
7	- playground = An even mix of nature play and fixed equipment - Like the look of it just do it/get it done this time - Most important to least important (interviewed by staff): 1. Playground upgrade 2. Youth Recreation Hub (skate plaza, half basketball court, shelter) 3. Improved activation of community open space (picnic areas and sports fields) 4. Access ramp to community centre from oval 5. Connecting vehicle and pedestrian path 6. Additional parking	
8	- playground = An even mix of nature play and fixed equipment - Most important to least important (interviewed by staff): 1. Youth Recreation Hub (skate plaza, half basketball court, shelter) 2. Playground upgrade 3. Improved activation of community open space (picnic areas and sports fields) 4. Access ramp to community centre from oval 5. Connecting vehicle and pedestrian path 6. Additional parking	
9	- playground = An even mix of nature play and fixed equipment - water play area for kids - Most important to least important (interviewed by staff): 1. Playground upgrade 2. Access ramp to community centre from oval 3. Improved activation of community open space (picnic areas and sports fields) 4. Youth Recreation Hub (skate plaza, half basketball court, shelter) 5. Connecting vehicle and pedestrian path 6. Additional parking	

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10	- playground = mainly nature play - Most important to least important (interviewed by staff): 1. Improved activation of community open space (picnic areas and sports fields) 2. Playground upgrade 3. Youth Recreation Hub (skate plaza, half basketball court, shelter) 4. Additional parking 5. Access ramp to community centre from oval 6. Connecting vehicle and pedestrian path
11	- playground = More fixed equipment than nature play - Bike path loop bmx. Fenced access from road. - Most important to least important (interviewed by staff): 1. Playground upgrade 2. Connecting vehicle and pedestrian path 3. Improved activation of community open space (picnic areas and sports fields) 4. Youth Recreation Hub (skate plaza, half basketball court, shelter) 5. Access ramp to community centre from oval 6. Additional parking
12	- playground = More nature play than fixed equipment - Most important to least important (interviewed by staff): 1. Playground upgrade 2. Improved activation of community open space (picnic areas and sports fields) 3. Youth Recreation Hub (skate plaza, half basketball court, shelter) 4. Additional parking 5. Access ramp to community centre from oval 6. Connecting vehicle and pedestrian path
13	- playground = More nature play than fixed equipment - Hi. Whilst im positive about the plan generally Im strongly against the access road which separates the reserve into parts and introduces vehicle hazards to young children who play on the nearby playground. This road will be used as a vehicle route for users of the childcare centre, swimming pool, senior college and football oval. It will become a busy thoroughfare rather than a quiet street for reserve users. If the roadway must remain id recommend placing it along the outer edge of the grounds so that areas of the ground are not split apart and the park can remain vehicle free. Id also suggest making the road a dead end to ensure it only caters to users of the reserve. If the road remains as planned Id remove the section of road that separates areas 8 and 6 so that the reserve feels connected together. id also suggest putting up more barriers between the road and the playground area to ensure child safety. I use this reserve often and would be saddened if it became split up by a busy road. I also walk around the football oval every day to get away from road traffic (the new road would impact on this). One further suggestion is to plant lots of fruit trees - a few big english black mulberry (these live for hundreds of years) trees would be amazing! Many thanks. :) - Most important to least important (interviewed by staff): 1. Playground upgrade 2. Improved activation of community open space (picnic areas and sports fields) 3. Youth Recreation Hub (skate plaza, half basketball court, shelter) 4. Access ramp to community centre from oval 5. Additional parking 6. Connecting vehicle and pedestrian path
14	- Most important to least important (interviewed by staff): 1. Playground upgrade 2. Improved activation of community open space (picnic areas and sports fields) 3. Access ramp to community centre from oval 4. Additional parking 5. Connecting vehicle and pedestrian path 6. Youth Recreation Hub (skate plaza, half basketball court, shelter)
15	- playground = An even mix of nature play and fixed equipment - Dont cut down trees. Nice park not just playground - Most important to least important (interviewed by staff): 1. Improved activation of community open space (picnic areas and sports fields) 2. Playground upgrade 3. Youth Recreation Hub (skate plaza, half basketball court, shelter) 4. Additional parking 5. Access ramp to community centre from oval 6. Connecting vehicle and pedestrian path
16	- playground = More nature play than fixed equipment - Fenced playground to separate dogs and traffic from children. Upgrade walking path between meyer and ashwin. - Most important to least important (interviewed by staff): 1 Playground upgrade 2. Improved activation of community open space (picnic areas and sports fields) 3. Youth Recreation Hub (skate plaza, half basketball court, shelter) 4. Connecting vehicle and pedestrian path 5. Additional parking 6. Access ramp to community centre from oval
17	- playground = An even mix of nature play and fixed equipment - Sandpit that is designed to resemble a mine for kids to celebrate history of brickworks possibly with digging facility water to shape bricks pulleys to move them around. Also toilets closer to playground so kids dont have to cross street and be out of sight for parents with multiple children - Most important to least important (interviewed by staff): 1. Playground upgrade 2. Improved activation of community open space (picnic areas and sports fields) 3. Youth Recreation Hub (skate plaza, half basketball court, shelter) 4. Access ramp to community centre from oval 5. Additional parking 6. Connecting vehicle and pedestrian path
18	- Playground = Mainly nature play - A giant trampoline, rock climbing wall, cement path for scooting - Most important to least important (interviewed by staff): 1. Playground upgrade 2. Youth Recreation Hub (skate plaza, half basketball court, shelter) 3. Improved activation of community open space (picnic areas and sports fields) 4. Access ramp to community centre from oval 5. Additional parking 6. Connecting vehicle and pedestrian path

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19	- Would like to see more toddler suitable equipment and play areas. Like jervois st reserve, plympton. - Playground = More nature play than fixed equipment - Most important to least important (interviewed by staff): 1. Playground upgrade 2. Connecting vehicle and pedestrian path 3. Improved activation of community open space (picnic areas and sports fields) 4. Additional parking 5. Youth Recreation Hub (skate plaza, half basketball court, shelter) 6. Access ramp to community centre from oval
20	- Playground = More nature play than fixed equipment - Most important to least important (interviewed by staff): 1. Playground upgrade 2. Youth Recreation Hub (skate plaza, half basketball court, shelter) 3. Improved activation of community open space (picnic areas and sports fields) 4. Additional parking 5. Access ramp to community centre from oval 6. Connecting vehicle and pedestrian path
21	- I am worried about the wetlands possibly containing non-native trees - Most important to least important (interviewed by staff): 1. Youth Recreation Hub (skate plaza, half basketball court, shelter) 2. Improved activation of community open space (picnic areas and sports fields) 3. Access ramp to community centre from oval 4. Playground upgrade 5. Additional parking 6. Connecting vehicle and pedestrian path
22	- Would be good to formalise the path along the western fence of the reserve as it gets very muddy - Playground = An even mix of nature play and fixed equipment - Most important to least important (interviewed by staff): 1. Playground upgrade 2. Youth Recreation Hub (skate plaza, half basketball court, shelter) 3. Improved activation of community open space (picnic areas and sports fields) 4. Additional parking 5. Access ramp to community centre from oval 6. Connecting vehicle and pedestrian path
23	- No road. It will separate the beautiful green areas - Most important to least important (interviewed by staff): 1. Improved activation of community open space (picnic areas and sports fields) 2. Additional parking 3. Access ramp to community centre from oval 4. Playground upgrade 5. Youth Recreation Hub (skate plaza, half basketball court, shelter) 6. Connecting vehicle and pedestrian path
24	- Playground = An even mix of nature play and fixed equipment - Ashwin parade needs changing to stop the regular traffic ba kups at the roundabout. - Most important to least important (interviewed by staff): 1. Playground upgrade 2. Improved activation of community open space (picnic areas and sports fields) 3. Youth Recreation Hub (skate plaza, half basketball court, shelter) 4. Access ramp to community centre from oval 5. Additional parking 6. Connecting vehicle and pedestrian path
25	There should be more fruit trees planted for the community to use. Most important to least important (interviewed by staff): 1. Improved activation of community open space (picnic areas and sports fields) 2. Access ramp to community centre from oval 3. Playground upgrade 4. Youth Recreation Hub (skate plaza, half basketball court, shelter) 5. Additional parking 6. Connecting vehicle and pedestrian path

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- 26 Thebarton Senior College has over 1,000 students and 150 staff. Many of the students utilise Kings Reserve in their breaks and also cut through as they walk to the Brickworks. Making the pathway on the western edge of Kings Reserve larger, bitumen and lit would be a great improvement and help to our students and teachers. It also lines up with the pedestrian crossing over to the Brickworks. I disagree with the roadway through the plan. This eliminates any calm space for our students as there may be hoon drivers through the area. Many of our students have come from war-torn countries and enjoy escaping to the tranquillity of Kings Reserve and it would be shame to add cars to the mix. The concept plan shows carparks along Meyer Street across our existing driveway. If this is an error as the drawing is conceptual only that is ok but if you are planning to add carparks and close our rear driveway this cannot happen. The rear driveway is the only access to the school for delivery trucks, ambulance, and trucks for our trade school. With the Option 16 carpark and spine road option, it shows and exit point out onto Ashley Street right next to the current bus stop. At the end of school, I have 1,000 students walk to bus stops - most to that bus stop. 99% of our students travel with public transport. There is a real risk to our kids having that access point where it is. Either move the bus stop or get rid of the access at that point. Any paths that you put in should have bollards at the entry and exit points as motorcycles often hoon around where there are no bollards. The fenceline in area #6 is an issue for us if the area east of our boundary becomes picnic/nature area. We already have security issues along that fenceline with break-ins to steal our ipads etc. I would really hope the area would be well lit and visible from the street or turn it into carparking. As far as the playground is concerned, our students were denied playspaces as kids and actually quite enjoy playing on the equipment. Adult sized equipment would be a great addition and would also encourage parents to play with their children. the bbq and picnic facilities would also be well used by our students as they are now. Since City skate closed down a space for our skaters is really important so any additions or upgrades would be welcome. The link to the brickworks as I've mentioned earlier is also very important. Bikepath access across the site would be a good addition too. Thank you for asking for feedback. I look forward so seeing the plans further develop.
-
- 27 I am very excited about the new upgrades for the Kings Reserve skatepark. As I live so close to Kings Reserve I have used the skatepark on an almost daily basis for approx. 10 years. I hope that the eventual upgrade is one that the council and community can be proud of. In terms of design, I would love to see an additional large bowl built separate to the current existing structure. A properly built and designed bowl with pool coping would be an amazing asset to the park, as skatepark construction in South Australia has recently lagged behind the Eastern states in this regard. Further 'street-style' obstacles could be built around the perimeter of the old and new bowls, ensuring that the park caters to riders of all skill levels and styles. Looking forward to it!
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- 28 10 plus years ago West Beach was fortunate enough to get a world class ramp. As skateboarding changes, progresses, so do facilities. South Australia much needs a world class bowl for locals and bringing people from all over Australia and the world which West Beach ramp has done, featured in magazines and skateboarding dvd's. We have many bowls in South Australia but not a more challenging bowl which is much needed. Recently Newcastle (Bar Beach), Torquay, Noble Park in Victoria, have built world class bowls and many skateboarders from the age of 10 upwards have participated in Australian competition and even world wide.
-
- 29 If extending the skatepark they should include a larger bowl around 6-10feet. There are an abundance of tiny bowls and skateparks with very small transitions in Adelaide. However there are very few larger ones. This is an issue for a number of reasons. Skateboarding is an Olympic sport now and in order for people to train they need an appropriate training facility. One that has the necessary obstacles for progression. There are only a very small handful of professional bowls in Adelaide and even less modern ones. To have a modern, professionally designed world class bowl would be essential as it would be one of the only ones in Adelaide. So it would be used by a lot of people. Including one in any future skatepark design should be essential. PS In recent years skateboarding demos and events held by travelling professionals often skip Adelaide entirely as not only do not have City Skatepark anymore we only have very small parks more suited to children than athletes in training.
-
- 30 Do not split the playground from bbq facilities. Need toilets closer to new playground. Carpark or roadways across the pughole - silly decision. Don't you remember Ashwin parade sinking into the pughole and being rebuilt at least 2-3 times? Also the tennis and cricket clubs sank too. Don't put heavy roads on the pughole. What cant the Meyer Street carpark be extended slightly into the park? Make another row of cars on the current grass area. Don't need masses of carparks. Only busy a handful of times per year. Add more carparks on the southern end of Thebaton Oval and open up the current carpark which they never let anyone park in. good luck
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- 31 Would like to see Aboriginal Involvement. I have links with the Aboriginal Community. I would like to be contacted to assist you consult with the Aboriginal Community locally. ph [REDACTED]
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32	Ground gets soaked during winter - provide run off to make grounds playable. Add new moveable goal posts Better greens/foilage around fenceline along the side of Thebarton Oval Playing surface of soccer pitch to be improved - too many dips. Walk ways around park to be asphalt rather than gravel/mud - get very muddy in winter. Parking - better or more availability Improved canteen facilities for soccer club - hot water, sewerage for sink. Better lights - will help with Fork in the Road also - get light poles on eastern side close to the complex. See email in conjunction with this
33	Metal slide on current wooden structure is rotting away. No access to playground area by cars. Include a flying fox. Wooden playground at Glenelg foreshore is good. Like to ride bikes - we come through Meyer Street - don't want it to be more busy there with more cars. A pedestrian crossing across ASHwin Parade - join it to the path on western side of park and light it. No to plastic. Waterplay perhaps at the wetland - pumps like Bonython Park.
34	Carparking should only be on the edges. Current playground is too old. Need adventurous equipment - high climbing, big enough for parents too as sometimes need to rescue kids. Expanding across - have links - between swimming centre and Brickworks too. Bike path is important. Picnic areas are important but need to be closer to playground. Water fountains and public toilets need to be between skate park and playground. Shelters need to be closer to equipment. Learn from mistakes - along linear park bbq's are not used unless they are near a playground. Existing playground needs to go - very unsafe. Food truck access, Rymill Park good example, Fork in the Road event excellent.
35	In Christchurch NZ there is a playground that includes access for food trucks,. Seeing as you have the Fork in the Road has thought been given to food trucks more often? The NZ playground is the best ever, it is near the Avon River. Look it up. Toilets need to be closer to the playground. Add water play. I drive to Kings Reserve/Ashley Street and parking is an issue but not to have it through the site. People don't want to walk at all anymore. Carparks can be a bit further away. Have exciting equipment - not safety as usual. Monkey bars - kids love and they are around very much
36	1. Concern about the access off the Brickworks roundabout to proposed playground. This is already 'banked=up' and clocked frequently due to cars trying to access/leave Brickworks carpark at peak times and weekends. 2. So many carpark areas and roads proposed, especially close to playground. Will this be fenced off for safety of children freely playing? 3. Where is the shade for the playground? This item was missing from the previous/current playground when I would take my children to play frequently. 4. In moving the playground it will be further from the toilet block and this could be awkward for small children. 5. Will the proposed SAAFL building be within an extended 'Thebbi Oval' area or in an open access area as now? 6. I use the "Clifford St Dog Park" frequently. Thank you for the recent installation of the light and for extending the dog area. However the grass and ground along the access pathway is excessively boggy and wet and has been from its inception. there may be a water leak along the fence-line. Could this be checked and remedied please. The current state is barely acceptable and demonstrates inadequate environmental management.
37	Dog park? Perhaps a smaller outdoor wading pool for summer like Tusmore Park. unconventional playground equipment is great to see, swing bridges, the 'tube' idea is great. Good to see timber be used for playground equipment. Slides and inground trampolines at Glenelg Jetty Rd playground are great too.
38	Would like to see flying fox, trampoline, rock climbing wall, hammock swing, monkey bars and high slides
39	Swings - twin swing would be excellent. Crawler equipment. Alternative to bark chips. Area to eat and play - where kids are visible.
40	Include water play and a bike area with challenges - track looks great. Look forward tot he final project.
41	I do not approve of a road going through or on our reserve. This raises issues of safety of course but also why would we want a road through our greenspace? Roads are for cars and parks are for people! Otherwise I approve of the other planned changes that are envisioned. But roads? No!
42	It is silly to add cars to close to playground. Put road from South Road carpark along soccer field and join Meyer Street but DO NOT join Brickworks round-a-bout. So congested there already. People will cut through thinking they can get down to Ashley Street or South Road. Too dangerous for our kids. Playground - need toilets closer - flying fox would be good - high risk equipment good but still need toddler equipment too - more bushes and trees are great
43	Playground - add waterplay, sand play, hamster wheel. Need toilets closer. No road near kids
44	Druggies, Kids (teenagers) parking and making noise and mess, rubbish will increase with dark roads with parking. Should not go through the site.

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45	We like the idea of an upgrade. We strongly dislike the idea of a road through a park and playground. We would like to see some tree climbing nature play like Morialta. We would like to see a dirt bike track in the existing trees. Car parking can be on the edge to ensure safety for the children and anyone walking their dogs. Some secret play areas with tunnels and large logs to play around.
46	I think its great that something is proposed as some areas looking very tired. Please put more bins spread out around the whole area. I know there are people who are piggies and will drop rubbish regardless but there needs to be more of them, especially at entrances/exits. Please put more dog bag stations and drinking fountains.
47	Would be nice to see a dog park somewhere in the plans. I know we have Clifford Street but it is very small. Just a thought
48	1. Great proposal 2. A priority should be for extra parking in 1st stage. particularly around new playground area. 3. Possibly a 1 way loop around new playground area with parking on side closest to playground so as to minimise young ones crossing road. 4. Don't have road access from playground area to Ashwin Parade/Brickworks round-a-bout because safety issue with extra traffic at roundabout and cars to ovals via playground. 5. Carparking in Meyer Street is becoming a growing concern with cars now parking over Jervois street. Off street parking in any upgrade is a must.
49	Bowling Club picnics. Put more activity for people with a physical disability. I Like them to have a club for people with disabilities to meet with other people and participate in activities.
50	As someone who skates Kings Reserve park regularly I would really like to see a proper size bowl, something like the bowl they have out at Flagstaff Hill skatepark or even like the bigger bowl at Fulham. It would be great to see pool coping rather than metal coping because south Australia really only has one bowl with pool coping. This is definitely not enough. Anywhere between an 8 foot deep end would be great. I think building a plaza style skate park is a bit unnecessary seeing as they built one pretty much across the road at Bowden. The main skaters that use the Kings Reserve skatepark are bowl skaters although hopefully there will be room for a decent bowl and some street obstacles as well. Thanks
51	Bigger skate park with larger bowl and other structures. As a skater we'd also like concrete bitumen access so we can skate all the way to the park. Paved access is essential. Some flat concrete would also be good to practice skills and jam skating.
52	As someone who spends time at Kings Reserve Skatepark and knows a lot of the skateboarding community, I think people would benefit more from bowl and pool additions to the skatepark. A bowl in the Kings reserve skatepark is much more likely to be used than a street skating addition. I would recommend talking the design over with someone who skates the Kings reserve skatepark often for the best result as it will attract skaters and make sure more people use and enjoy the skatepark. I personally would like to see a larger pool or bowl addition with pool coping. I hope you take this into consideration.
53	As a rollerskater I would love for the area to be redeveloped in a way that is more useful for me. A bowl is better than a street plaza. Stairs are not good for me!
54	As a regular user of the Thebarton skatepark I am happy to see this being upgraded. As part of the upgrade, I believe it would be an asset to see the addition of a bowl style skate facility so as to enable children to progress from the small mini ramp to a larger style ramp/bowl. I think this style of skate park would be a huge attraction to the area bringing in people from all areas of Adelaide. If I can assist in the design process in anyway I would love to help.
55	Having been keenly involved in skateboarding for about 27years, I have witnessed the most successful Council facilities for skateboarding built with a concept for covering the various 'sub-disciplines' in skateboarding. I would like to suggest that a successful facility should incorporate 'bowl' or 'transition' sections of terrain in various sizes and shapes and some 'street' terrain elements also. I would also like to refer to the importance of using skatepark specific concrete contractors during the build to ensure quality of the end result. Only a skateboard specific builder will have the required knowledge of spacings, dimensions, radius to height ratios and so forth. A well planned and constructed skatepark brings years of fun and fitness to the community. Thanks for the change to comment. Good luck.
56	As a local long time skateboarder that frequents Kings Reserve skatepark I would like to see more bowl/pool additions rather than street skating. I skate the park with friends regularly and rarely see anyone utilising the existing street areas. While the bowl areas, which could easily be improved upon, are in constant use. I would love to see a larger bowl or pool style addition specifically one that is designed by a skateboarder with pool coping! Having a skate area that is designed by someone who actually skates makes a huge difference to the amount of people that will use the area and the amount of fun they can have. I seriously hope you will take this into consideration. If you would like to contact me to discuss this further my contact number is [REDACTED]

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- 57 My name is Ashley Harrison, I'm a 28 year old male skateboarder, I've been skating for the past 20 years and I'm in the final stages of my Community Development degree. Most of my time is divided between my partners home on Lurline Street in Mile End and other friends homes on Ruddock Ave, Wainhouse Street, McDonnell Ave, and all around the Kings Reserve region. This skate facility was the first place I learnt how to 'drop in'; it gave me my first humbling elbow grazes, and has subsequently provided many years of creative exercise for myself and my fellow west torrens skate community- for this I thank you greatly! I wholeheartedly support the proposed improvements to Kings Reserve and would like to provide some brief advice (and I think the collective mindset of the greater West Torrens skateboarding community) with regards to the proposed skatepark redevelopment draft. The idea of a 'plaza' style street section is fantastic and should be included, but the adelaide skate community is in dire need of a well designed 'skate bowl'. It is good to bear in mind that there are countless 'street plaza' style facilities within the adelaide metropolitan region today but only ONE other skate facility in South Australia that has a well sized pool bowl complete with pool coping (Flagstaff Hill). A high quality bowl is appealing to skateboarders of all ages (the older you get the harder it is to jump down a set of stairs) and also facilitates the inclusion of the broader BMX community- who can barely use the current facility and who would continue to struggle with the presently proposed designs. The implementation of a high quality skate bowl AND plaza in Kings Reserve will bring skateboarders, BMXers and rollerskaters from all over South Australia to the council region- a great thing for local businesses. It will foster future generations of well-rounded skaters and riders by encouraging diversified skill sets, and it will further enrich the broader community as a result. An ideal bowl needn't be enormous or expensive. A good bowl consists of a shallow end and a deep end; 3-5ft shallow and 6-8ft deep, generally taking a 'kidney bean' shape. See pictures emailed through for ideal examples and shapes that I and my community have personally experienced and had a great deal of fun with in our travels. Please contact me any time regarding future skate facility design amendments or for assistance in networking with local skate park builders with extensive bowl and plaza building repertoires,
- 58 We are constant users of the park, taking our young son to both playgrounds, watching the football and using the lawn area for free play. Whilst overall it is looking to be a fantastic development for the area, we have a strong objection to the large driveway that will cut through the centre of the grounds. this will ruin the ambience and aesthetic appeal of the playground and picnic area. It splits the playground and picnic area up, losing the flow and connectivity between the two areas and it is a danger to have a driveway so close to where children will be playing. It is completely unnecessary when there is already access and ample parking from South Road, existing carparking on Meyer Street and proposed parking adjacent Ashley St. If more carparking is needed, then consider increasing the area in Meyer Street. I hope this aspect of the project is reconsidered as it would be an unnecessary cost for the development and would completely ruin what looks to be a positive thing for the area. Thanks for taking our views into consideration. Please do not hesitate to contact me if you wish to clarify anything. Joanne and Andrew Reid
- 59 I think the master plan looks great for the reserve. My only concerns are will I still have access to open oval area to exercise my dog off leash and parking. I live in Meyer Street and currently when football has major games occurring the parking in our street becomes a nightmare. I have a large utility vehicle which I need to park on the street and some weekends I need to park 100m down the road and friends visiting for the weekend have no change of parking close to my property. I am worried that if this area is to have a major increase in usage, the parking will become worse. As a ratepayer I am already quite upset about the parking conditions. I was going to apply for a permit zone to be enforced outside my property almost two years ago but did not bother as the council told me that they were changing the parking in this area. This has yet to change.
-

Kings Reserve Draft Master Plan

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- 60 I am writing to provide feedback on the Kings Reserve Development Draft plan, raise concerns and provide suggestions. As a regular park user and a resident of West Torrens City Council area this project will impact my enjoyment of the park and quality of life generally. Primarily I am very concerned about the proposed 'skate plaza'. I do not expect to benefit from such a development. A skate plaza may look cool in a CAD drawing and be eye appealing to the non skater i.e. other park users, but it will be of no benefit to me as a skater who would use the park 4-5 times a week in peak season i.e. day light savings. Every skater I meet at the existing park is a transition skater or scooter rider, and none have expressed interest to me about the construction of rails stairs or banks. Everyone it seems, wants to see another bowl to provide for different techniques in transitions style skating. I would like to see a new bowl with pool coping (a very important aspect of transition skating that is only available in one place in South Australia and is inaccessible in the western suburbs). The significance of pool coping is no secret and can be confirmed in the history books. I would like to see a waterfall within the bowl, transitioned pockets and hips and a very vertical deep end. A bigger bowl would mean skaters and bike and scooter riders can improve and apply their developing skills to harder, bigger transitions. It is my understanding that scooter riders are primarily transition riders and hence will not use a skate plaza. The many frequent youth that use the current park are unlikely to benefit from a plaza style park. I am somewhat concerned about suggestions to change the existing park. The design is not perfect but it is currently skateable and any redevelopment would be a waste of funding that could otherwise be used to build something new. Patches of rust and small cracks may appear to the non park user as degradation and potentially dangerous. In reality these signs of ageing provide no hindrance to the skater or other park users. In regards to the natural environment I am very concerned that proposed roads through Kings Reserve will split up the reserve, and detract from the reserve as a green open space. It will provide a major hazard for frequent park users who allow their dogs to play off lead, and also add to the risk of flooding in the area by increasing water run-off. I am also concerned that more trees will need to be cut down to build such a road. These trees have taken decades to grow and cannot simply be replaced with 'new' plantings. I am very happy to see that the existing wetland is proposed to be expanded. The significance of aquatic ecosystems in the Adelaide plains is a very high and highly undervalued and generally misunderstood by many. I support a meaningful extension to the current water retention pond although the design of the extension should be not only for stormwater management but also for local native flora and fauna conservation. My final comment is regarding the landscaping approach to the development of Kings Reserve. Please do not cut down existing trees, but also please do plant local native plants of all forms. It is not beyond the council's landscaping team to provide attractive gardens of solely local native plants. Local native grasses, ground covers, climbers and shrubs will support biodiversity conservation in the area. Thank you for the opportunity to comment on the plan. I look forward to seeing the final design and enjoying the new development on its completion. Please contact me should the opportunity to provide further suggestions exist, or if you would like to discuss any of the issues raised in this email.
-
- 61 Thank you for the opportunity to comment on the Kings Reserve Master Plan. I am a resident and owner of a property on East St, Torrensville. I am a frequent user of the park, using the park to walk, cycle, jog and meet with friends for recreational activities. I am excited about the potential modernisation of the park to make it more accessible and enjoyable for users. I am however deeply concerned about the proposed enlarged access road adjacent to the football oval that will cut through the centre of the grounds. I believe that this will be detrimental to the park because: - splitting the playground and picnic area with a road will be dangerous to children playing, as there is a risk children will be exposed to car traffic; - the road will reduce the greenery in the park, which will ruin its aesthetic appeal and utility; - the increase in road traffic will be a danger to runners and cyclists that use the bike path. I believe that the need for a through road is redundant and there is already access to traffic from South Road and Meyer Street. There is ample parking within and adjacent to the existing and proposed facilities. Therefore through this consultation process, I am requesting that the access road through the park be reconsidered along with the associated rate-payer funded cost of this part of the project. Thank you for taking my view into consideration.
-
- 62 Congratulations on the master plan draft. It looks good and I'm looking forward to seeing the transformation. Two things I would like to see is the incorporation of some public art elements, preferably sculpture, and the opening up and softening up of Thebarton Oval so its more integrated with the rest of the reserve - I understand that you need fencing to enable it to be a pay stadium but the present fencing and outer concrete mounding is very ugly.
-

Kings Reserve Draft Master Plan

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- 63 We make the following suggestions for Council's consideration: 1. Ensure that the dirt pathway along the western boundary of Kings Reserve is paved and solar lighting installed along this path. This pathway is regularly used by students of Thebarton Senior College, as well as by people walking between the Brickworks/River Torrens Linear Park and the ALDI arena, aquatic centre, East Street childcare centre and other parts of the Torrensville suburb. Its a logical north-south connector for the broader precinct, lines up with the pedestrian crossing over busy Ashwin Parade and should be identified as such in the masterplan. From our perspective, people using the pathway adjacent our units is actually a good thing because it provides passive surveillance. We sometimes even talk to passers by while working in our units common garden. For us, upgrading the pathway is just formalising the pathway that is already well used and loved. 2. Prioritise the new car park and vehicle access through the reserve, and improve conditions for pedestrians and cyclists travelling between the Brickworks/Linear Park and Kings Reserve. We support the proposed internal road and carpark. I suspect some people may see this as destructive, but I think it will actually be really valuable and make the massive open space area more accessible. In planning this new road and car park, please consider how it connects with the shopping centre and River Torrens Linear park. There is considerable pedestrian and cycling activity in the precinct - but the speed and volume of traffic on Ashwin Parade makes it a difficult environment to negotiate. Anything to make it easier for pedestrians and cyclists to cross Ashwin Parade and enter the reserve would be well received. In addition, providing additional car parking will also be very useful as existing activities already place car parking pressure on East Street and other parts of the broader precinct. 3. Make it happen! Please ensure that Council budgets for the capital work improvements outlined in the masterplan. It would be sad for Council to have invested considerably in the master plan and not follow through with action. Thank you for the opportunity to provide comment. Please keep the local residents updated with progress with the Master Plan and future works - its a good news story and Council should be sharing its positive plans with residents.
-
- 64 Could I suggest (as I have done in the past) that security cameras be included in the plan both: to make the space safe for users at all times of the day and night; and to deter graffiti artists who persist in defacing the woodwork and pump housing along the walkway that runs parallel to South Road. You might also include additional funding for dedicated "rangers" to manage pruning, weed control and litter control. If the space looks like a tip, it will be treated like a tip.
-
- 65 I am concerned at the bisection of the park with a road, and especially the car parking space along it that together will destroy some of the grass areas as well as some of the trees. I can see the need to create more car parking to relieve the burden for local streets, and acknowledge that the carpark proposed for the south eastern side of the oval by Ashley Street may be necessary, but question whether the road and entering from the north west corner on Ashwin Parade, and going around the small circular sports area is necessary. Apart from cutting the road through the trees near Ashwin Parade this area is the home for cross wing plovers which migrate from the northern hemisphere, returning to the same place each year to this spot, to lay their eggs on the ground and hopefully raise their chicks. As I use the park a lot, two years ago I watched the pair of birds raise a chick almost to a size for it to fly, only to be run over by the council mower. These plovers continue to return. Not long before this I saw another pair that had been displaced from the northwest corner of the Brickworks carpark trying to protect their two chicks in front of Dan Murphy. I suggest that if a road and associated parking is judged as necessary that it runs directly across the park from the northwest corner (Ashwin Parade) to the southwest corner (Ashley Street). There is space between the fences of the houses and childcare centre to establish a vegetated border, AND a road with parking along it, and preserving the circular sports field. It would only be a short walk to the existing oval entrance and the nesting site for the plovers would be undisturbed.
-
- 66 Regarding plans as written in the Kings Reserve Master Plan to upgrade the skate park to add a 'skate plaza': As a roller-skater, the development of a street plaza over a bowl creates a level of inaccessibility for me. There has been a resurgence in 'aggressive roller skating' (roller skating at skate parks) in the last 2 years, which has seen a number of women strapping on skates and taking to the park. I currently run the page 'Chicks in Bowls Adelaide', a 'chapter' of a global community of park skaters that fall under the wider 'Chicks in Bowls' - see: <https://www.facebook.com/chicksinbowls/> Adelaide has a growing community of women who are involved/who are getting involved in roller skating at skate parks. Bowls and half-pipes are, overwhelmingly, our choice of skate park composition when it comes to our growing sport! The Adelaide City Council ripped up City Skate and replaced it with the temporary park that has received much criticism for the fact that it is less accessible to BMX, roller skaters and scooters, as it lacks a bowl and is rather a plaza of street obstacles and quarter pipes. The recent Brompton build is much the same as it only caters to one type of use - street skateboarding. For this reason, I would love to see another bowl built in addition to the existing structure, in replacement of the street plaza that is currently proposed.
-

Kings Reserve Draft Master Plan

67	It seems that the road proposed is principally to accommodate the football crowd who seem to be able to access Thebarton oval and find adequate parking already, at the expense of the wider community and the amenity of the existing park area, and presents an increased danger to park users.
68	Some additional parking is required to stop people parking in the disabled bays near the Ashley St playground. The strip of land along the western side of the park would be ideal.
69	When will these upgrades begin?
70	The provision of a bike track around Kings reserve would be a thoughtful provision for the children in the area to have somewhere to cycle safely
71	Do not do Stage 3 - its not in the best interests of local residents or park users with young children and/or dogs.
72	Frankly we as a family were quite shocked at the waste of money for this so called upgrade. It just doesn't make sense. It was all starting to come together with the community hall, the lovely wetland and trees, and now a road running through the park. Horrid idea! Again the only people it will benefit are the soccer players. I have never had problems with finding a carpark when my daughter was little. We would go to either the swimming centre or playground at least 3 times a week. The barbeque patrons and soccer people are the ones that don't really show a lot of respect for the park and litter found after events. It seems they are the ones that will benefit from this. It is such a pity that the playground will more than likely have to be fenced for the safety of the children and the dogs will be in danger of cars driving through.
73	I am totally opposed to the road or "connecting spine" through Kings Reserve as well as the car park and the building for SAAFL. We should not be giving up open space, which is so limited in the inner west, for these purposes. I do not see why SAAFL cannot use the car park on South Road, which is very rarely full, and make better use of the space within the oval complex. This suggestion is outrageous. Council should not be vacating public space, particularly to an organisation that has little or no connection with the local community. If cars are allowed to use the "connecting spine" it will present dangers to other park users. Already, cars driving in to park adjacent to the soccer clubrooms present a hazard. Parks are for people, not cars and office blocks.
74	We support the current plan Option 16 regarding the location of the through road and car parking but request that speed humps be incorporated and consideration be given to restricting hours of vehicular access to reduce the risk of the roadway being used by hoons at night, again because of proximity of properties to Kings Reserve.
75	No
76	A monument to the long term tenants...the west torrens Eagles would be a nice touch.
77	We are local residents. We would rather people park in our street than turn our reserve into a carpark. During football season we often cant park on our street - But we are more than happy to deal with the 10-15 days per year it is a problem. Open green spaces are becoming smaller over the years and the council has an opportunity to preserve this large reserve, as a green open space, into the future. Not many inner city suburbs have such a large open reserve - free of traffic - why not keep it as such? The council should also consider that in 15-20 years car ownership is likely to diminish with the introduction of driverless vehicles. So the benefits of carparking spaces will also be less. Furthermore it is acknowledged by health authorities that council and governments need to do more to encourage and promote activity and exercise to improve the health of the population. Putting carparks and roads in the reserve will in my opinion reduce the attractiveness of the reserve to walkers, joggers and cyclists - why not create a design that fosters these activities and puts these pursuits ahead of vehicles? There are lots of positives to the kings reserve plan - but im hopeful that the introduction of roadways and large carparks is one element the council reconsiders. Let people park in our streets and walk a few extra steps to get to their destination, and keep our reserve a true reserve well into the future. We love this area and the community we live in. We walk through kings reserve on most days of the week. Many of the local people we know we have met whilst spending time in kings reserve walking our dog or taking the kids to the playground. We hope the reserve can remain a community focal point into the future. Many thanks.

Kings Reserve Draft Master Plan

- 78 We would really love the playground to include a sandpit if possible. A community fruit orchard would be a great! What a fantastic way to provide fresh fruit for the community to share, teach kids about whole foods, give opportunities for knowledgeable people to hold workshops on pruning etc., help those on a budget, create a sense of sharing and community etc. the trees planted adjacent the community centre are a great start and have been producing well. They are perhaps in a location that makes them less likely to be utilised as this is a seldom used area close to busy south road, with traffic dust and fumes. Suggestions would be trees requiring minimal care with good fruit bearing capacity. Lemons, limes, figs, black English mulberries, etc. etc.
-

**Q9 If you would like to be updated on the progress of the upgrade,
please provide us with your email address.**

Answered: 45 Skipped: 62

Dean Ottanelli

From: Dean Ottanelli
Sent: Wednesday, 22 November 2017 7:12 AM
To: Dean Ottanelli
Subject: (SAAFL) - Kings/Thebarton Oval Masterplan 27092017

From: John Kernahan [<mailto:kernahan@adelaidefooty.com.au>]
Sent: Wednesday, 27 September 2017 2:09 PM
To: Terry Buss
Cc: Angelo Catinari
Subject: Kings/Thebarton Oval Masterplan 27092017

Hi Terry. Thank you for the opportunity to offer our views on the recently published Kings Reserve Master Plan (T.L.C May 2017)

The League believes we are well placed to see our long held plan of a redevelopment of the Thebarton Oval precinct materialise including our high priority of providing an "Associations House" as previously discussed.

In light of recent discussions with all of Steve, Angelo, Joe, Dean and Cr Kym, may I be so bold to highlight below.

Adelaide Footy League supports in general the proposal to upgrade Kings Park and sees it as an opportunity to advance sport and recreation for the area. The concept fits well with our own vision for the area which includes an upgrade of the oval and buildings within our lease area

1. Whilst it is not to the extent originally anticipated, The League remains willing to work collaboratively with Council on accommodating the Hindmarsh BC and make adjustments to its leased area.
2. In leui of pt.1 The League also seeks in principle approval to realign the oval to a true North/South as well as reducing the current size of the oval to that of AFL standards (specifically Adelaide Oval.)
 - a. This allows a reduction of a "pinch point" between that of the North West Corner of the planned bowling green which remains a concern
3. The League has in principle support from the Australian Labor Party to pursue our ongoing plans to include
 - a. A complete rebuild on the existing function room footprint to include an increased number of State League standard Changeroom facilities (4)
 - b. Storage
 - c. Education facilities
 - d. Adelaide Footy League Offices
4. The road, additional car parking and pathway through the reserve linking Ashley Street is supported.
5. The bowls club upgrade should to take into account the construction of the Association House proposed for the south eastern corner of the site - in particular car parking, traffic and its impact on the surrounding areas

The League is also well advanced in discussions with the Australian Football League and the Adelaide Football Club to have Thebarton Oval appointed the home of women's football in Adelaide with the Adelaide Crows – Women playing all (3 or 4) home matches at Thebarton Oval.

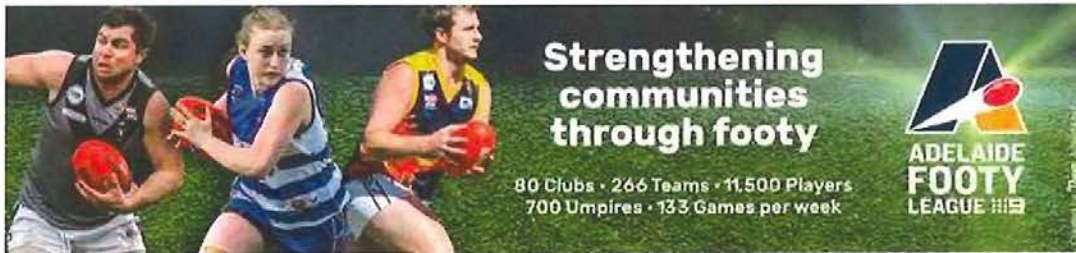
To follow will be a broad but in principle aerial as to how the League sees the very integration of all three projects.

Regards

John Kernahan | Chief Executive Officer



T: +61 8 8443 8999 **A:** ALDI Arena, 1a Meyer Street, Torrensville SA 5031
E: kernahan@adelaidefooty.com.au **W:** www.adelaidefooty.com.au





KINGS RESERVE

Masterplan Report

T.C.L November 2017

DRAFT



2 City of West Torrens / Taylor Cullity Lethlean

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Document No.	Issue	Comment	Date	Author	Checked
A1504_MP	P4	Draft Issue	15.12.2016	SK	DS
A1504_MP	P5	Draft Issue	17.03.2017	PJA	SK
A1504_MP	P6	Issue for Community Consultation	15.05.2017	SK	DS
A1504_MP	P7	Final Issue - Draft For Review	20.11.2017	SK / BH	SK

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Acknowledgements

The City of West Torrens commissioned Taylor Cullity Lethlean to develop the masterplan for Kings Reserve, Torrensville.

Many people have contributed to the masterplan, sharing their valuable thoughts and ideas. The project team gratefully acknowledges all contributions.

The Project Team was comprised of the following individuals:

City of West Torrens

Rick Johnston
Dean Ottanelli

Taylor Cullity Lethlean

Damian Schultz
Sokchhay Ke
Alex Lock
Daniel Hidvegi

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INTRODUCTION

The Kings Reserve Masterplan presents a long term overarching vision for Kings Reserve as a precinct.

Kings Reserve is one of the City's premier multi use open space. It is used for winter sport and active and passive recreation, comprising:

- » Large areas of irrigated open space for sport and recreation;
- » Large timber 'fort' playground surrounded by landscaped turf and trees for natural shade and play;
- » Skate and bike bowl for older children;
- » Thebarton Oval complex, home of the South Australian Amateur Football League;
- » Torrensville Bowling Club (formerly Hindmarsh Bowling Club);
- » A minor shaded playground;
- » Multiple toilets supporting extended visitation; and
- » Thebarton Hub Community Centre.

The Masterplan recognises the Kings Reserve site as a contiguous part of the larger precinct and seeks to provide a sustainable, high-value, high-quality public reserve, which reflects community expectations and Council's designation of the main project site as part of a precinct-scale reserve.

The Masterplan recognises the existing qualities of the reserve, including the majestic stands of mature vegetation and the aspects of cultural and heritage value. The Masterplan also seeks to rationalise and consolidate existing facilities, while upgrading well-used facilities and providing new appropriate facilities based on the City of West Torrens **Open Space and Public Places Plan**.

It is noteworthy that the implementation of Masterplan elements outside the scope of the project site will be subject to funding by the City of West Torrens in the future.

The following future proofings have addressed in this masterplan proposal:

- » Changing needs of the community;
- » Aging recreation facilities;
- » Changing use of public spaces; and
- » Future accessibility along project site boundaries.

This document presents a collated set of material prepared by the design team during the masterplanning phase of the Kings Reserve Masterplan project, for the following purposes:

- » to facilitate discussions at workshops with key stakeholders within the City of West Torrens;
- » to communicate the masterplan concepts for community consultation

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1.0 Consultation Process

1.1 Community and Council Consultation:

In consideration of Kings Reserve's potential as a local and regional destination for family recreation, the economic development occurring in the area, the adjacent education and recreation facilities, the lack of alternative open space and the strategic driver to create a play based destination to attract visitation across the region, a program of targeted community consultation was undertaken.

In partnership with OPAL (Obesity Prevention and Lifestyle), Council:

- » Visited the Torrensville Kindergarten and Childcare Centre to develop a list of play elements the children would like to see in their favourite park, and where these elements might be located at Kings Reserve;
- » Consulted with parents, children, and users of Kings Reserve as part of a community event, to further refine and develop priorities for play based on the outcomes from the kindergarten consultation session.

In all over 150 opinions were provided on what might constitute a 'regional natural playground' or 'regional playspace destination' as defined by the Open Space and Public Places Plan, in all cases the feedback from children contributed to an overall desire for a 'sense of adventure':

Fixed Elements/structures

Children desired scope to be active in and around active structures, alone or with friends to Run, Jump, Balance, and Swing.

They also sought the integration of less common play features and topography variations such as Hills, Tunnels, Sand, and Sculpture/ambiguous structure.

Movement

In addition to the fixed elements we received two recurring requests 1) Very long flying fox, and 2) Very large slide. In both cases children wanted to experience extended flight/movement.

Landscape

For parents and children what's old is new again as all were absorbed in the exploration and potential use of moveable landscape parts:

Loose bark trees for insect searching;
Discarded branches for building;
Extended pathway(s) to follow, in and around play areas;
Tall grass for running through; and
Impromptu hide and seek after discovering a 'maze' of native pines.

Other

It was clear from observation and additional feedback that places need to be provided to cater for 'youth' utilising the space purposely or as a part of accessing nearby facilities, and to consider rest stations for older visitors attending the park on their own or most often accompanying grandchildren.

Key Stakeholders

- » SAAFL (South Australia Amateur Footy League)
- » Messinian Association Hawks Amateur Soccer Club
- » Affiliated sporting organisations
- » Thebarton Senior College
- » Thebarton Primary School
- » Torrensville Child and Family Centre
- » DPTI (Department of Planning, Transport and Infrastructure)
- » Thebarton Aquatic Centre
- » Torrensville Bowling Club
- » OMB shelter (Magicians Clubrooms)
- » City Of West Torrens

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2.0 Site Appreciation

The following provides a summary of the outcomes of key explorations undertaken to assess Kings Reserve in relation to the following: the site context, access and circulation, views and surveillance, existing vegetation, culture and heritage, and existing assets.

2.1 Context

The scale and location of the reserve offers scope to capitalise on broader developments occurring across Thebarton and Torrensville:

- » The Thebarton Technical Hub Master Plan

Landscape based precinct character plan to brand and activate the cluster of advanced technology businesses within Thebarton. This includes:

- » the creation of cycle and walking friendly connectivity from the newly constructed Holland Street Bridge through to the Thebarton Community Hub; and
- » the potential for introduced accommodation associated with the university campus.
- » the Brickworks Market redevelopment

In addition the location is complimented by surrounding recreation and education facilities that offer the potential to extend visitation and activate the reserve at various times of the week:

- » Thebarton Aquatic Centre;
- » Thebarton Senior College;
- » Torrensville Childcare and Kindergarten; and
- » Torrensville Primary School.



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LEGEND
 Site boundary - - -
 Major destinations ●

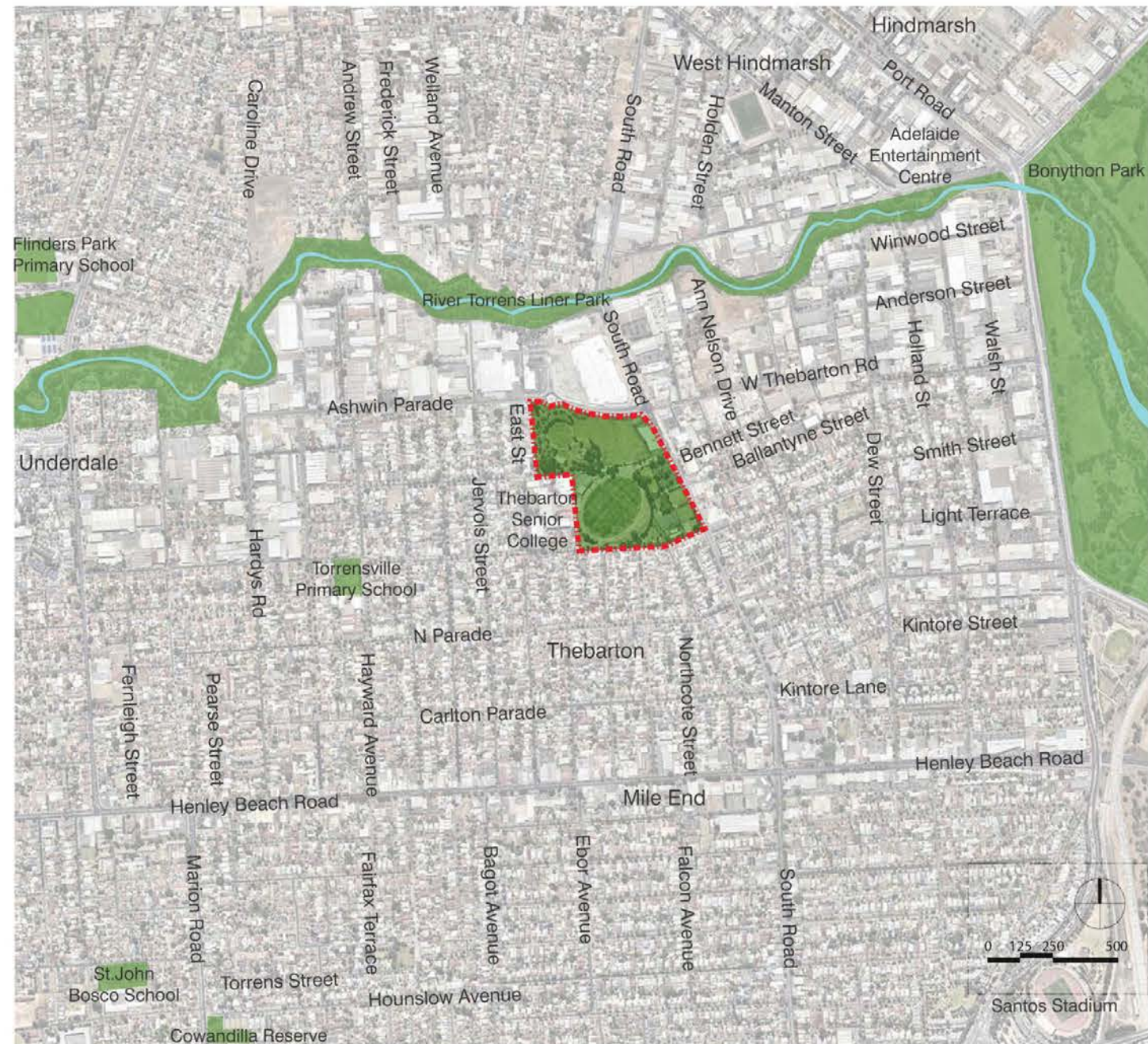
2.2 Provision for Open Space

Torrensville is listed within the City's open Space and Public Places Plan as having just over 16 hectares of open space, equal to an above average per population measure of 4.2 hectares per 1,000 people.

Though well provided for, the distribution of open space is concentrated in two locations:

- » Torrens River Linear Park; and
- » Kings Reserve.

Kings Reserve will therefore be required to meet diverse needs of community and visitors within its catchment area.



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LEGEND

- Site boundary - - - - -
- River Torrens Linear Park ~~~~~
- Other parks/ reserves ■

2.3 Catchment

The catchment for Kings Reserve is potentially the entire City of West Torrens and beyond. It has the scale and mix of facilities to attract and support visitation from across greater Adelaide for organised sport, recreation and/or community events. At the same time the reserve performs a more localised function for neighbouring residents, businesses and schools.

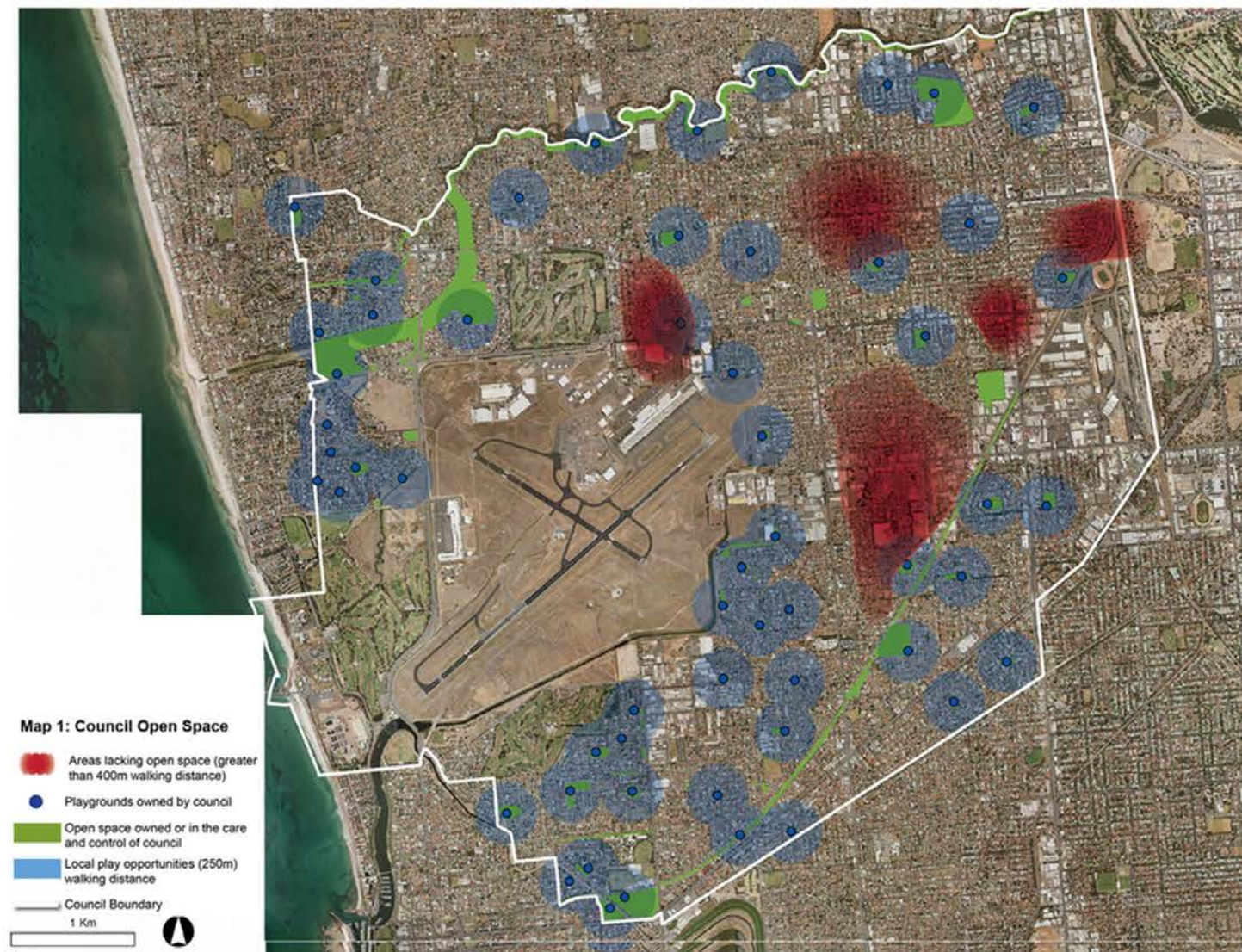
While distance criteria is often used to determine accessibility and define catchments of open space, physical barriers and landmarks can be more relevant to communities within inner rim built environments; either increasing or decreasing minimum access criteria. Torrensville is divided by thoroughfares calmed by traffic devices, the catchment defined for the purposes of this context is bounded by Henley Beach Road, South Road and Holbrooks Road. It is a relatively large catchment due to the lack of alternate reserves within the entire suburb of Torrensville.

Demographics

The demographics for Torrensville and Thebarton indicate a prominent young to mature family band with:

- » More young children when compared to the rest of the City; and
- » More young adults, home builders and mature workers than greater Adelaide.

Overall the City of West Torrens has a significant proportion of aged community members when compared to greater Adelaide.



Map 1: Council Opne Space, taken from City of West Torrens Open Space and Public Places Plan

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2.4 Open Space and Public Places Plan

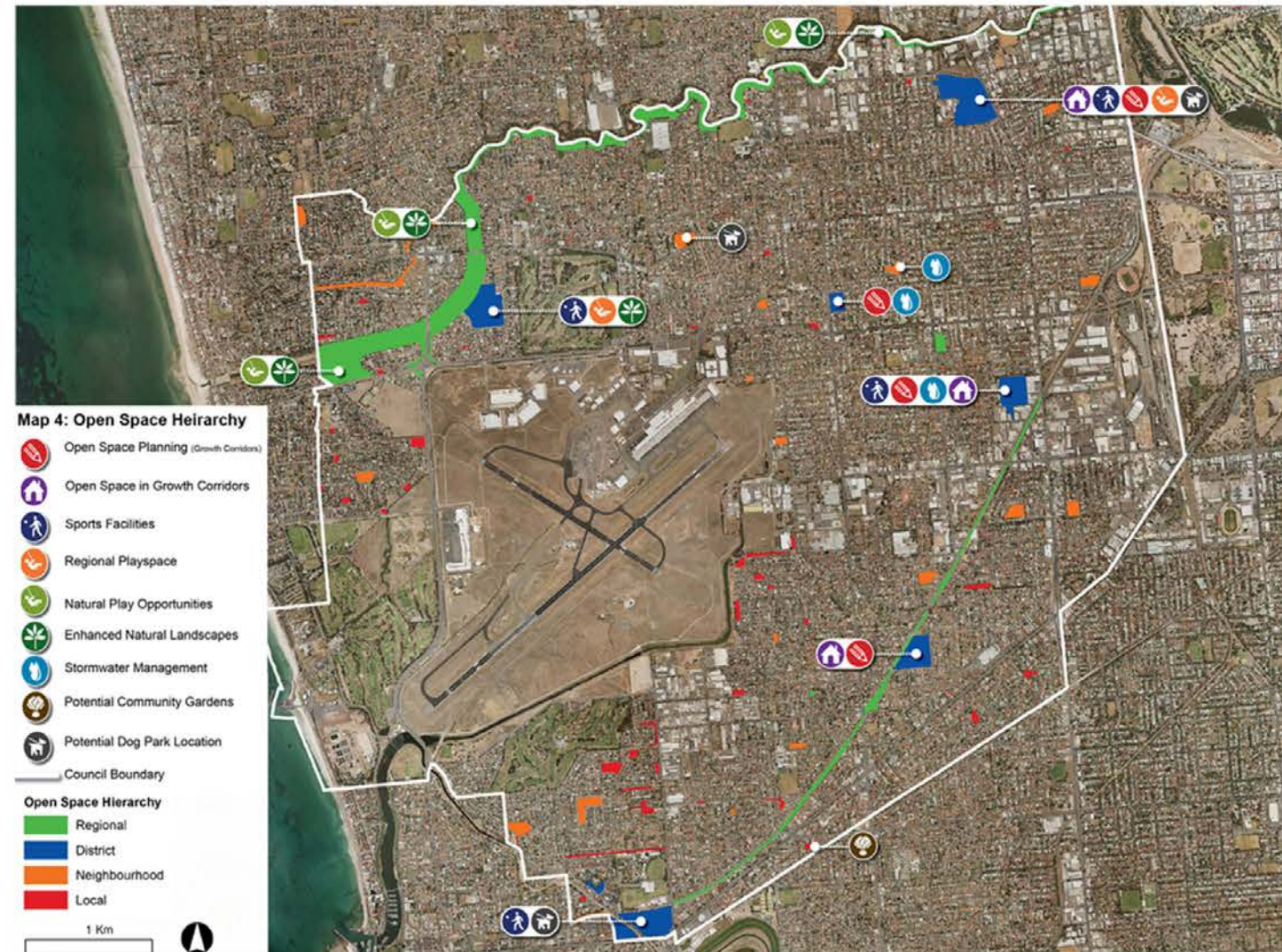
The City of West Torrens adopted an Open Space and Public Places Plan September 2013 to provide direction for the development of recreation spaces across the City. With regard to Kings Reserve the plan supports:
Objective 1: Healthy spaces and place

Action 1.1.2
Undertake feasibility and master planning for a regional natural playground facility at Kings Reserve.

Action 1.2.1
Establish high quality sportsgrounds that build on Council's approach to district level community hubs.

Action 1.4.1
Prepare detailed concept designs for reserves located close to growth corridors and could accommodate additional facilities and landscape treatments such as playgrounds, improved pathways, picnic settings, playing fields, fitness equipment, shelters for shade, public/community art, walking/cycling/running trails and landscape amenity.

Action 1.5.4
Develop regional playspace destinations as part of Kings Reserve upgrade.



Map 4: Open Space Hierarchy, taken from City of West Torrens Open Space and Public Places Plan

DRAFT

2.5 Access and Circulation

Currently the general circulation within the reserve functions quite successfully although there is an opportunity to improve pedestrian/cycle connectivity through the reserve and to River Torrens and improve connections between the Thebarton Community Centre and the Reserve.

The Thebarton Oval is currently fenced and closed to Kings Reserve.

Facilitating connections of the surrounding communities to this significant reserve and infrastructure project will contribute to the continued and positive improvement to the surrounding neighbourhoods, educational institutions and other land use activities.

Thebarton Oval

- » The possible integration of facilities with the broader precinct by removal of fencing and redundant buildings / infrastructure
- » Upgrading the soccer club room or looking at opportunities for the soccer club within the Thebarton Oval facilities

Woolworths and Brickworks site adjacent Torrens River

- » Possible connections between the community north of the River Torrens to the new facilities.
- » Providing linkages to the River Torrens

South Road and Ashwin Terrace upgrades both current and future plans for expansion, and their interface with Kings Reserve

- » Creating linkages to the Bowls Club
- » Dealing with the interface between Kings Reserve and the Thebarton Community Centre.
- » Identify and address barriers that are making Kings Reserve disconnected, inaccessible, or isolated from adjacent areas and facilities
- » Providing cycle networks and linkages
- » Future proofing against future South Road upgrade

Thebarton Aquatic Centre

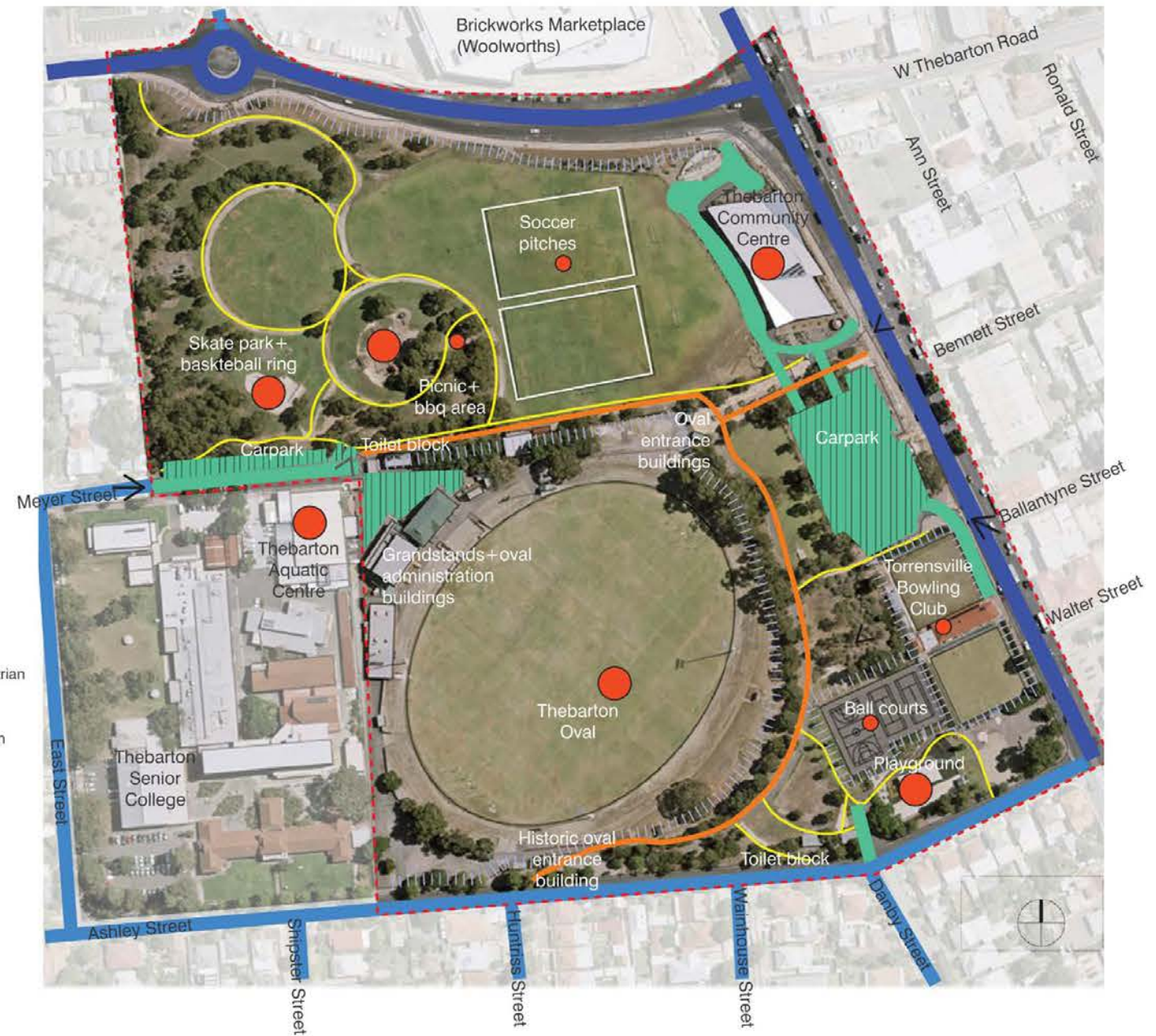
- » Lack of parking facilities adjacent the centre

Thebarton Senior College School Site

- » Lack of parking facilities adjacent the centre

LEGEND

- - - Site boundary
- Main site vehicular entry
- ~ Formal shared bicycle/pedestrian access
- > Informal pedestrian access though not encouraged
- Shared use bicycle/pedestrian
- Pedestrian path
- Major road
- Local bituman
- Internal vehicular
- Carparking
- ||||| Fence
- Major destinations
- Minor destinations



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2.6 Views and Surveillance

- » There are current visual barriers between the Thebarton Oval and Kings Reserve.
- » The site offers hills views to the east.
- » The Ashley Street junior playground is hidden from view.

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LEGEND	
Site boundary	
WSUD water course	
Undesirable view to neighbouring development	
Visual barrier	
Views	
Vistas	
Visual feature	
WSUD detention basin	
Mounds	



2.7 Vegetation, Culture & Heritage

The site consists of limited planting, predominantly Eucalypts. The existing vegetation is in a healthy condition.

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- LEGEND
- Site boundary 
 - Groups of trees with high retention value 
 - Existing mounds 
 - Irrigated lawn 



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2.8 Existing Assets

Skate Park - is well used and has potential for expansion.

Basketball Ring - is well used, but requires an upgrade as part of the skate plaza youth recreational hub.

Adventure Playground - has been successful but requires design upgrade to accommodate the current diverse users and meet the playground standards and disable accessibility.

Soccer Fields - Consists of 2 junior soccer fields or a single full sized soccer field. The two junior soccer fields are of standard East-West orientation.

Thebarton Community Centre - newly built but has poor interface and access connection with the reserve and adjacent sporting fields.

Torrensvile Bowling Club - is a popular social venue, which is in the process of an upgrade and expansion.

Ball Courts - consists of 2 tennis courts and 1 basketball court with close connection to the surrounding facilities.

Junior Playground - Fully shaded and fenced with close distance to car park and toilet blocks.

Picnic & BBQ area - surrounds by shaded trees with great views out to all adjacent outdoor facilities. Location of seating facilities requires some consolidation.

Toilet Blocks - currently operational, accommodate sporting facilities and planned events.

Thebarton Oval - currently leased by SAAFL (South Australia Amateur Football League), is open to community events but is closed off from Kings Reserve.

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LEGEND

- Site boundary
- Main entrance
- Building to be retained
- Major destinations
- Minor destinations



3.0 Opportunities & Challenges

3.1 Masterplan Brief

- » Improve precinct level park facilities for all ages
- » Improve pedestrian/cycle connectivity through reserve and to River Torrens
- » Improve interface of the swimming centre and upgrade car park numbers
- » Improve passive surveillance
- » Maintain or upgrade skate facilities (Plaza style Skate Park)
- » Provide high quality BBQ & picnic facilities
- » Upgrade play spaces including new senior playground
- » Retain high quality vegetation
- » Provide additional shade trees
- » Use planting to define and enhance spaces throughout Kings Reserve
- » Further accommodate the existing sporting grounds to further support structured and informal sporting activities
- » Provide opportunities to celebrate elements of cultural significance
- » Provide an increase in the diversity of activities within the Reserve
- » Provide areas for additional shade structures and toilet facilities
- » Appropriately activate Thebarton Oval
- » Retain existing access road from South Road



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3.2 Vision and Guiding Principles

- Council's open space and recreation strategy
- Integrated, quality and sustainable design
- Crime prevention through environmental design
- Healthy spaces and places



Establish a strong and overall park identity



Respond to the diversity of Kings Reserve's character by encouraging and accommodating a wide variety of activities.



Use plantings and land form to define landscape spaces



Develop lively spaces that can be used for a variety of community events



Improve amenity which compliment the parks activities



Respond to regional context and link with the River Torrens Linear Park

DRAFT

3.3 Character Precincts



FORMAL RECREATION

- » Programmed space with high intensity activities
- » Integration of facilities within Thebarton Oval and the broader precinct
- » Upgraded Soccer club rooms
- » Bowling Club
- » Sporting fields
- » Formalised spaces



INFORMAL RECREATION

- » Youth oriented active play: eg. plaza style skate park
- » Passive surveillance required
- » Durable and readily available materials, ie. coloured concrete, concrete, asphalt, gravel



PASSIVE USE

- » Family oriented activities
- » Cultural and cultivated gardens, incorporating Japanese Garden, and historic vineyard
- » Cultural and historic interpretation
- » Amphitheatre
- » Precinct level, high quality play spaces
- » Formalised water interaction
- » Community Garden
- » High quality barbeque & picnic facilities



EVENTS AND FUNCTIONS

- » Thebarton Community Centre
- » Function Rooms
- » Event Spaces
- » Thebarton Oval as an Event Space



EDUCATION

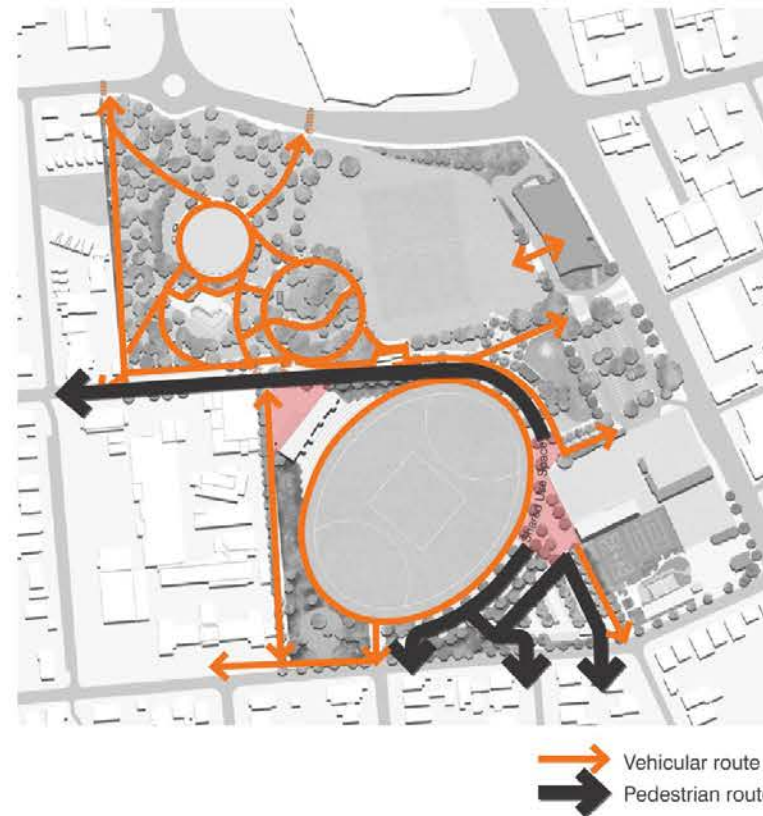
- » Facilitating connections and opportunities for use.

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3.4 Key Moves

Kings Reserve has great structure and through the guiding principles can be enriched to attain a unified destination for locals and visitors.

These principles can be achieved via the following key strategies.



A Strong Connecting Spine & Pedestrian Network

Provide a clear spine to site to connect facilities. Enabling separation for vehicles and pedestrians in a calmed zone.



Enable community base facilities.

New development zones within the reserve - SAAFL and Torrensville Bowling Club development to establish this place as a key community destination.

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3.4 Key Moves



Passive recreation, habitat creation & water re-use.

Enhance the existing natural setting for recreational use and sustainability.



Create Areas for Active Recreation to Occur.

Focused areas along northern and eastern site, surrounding the central precinct of Thebarton Oval.

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3.5 Future Proofing

River Torrens to Anzac Highway

In 2013, the Department of Planning, Transport and Infrastructure (DPTI) completed a preliminary concept planning study that identified high level solutions for establishing the proposed non-stop North-South Corridor between Regency Park and Anzac Highway. Based on the current level of planning, the final road alignment and footprint of the Corridor through this section is yet to be determined. The preliminary concepts developed as part of this study have been used to identify high level cost estimates, risk identification and indicative impacts (e.g. order of magnitude property costs, social impacts, environmental impacts, impacts on utility services).

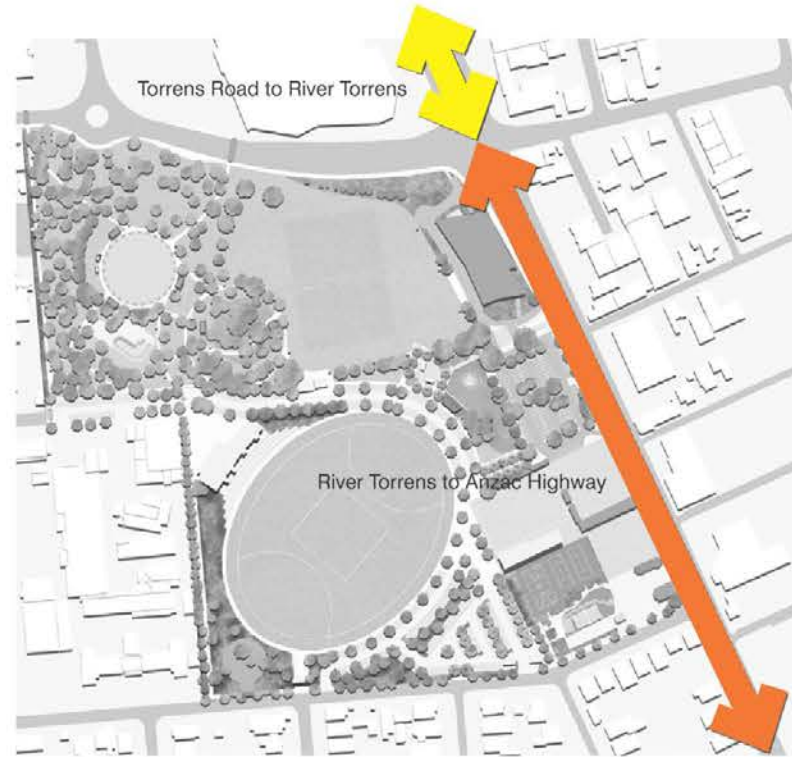
This work has helped inform the development of the 10 Year Delivery Strategy for the North-South Corridor and to secure funding from the Australian and South Australian Governments towards the Torrens Road to River Torrens Project. (DPTI website)

The Kings Reserve masterplan needs to consider independent solutions to resolve potential changes to the eastern boundary including vehicular access, recreation and car parking facilities.

Torrens Road to River Torrens Project (T2T)

The Torrens Road to River Torrens Project (T2T) will deliver a 4km non-stop roadway (incorporating 3km lowered motorway), between Ashwin Parade, Torrensville, and Pym Street, Croydon Park, providing significant travel time saving to commuters and freight. This project is being jointly funded by The Australian and South Australian Governments and is due for completion by the end of 2018. (DPTI website)

Based on T2T works (DPTI website), the corridor is increased from 4 lanes to 10 lanes in road width. This suggests the road configuration will potentially alter along boundary interface of Kings Reserve and South Road.



North-South Corridor Project

- Torrens Road to River Torrens - funded
- River Torrens to Anzac Highway - unfunded



Torrens Road to River Torrens Project
Image taken from DPTI website

4.0 Community Consultation

Community consultation on the Draft Master Plan Report has been organised by the City of West Torrens through the council website, telephone, direct meetings, pop-up consultation booth and a community event day.

The consultation received an overwhelming response from the local community with over 30 respondents from the Brickworks Market pop-up shop (on 17th, 23rd and 30th August), 25 through the online survey and postal mails and over 100 local families attending the community day at Kings Reserve on Saturday 26th August 2017. An additional consultation meeting with the skate community took place on 13th September 2017.

The community response revealed the most frequent use of the reserve amongst respondents, these were:

- » the Kings Reserve playground with children
- » the Leisure activities
- » the Ashley Street playground with children
- » dog walking
- » the barbecue / picnic facilities
- » the skate park

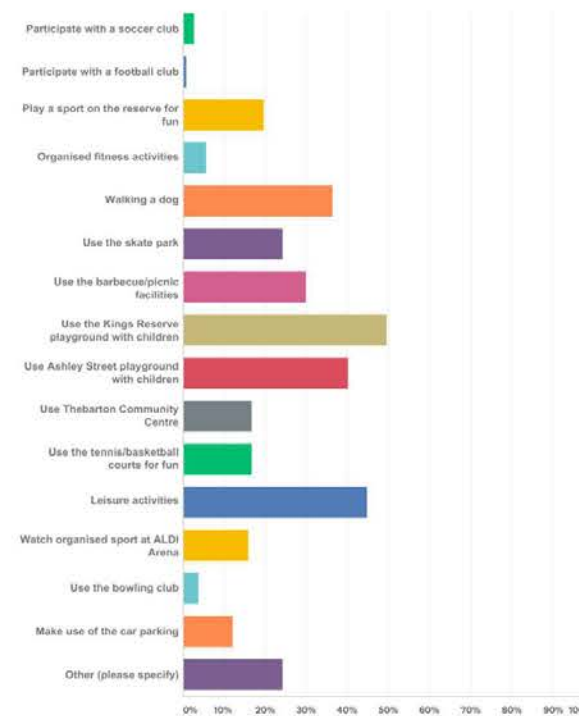
Approximately 80% of the respondents support the Draft Master Plan Report and its proposals of upgrading the playground, improving the pedestrian footpath network to the surrounding facilities and activation of the community open space and youth recreation hub (including the Skate Plaza).

Items that have been amended to this final Master Plan Report as a result of the community feedback, include:

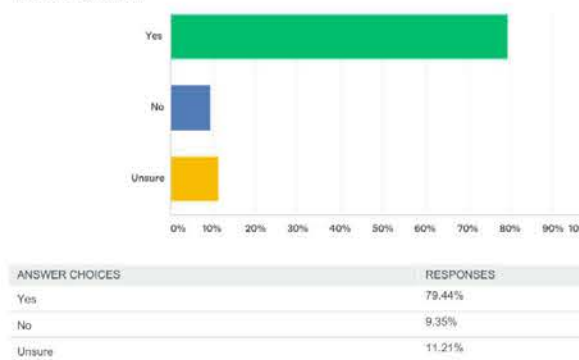
- » Deletion of the central connecting spine road (with on-road car parks) between Ashwin Parade & Meyer Street, replaced with lawn, garden beds and tree planting due to safety concern for playground & park users.
- » Provision of lighting within the playground and sport playing fields for safety measures & night time use.
- » Provision of new picnic shelters with BBQ facility and drinking fountain (and potential new toilet blocks) within the play space and skate plaza area.
- » Provision of new asphalt footpath along west boundary fence line between Ashwin Parade & Meyer St, connecting Thebarton Senior College and the reserve to the Brickwork Marketplaces and Torrens River Linear Park.
- » Provision of new concrete or asphalt footpaths for shared use purposes of walking, scooting, running and cycling with new lighting.
- » Upgrade of drainage system to the soccer pitches
- » New playground to include flying fox, sand pit and water play
- » New skate plaza extension to be further design developed with the skate consultant Enlocus with skate community input.
- » New SA AFL building upgrades including function room with 4 change room facilities, storage & education facilities.

Excerpts from the Community Consultation feedback.
For a copy of the full feedback refer to City of West Torrens.

Q5 - How do you use the Kings Reserve precinct?
Tick as many as apply.



Q6 - In general, do you support the proposed improvements to the Kings Reserve precinct?



ANSWER CHOICES	RESPONSES
Yes	79.44%
No	9.35%
Unsure	11.21%



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4.1 Master Plan

The site plan builds upon the existing character of the site; a suburban oval opened up to the people, with significant trees, picnic spaces and informal community plaza. The reserve consists of an upgraded skate plaza, playground and open picnic facilities to the north adjoining Ashwin Parade, opposite the Brickworks Shopping Centre. In the south a wetland, development of a proposed SAAFL building and Torrensville Bowling Club Redevelopment, which is accessible via Meyer Street and Ashley Street with pedestrian route network, shaded tree planting and additional onsite car parking facility.

Opportunities

- » Opens Thebarton Oval up for public use, whilst retaining and strengthening core facilities for community groups.
- » Playground relocation consolidates an accessible youth precinct that offers play opportunities for all ages; through an extended skate plaza, new playground and half basketball. Aligning picnic ground with sport fields incorporates picturesque and shady mature Eucalypt stands.
- » Connecting pedestrian route network unifies site precincts whilst being sensitive to preserving pedestrian and cycle accessibility and the generous parkland qualities.
- » Creation of WSUD beds and a wetland system cater for any immediate site stormwater runoff, and provide educational and recreation opportunities for park goers.
- » Increased activation and passive surveillance.

Future Proofing

- » The Future South Road upgrade as part of the long term DPTI Adelaide's North-South Corridor works will likely resolve in the reduction of street car parks and traffic access connection to the reserve. This masterplan addresses this potential issue through future proofing in creating a connecting internal road within the reserve, adjoining Meyer St and Ashley Street to the South, connecting to South Road. The internal connecting road also provides additional on-road car parking facilities with footpaths and shaded trees.
- » This masterplan also allows for future central spine road connecting Meyer St with Ashwin Parade to the North to accommodate future need for on-road car parking facility within the reserve.
- » SAAFL will be seeking in principal approval to realign the Thebarton Oval to a true North/South orientation with the Adelaide Oval AFL standard size of 167m x 123m, as future separate project which will enable the oval to host national games i.e. the women matches.



- KEY**
1. Wetland & water harvesting
 - 2a. Thebarton Oval (current orientation)
 - 2b. Thebarton Oval (future north/south orientation)
 3. Internal connecting road & car park
 4. Skate plaza upgrade
 5. Sporting fields and facilities
 6. Existing playground to be removed
 7. Existing MA Hawks canteen upgrade
 8. New playground
 9. Thebarton Community Centre
 10. Wetland Stage 2 - picnic shelter
 11. New Torrensville Bowling Club upgrade
 12. Thebarton Community Centre access ramp
 13. New SAAFL building upgrades (incl. function room with 4 change room facilities, storage & Education facilities).
 14. Existing boundary fence vegetation, path network & drainage system upgrade
 15. Potential future SAAFL Association House building development - subject to review with SAAFL & Council
 16. Picnic facilities with open lawn & tree planting connecting to existing bus stop shelter
 17. New asphalt footpath connecting Thebarton Senior College & the Reserve to the Brickwork Marketplaces & Torrens River Linear Park

Paved pedestrian route - - - - -

Scale 1:500 @ A3

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4.1 Masterplan Staging Plan

Kings Reserve will be staged in order to achieve the overall built expectations and design quality.

STAGE 1

Stage 1 is a 0-2 year procurement plan of construction works. It will consist of:

- » Stage 1 Wetland & water harvesting
- » Skate park & recreational plaza with shelters
- » New playground with shelters
- » New Torrensville Bowling Club upgrade
- » Thebarton Community Centre access ramp

STAGE 2

Stage 2 is a 2-5 year procurement plan of construction works. It will consist of:

- » Stage 2 Wetland
- » Existing canteen upgrade
- » External lighting to soccer pitches

STAGE 3

Stage 3 is a 5-10 year procurement plan of construction works. It will consist of:

- » Internal car park & connecting spine road between Meyer St & Ashley St.
- » New SAAFL building upgrades including function rooms, change room facilities, storage, education facilities & Adelaide Footy Leagues offices.
- » Potential future SAAFL Association House building development



Scale 1:500 @ A3



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4.2 Photo Precedents



1. Wetland and water harvesting



2. Thebarton Oval - hosting sports & events



3. On-road car parking facility



4. Skate park and recreational plaza with shelter



5. Sporting fields and facilities



6. Open lawn / picnic facilities

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4.2 Photo Precedents



7. Shared Use Plaza



9. Playground spaces

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5.0 Developed Wetland Design

5.1 Developed Wetland Plan - Stage 1, within Wetland Scope

The purpose of the wetland and pond is to collect, treat and dispose of stormwater from a new bowling club, existing tennis courts and car park (approximately 9,000m²). The area has no stormwater infrastructure. To manage the stormwater it will be treated to a suitable level and then directed into an existing bore on the site for re-use.

During summer the bore is used for irrigation so effectively all stormwater that is discharged into the well will be drawn for irrigation (more water is drawn from the bore than will flow into it).

The runoff will be treated through a heavily vegetated wetland and open water pond before being directed to the bore. The bore was tested and found to be suitable to accept stormwater at suitable rates.

The whole wetland and pond system is to be designed to be complementary to the surrounding landscape and be a feature for park users to enjoy.

Legend

Stage 1 Work

--- Extent of Works Stage 1

Existing Tree to retain

Proposed Tree

Existing Swale to remain. Extend as required to achieve new alignment

New Wetland

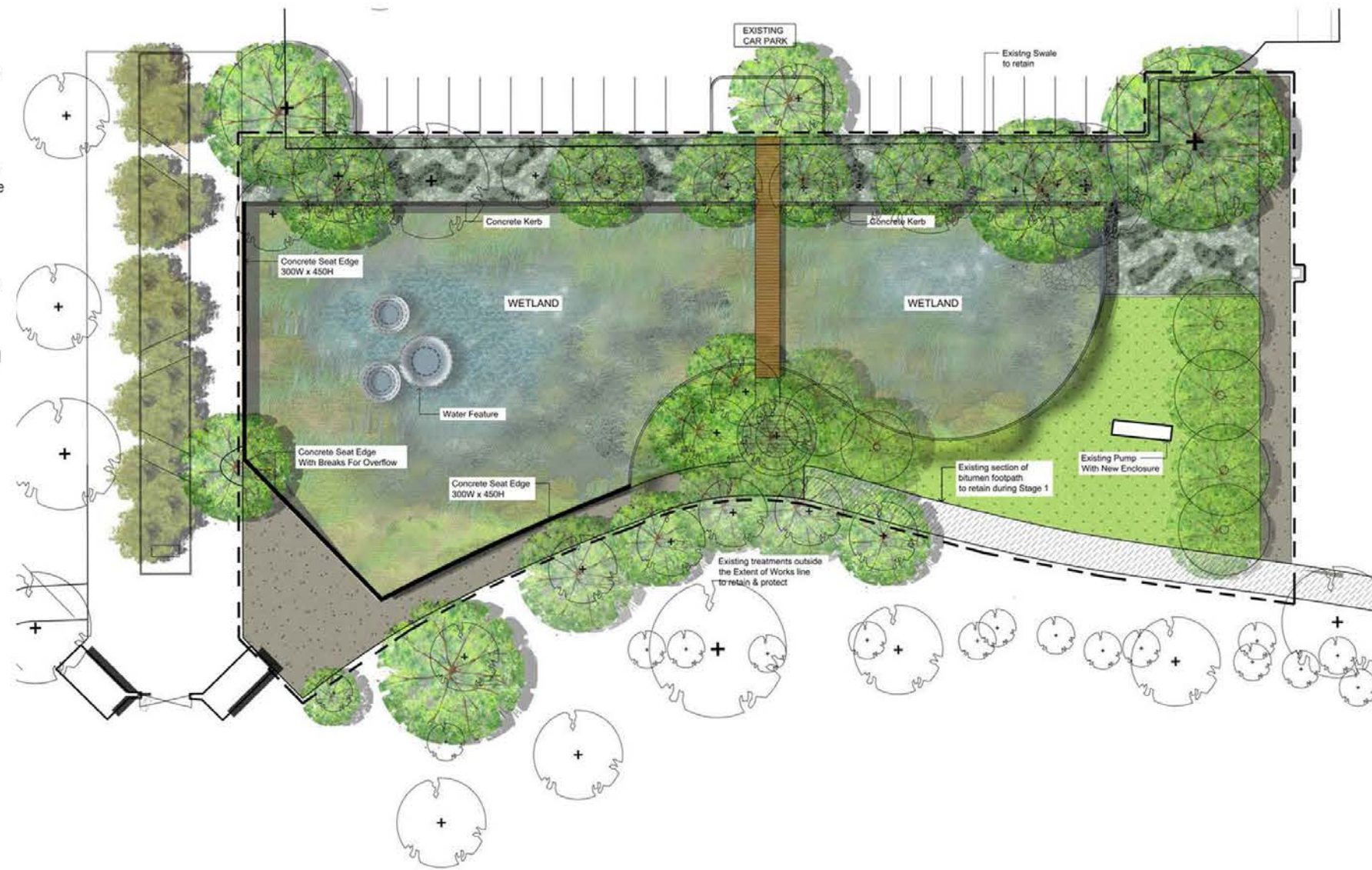
New Lawn

New Garden Bed

Existing Footpath to retain

New Asphalt Footpath


New Timber Boardwalk



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5.2 Developed Wetland Plan - Stage 2, outside of Wetland Scope

Legend

- Stage 2 Work
-  Extent of Works Stage 2
 -  Existing Tree to retain
 -  Proposed Tree
 -  Existing Swale to remain. Extend as required to achieve new alignment
 -  New Wetland
 -  New Lawn
 -  New Garden Bed
 -  Existing Footpath to retain
 -  New WSUD garden bed
 -  New Asphalt Footpath
 -  New Granitic Gravel Footpath
 -  Asphalt Surface Car Park
 -  New Timber Boardwalk
 -  New Picnic Setting
 -  New BBQ hotplate









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6.0 Kings Reserve Playspace Design

6.1 Playspace Masterplan

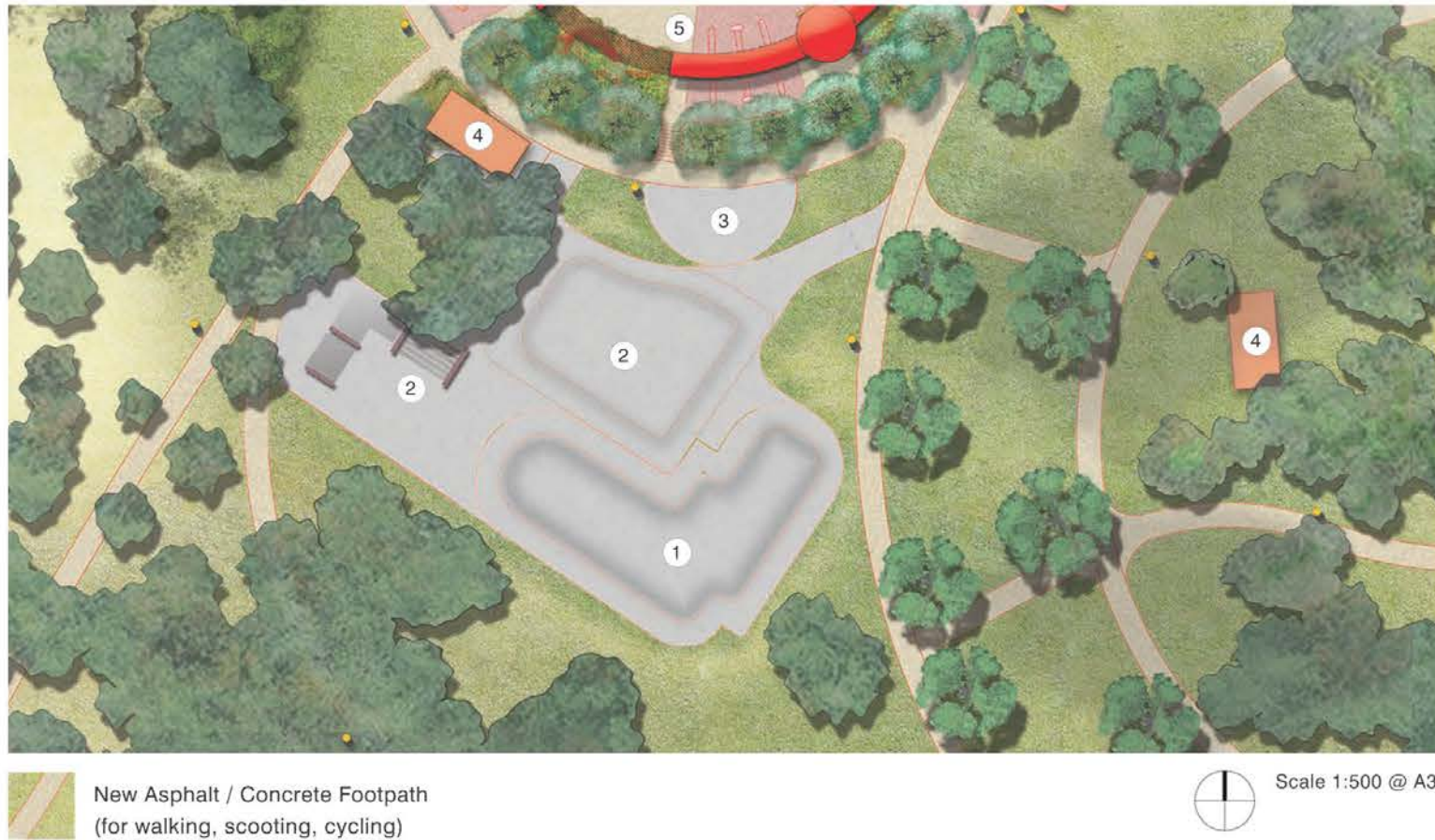
- 1 New Playground
- 2 Buffer / Screen Planting
- 3 New Toilet Facility
- 4 New Skate Plaza Extension
- 5 Existing Skate Bowl
- 6 Grass Kickabout Area
- 7 New On-Road Car Parking Facility with Shaded Tree Planting
- 8 Existing MA Hawks Canteen Upgrade
- 9 Existing Grass Mounds & Tree Planting to be retained
- 10 Existing Toilets / Soccer Facilities
- 11 Soccer Half Court

-  Picnic Shelter with BBQ & Drinking Fountain
-  New Light Pole (indicative location)
-  New Asphalt / Concrete Footpath (for walking, scooting, cycling)
-  Lawn / Garden Bed
-  Pedestrian Crossing


Scale 1:1000 @ A3

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6.2 Skate Plaza Concept Plan

The new Skate Plaza Extension plan is indicatively shown only. The design will be further developed in the New Playground and Skate Plaza detailed design phase by the skate designer, Enlocus with further input from the skate community, TCL and City of West Torrens.

Community feedback to be reviewed in the detailed design:

- Upgrade to existing bowl with pool coping
- Pool style with street obstacles
- More user friendly plaza with diverse obstacles for all skill levels, including ramps and flat surface area
- New larger bowl with pool coping

KEY

- 1 Existing Bowl Upgrade
- 2 New Skate Plaza Extension
- 3 New Half Basketball Court
- 4 Picnic Shelter with BBQ & Drinking Fountain
- 5 New Playground
Refer Section 6.3-6.5 of the report.

Skate Plaza Precedents



Existing Skate Bowl (to be upgraded)



Torquay Skatepark, Torquay Vic



Empire Park, Bar Beach NSW



Noble Park, Vic



6.3 Playground Concept Plan

The new playground is to include a mix of fixed and nature play equipment with flying fox structure, sand pit, water play elements and an improved pedestrian network connecting to surrounding facilities (e.g. the Brickworks Marketplace).

- 1 Rubber Mound & Surface
- 2 Picnic Shelter with BBQ & Drinking Fountain
- 3 Slides
- 4 Rock Climbing Wall
- 5 Playstructure Tower
- 6 Net Climbing Wall
- 7 Soffall Play Mounds
- 8 Swing Sets
- 9 Playground Fence + Signage
- 10 Lookout holes in Playstructure
- 11 Elevated Ring Playstructure
- 12 Netted Playstructure
- 13 Tree Top Walkway
- 14 Toilet Block (location subject to further discussion with council)
- 15 Shared Concrete Footpath for Cycling, Scooting, Walking & Running
- 16 Flying Fox
- 17 Ground Trampoline
- 18 Sandpits & Waterplay

-  Playground Tree Planting
-  Buffer Planting
-  New Light Pole (indicative location)
-  Playground Soffall area



Scale 1:250 @ A3

6.4 Playspace Precedents



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6.5 Playspace Typical Section | Treetop Walkway (Rope Deck Structure)



6.5 Playspace Typical Section | Tunnel & Slide



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6.5 Playspace Typical Elevation | Elevated Tunnel & Swing



7.0 Appendices

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Community Consultation Outcome:

Due to the safety concern from the community with the provision of the central connecting spine road between Ashwin Parade & Meyer Street in the draft Master Plan Report (Option 16), this road has been removed from this final Master Plan.

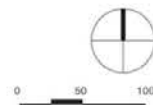
This connecting spine road is subject to further assessment beyond this Master Plan 10 years plan if required to accommodate the future growth.

Vehicle Access Options

		Option 1	Option 2	Option 3	Option 4
Car Parking Playground		●		●	●
Car Parking Thebarton Oval		●	●	●	●
Car Parking for Soccer		●		●	●
Car Parking for SAAFL		●	●	●	●
Car Parking for Aquatic Centre		●	●	●	●
Additional Car Parking for Events	0 - 25				
	25 - 50				
	50 +	●	●	●	●
Bus Parking close to Aquatic Centre		●	●	●	●
Activation & Surveillance of Infrastructure		●	●	●	●
Skate Park Extension		●	●	●	●
WSUD Wetland		●	●	●	●
Impact on trees	Low		●		●
	Medium	●		●	
	High				
Access through Meyer Street		●	●		●
Access to South Road		●	●	●	●
Access to Ashley Street		●	●	●	●
Public access through Thebarton Oval		✓	✗	?	✓

Legend

- Vehicle Roadway
- Pedestrian Network
- Car parking
- Bus parking
- Event Car parking
- Future Function Building
- Playground
- Skate Park Expansion
- WSUD Wetland



Option 1



Option 2



Option 3



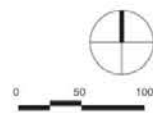
Option 4

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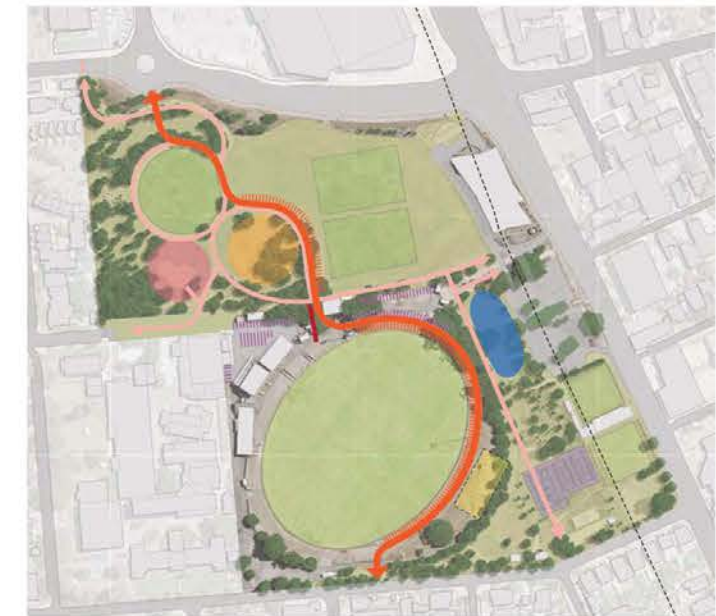
		Option 5	Option 6	Option 7	Option 8
Car Parking Playground		●	●	●	●
Car Parking Thebarton Oval		●	●	●	●
Car Parking for Soccer		●	●		
Car Parking for SAAFL		●		●	●
Car Parking for Aquatic Centre		●			
Additional Car Parking for Events	0 - 25				
	25 - 50		●	●	●
	50 +	●			
Bus Parking close to Aquatic Centre		●	●	●	●
Activation & Surveillance of Infrastructure		●	●	●	●
Skate Park Extension		●	●	●	●
WSUD Wetland		●	●	●	●
Impact on trees	Low			●	●
	Medium	●	●		
	High				
Access through Meyer Street		●			
Access to South Road					
Access to Ashley Street		●	●	●	●
Public access through Thebarton Oval			●	●	●
		✓	✗	✓	✓

Legend

- Vehicle Roadway
- Pedestrian Network
- Car parking
- Bus parking
- Event Car parking
- Future Function Building
- Playground
- Skate Park Expansion
- WSUD Wetland



Option 5



Option 6



Option 7

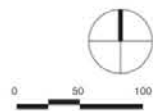


Option 8

		Option 9	Option 10	Option 11	Option 12
Car Parking Playground		●	●	●	●
Car Parking Thebarton Oval		●	●	●	●
Car Parking for Soccer			●		●
Car Parking for SAAFL		●	●	●	●
Car Parking for Aquatic Centre		●	●	●	
Additional Car Parking for Events	0 - 25				
	25 - 50	●	●	●	●
	50 +				
Bus Parking close to Aquatic Centre		●	●	●	●
Activation & Surveillance of Infrastructure		●	●	●	●
Skate Park Extension		●	●	●	●
WSUD Wetland		●	●	●	●
Impact on trees	Low	●			
	Medium			●	●
	High		●		
Access through Meyer Street		●		●	
Access to South Road					●
Access to Ashley Street		●	●	●	
Public access through Thebarton Oval		●	●	●	
		✓	✗	✓	✗

Legend

- Vehicle Roadway
- Pedestrian Network
- Car parking
- Bus parking
- Event Car parking
- Future Function Building
- Playground
- Skate Park Expansion
- WSUD Wetland



Option 9



Option 10



Option 11



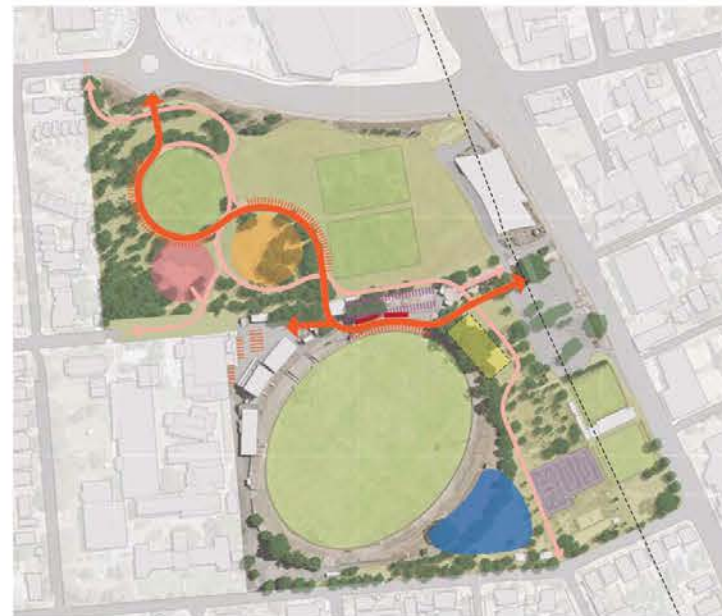
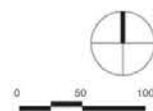
Option 12

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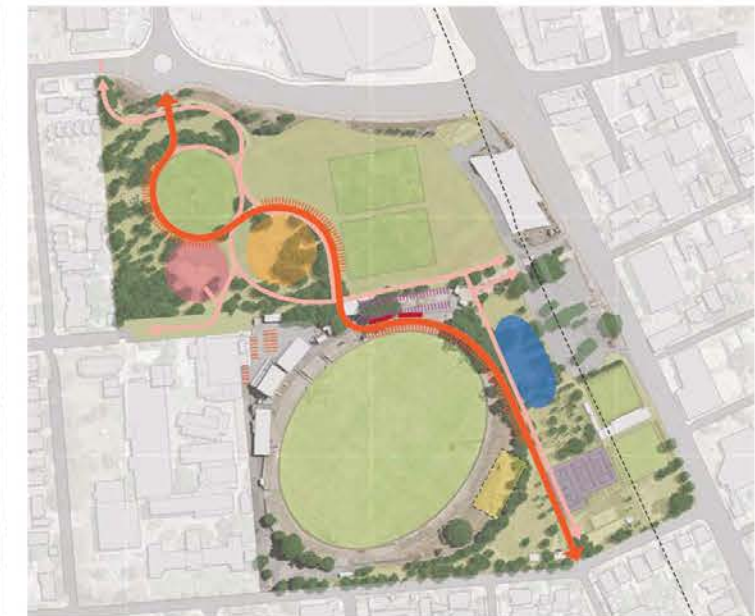
		Option 13	Option 14	Option 15	Option 16
Car Parking Playground		●	●	●	●
Car Parking Thebarton Oval			●		●
Car Parking for Soccer		●	●	●	●
Car Parking for SAAFL		●	●	●	●
Car Parking for Aquatic Centre					●
Additional Car Parking for Events	0 - 25				
	25 - 50	●	●	●	
	50 +				●
Bus Parking close to Aquatic Centre					●
Activation & Surveillance of Infrastructure		●	●	●	●
Skate Park Extension		●	●	●	●
WSUD Wetland		●	●	●	●
Impact on trees	Low				
	Medium	●		●	
	High		●		●
Access through Meyer Street					●
Access to South Road		●	●	●	●
Access to Ashley Street			●		●
Public access through Thebarton Oval		●	●	●	●
		✘	✔	✔	✔

Legend

- Vehicle Roadway
- Pedestrian Network
- Car parking
- Bus parking
- Event Car parking
- Future Function Building
- Playground
- Skate Park Expansion
- WSUD Wetland



Option 13



Option 14



Option 15



Option 16

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Circulation Plan

Site circulation considers existing and proposed site precincts in providing a cohesive vehicular, pedestrian and cycle network that enhances the parkland character with a sensitive approach in minimising infrastructure and parkland incursions, whilst maximising the ability to retain existing significant trees (and provide new tree planting) within the proposed configuration.

PROS

- » Connecting Spine unifies site precincts between Meyer Street and Ashley Street
- » Significant site parking increases to Kings Reserve from existing 184 car parks to the current master plan capacity of 325 car parks - subject to further detailed traffic engineering design
- » Creation of WSUD garden beds and a wetland system cater for any site stormwater run-off

CONS

- » Potential loss of parking volumes located directly adjacent South Road as a result of (potential) existing car park removal as part of longer term South Road Corridor works, although a significant increase in overall car park numbers and improvements in site connectivity should be sufficient to offset any potential losses.



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Soccer Field Option

Two 90 x 45 metre full size soccer fields.



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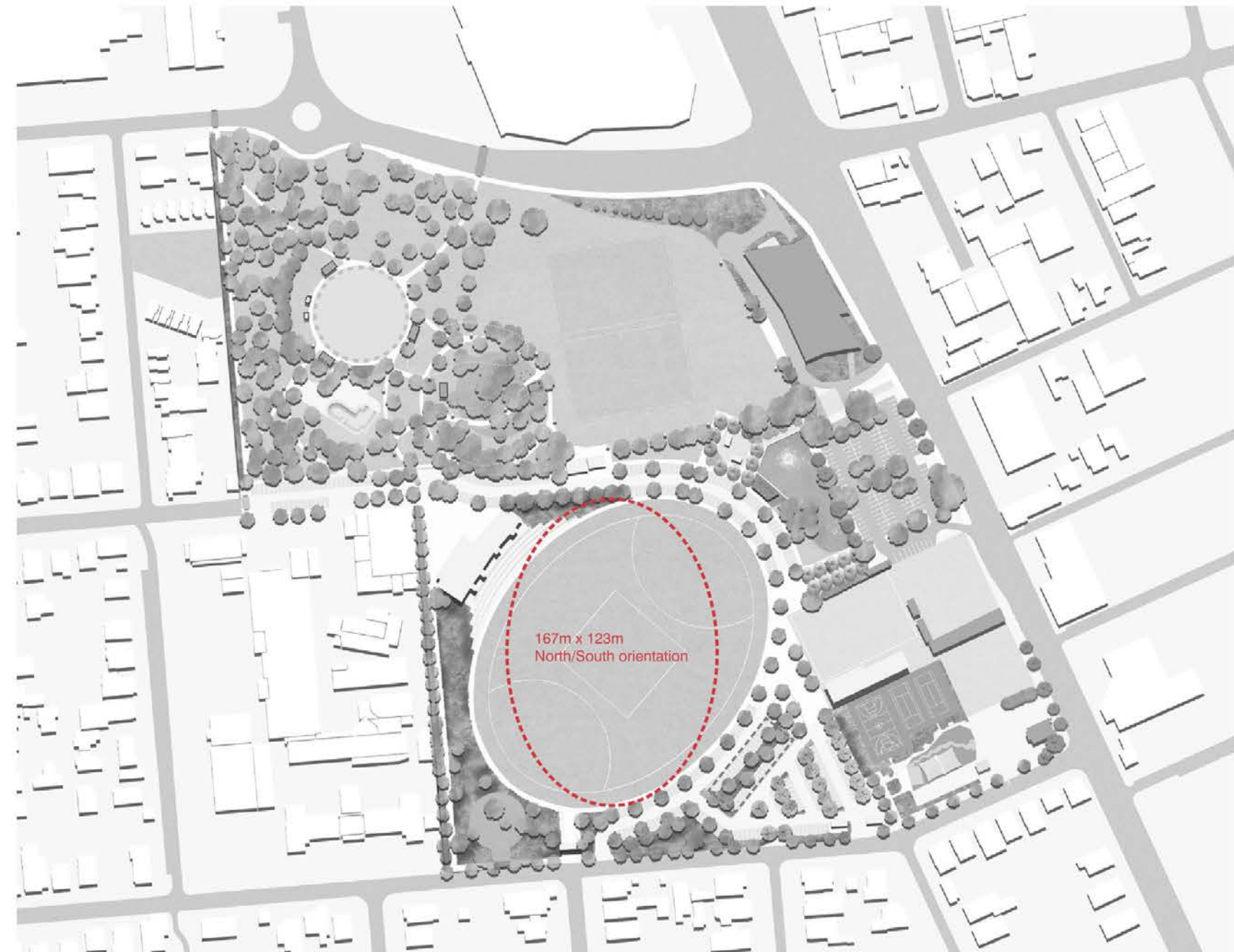
Thebarton Oval Reconfiguration

SAAFL will be seeking in principal approval to realign the Thebarton Oval to a true North/South orientation, matching the Adelaide Oval with the AFL standard size of 167m x 123m.

This new oval reconfiguration will allow a reduction of a "pinch point" between that of the North West Corner of the planned Bowling Club upgrade, and potential new staging & viewing terraces to the west & east of the existing oval footprint.

SAAFL is in discussions with the Australian Football League and the Adelaide Football Club to have Thebarton Oval appointed the home of women's football in Adelaide with the Adelaide Crows – Women playing all (3 or 4) home matches at Thebarton Oval.

This oval reconfiguration and associated revised landscape works will be a separate future project, not covered in this master plan report.



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Kings Reserve Master Plan Report



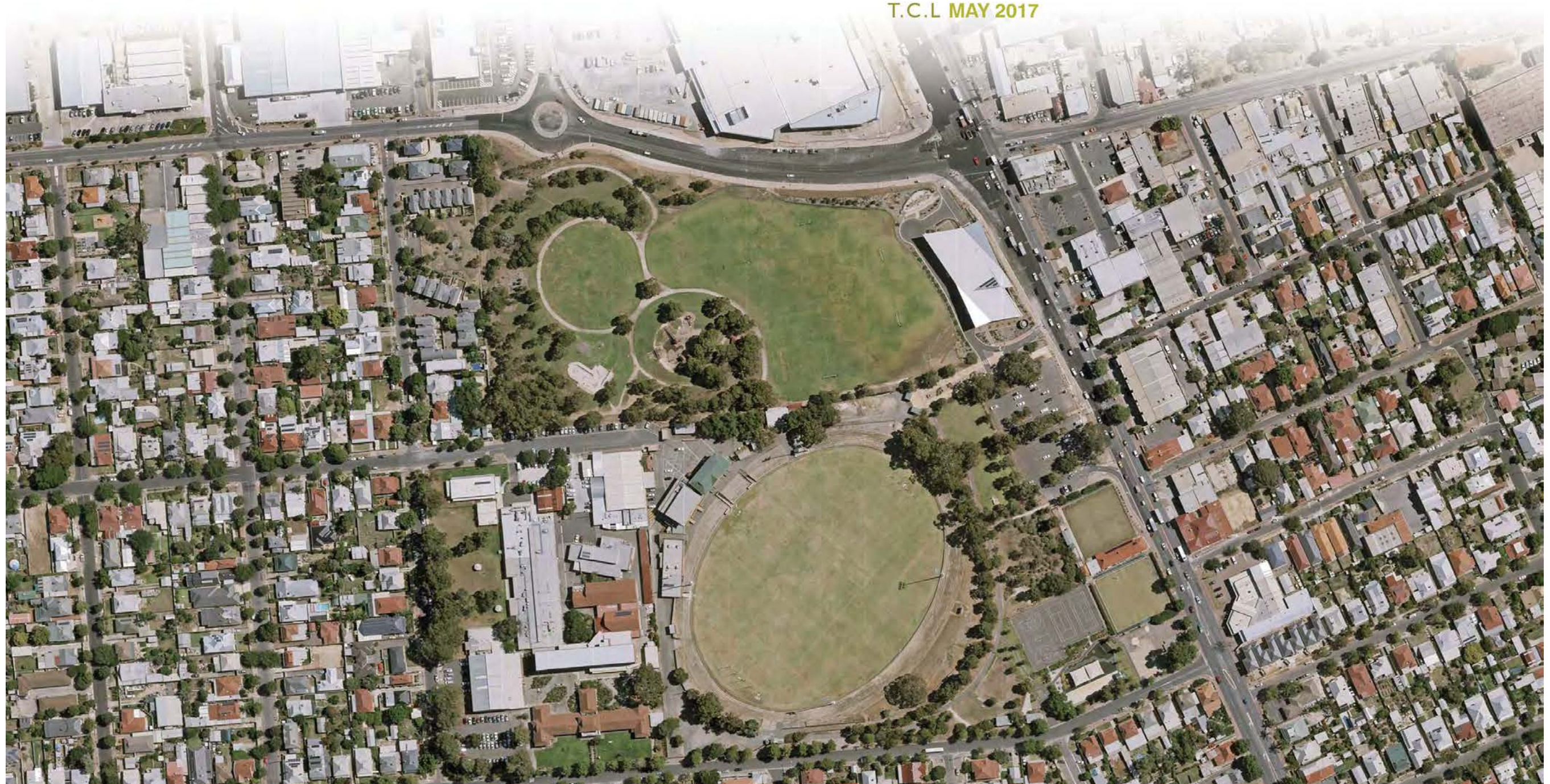


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KINGS RESERVE

Masterplan Report

T.C.L MAY 2017



KINGS RESERVE

Masterplan Report

T.C.L MAY 2017

DRAFT

Document No.	Issue	Comment	Date	Author	Checked
A1504_MP	P4	Draft Issue	15.12.2016	SK	DS
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A1504_MP	P6	Final Draft Issue	15.05.2017	SK	DS

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Appendix

- Vehicle Access Options

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- Soccer Field Options

Acknowledgements

The City of West Torrens commissioned Taylor Cullity Lethlean to develop the masterplan for Kings Reserve, Torrensville.

Many people have contributed to the masterplan, sharing their valuable thoughts and ideas. The project team gratefully acknowledges all contributions.

The Project Team was comprised of the following individuals:

City of West Torrens

Rick Johnston
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Sokchhay Ke
Alex Lock
Daniel Hidvegi

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INTRODUCTION

The Kings Reserve Masterplan presents a long term overarching vision for Kings Reserve as a precinct.

Kings Reserve is one of the City's premier multi use open space. It is used for winter sport and active and passive recreation, comprising:

- » Large areas of irrigated open space for sport and recreation;
- » Large timber 'fort' playground surrounded by landscaped turf and trees for natural shade and play;
- » Skate and bike bowl for older children;
- » Thebarton Oval complex, home of the South Australian Amateur Football League;
- » Torrensville Bowling Club (formerly Hindmarsh Bowling Club);
- » A minor shaded playground;
- » Multiple toilets supporting extended visitation; and
- » Thebarton Hub Community Centre.

The Masterplan recognises the Kings Reserve site as a contiguous part of the larger precinct and seeks to provide a sustainable, high-value, high-quality public reserve, which reflects community expectations and Council's designation of the main project site as part of a precinct-scale reserve.

The Masterplan recognises the existing qualities of the reserve, including the majestic stands of mature vegetation and the aspects of cultural and heritage value. The Masterplan also seeks to rationalise and consolidate existing facilities, while upgrading well-used facilities and providing new appropriate facilities based on the City of West Torrens **Open Space and Public Places Plan**.

It is noteworthy that the implementation of Masterplan elements outside the scope of the project site will be subject to funding by the City of West Torrens in the future.

The following future proofings have addressed in this masterplan proposal:

- » Changing needs of the community;
- » Aging recreation facilities;
- » Changing use of public spaces; and
- » Future accessibility along project site boundaries.

This document presents a collated set of material prepared by the design team during the masterplanning phase of the Kings Reserve Masterplan project, for the following purposes:

- » to facilitate discussions at workshops with key stakeholders within the City of West Torrens;
- » to communicate the masterplan concepts for community consultation

1.0 Consultation Process

1.1 Community and Council Consultation:

In consideration of Kings Reserve's potential as a local and regional destination for family recreation, the economic development occurring in the area, the adjacent education and recreation facilities, the lack of alternative open space and the strategic driver to create a play based destination to attract visitation across the region, a program of targeted community consultation was undertaken.

In partnership with OPAL (Obesity Prevention and Lifestyle), Council:

- » Visited the Torrensville Kindergarten and Childcare Centre to develop a list of play elements the children would like to see in their favourite park, and where these elements might be located at Kings Reserve;
- » Consulted with parents, children, and users of Kings Reserve as part of a community event, to further refine and develop priorities for play based on the outcomes from the kindergarten consultation session.

In all over 150 opinions were provided on what might constitute a 'regional natural playground' or 'regional playspace destination' as defined by the Open Space and Public Places Plan, in all cases the feedback from children contributed to an overall desire for a 'sense of adventure':

Fixed Elements/structures

Children desired scope to be active in and around active structures, alone or with friends to Run, Jump, Balance, and Swing.

They also sought the integration of less common play features and topography variations such as Hills, Tunnels, Sand, and Sculpture/ambiguous structure.

Movement

In addition to the fixed elements we received two recurring requests 1) Very long flying fox, and 2) Very large slide. In both cases children wanted to experience extended flight/movement.

Landscape

For parents and children what's old is new again as all were absorbed in the exploration and potential use of moveable landscape parts:

Loose bark trees for insect searching;
Discarded branches for building;
Extended pathway(s) to follow, in and around play areas;
Tall grass for running through; and
Impromptu hide and seek after discovering a 'maze' of native pines.

Other

It was clear from observation and additional feedback that places need to be provided to cater for 'youth' utilising the space purposely or as a part of accessing nearby facilities, and to consider rest stations for older visitors attending the park on their own or most often accompanying grandchildren.

Key Stakeholders

- » SAAFL (South Australia Amateur Footy League)
- » Maccininan Hawks Amateur Soccer Club
- » Affiliated sporting organisations
- » Thebarton Senior College
- » Thebarton Primary School
- » Torrensville Child and Family Centre
- » DPTI (Department of Planning, Transport and Infrastructure)
- » Thebarton Aquatic Centre
- » Torrensville Bowling Club
- » OMB shelter (Magicians Clubrooms)
- » City Of West Torrens

2.0 Site Appreciation

The following provides a summary of the outcomes of key explorations undertaken to assess Kings Reserve in it relation to the following: the site context, access and circulation, views and surveillance, existing vegetation, culture and heritage, and existing assets.

2.1 Context

The scale and location of the reserve offers scope to capitalise on broader developments occurring across Thebarton and Torrensville:

- » The Thebarton Technical Hub Master Plan

Landscape based precinct character plan to brand and activate the cluster of advanced technology businesses within Thebarton. This includes the:

- » Creation of cycle and walking friendly connectivity from the newly constructed Holland Street Bridge through to the Thebarton Community Hub; and
- » Potential for introduced accommodation associated with the university campus.
- » Brickworks Market redevelopment

In addition the location is complimented by surrounding recreation and education facilities that offer the potential to extend visitation and activate the reserve at various times of the week:

- » Thebarton Aquatic Centre;
- » Thebarton Senior College;
- » Torrensville Childcare and Kindergarten; and
- » Torrensville Primary School.

LEGEND

Site boundary 

Major destinations 



2.2 Provision for Open Space

Torrensville is listed within the City's open Space and Public Places Plan as having just over 16 hectares of open space, equal to an above average per population measure of 4.2 hectares per 1,000 people.

Though well provided for, the distribution of open space is concentrated in two locations:

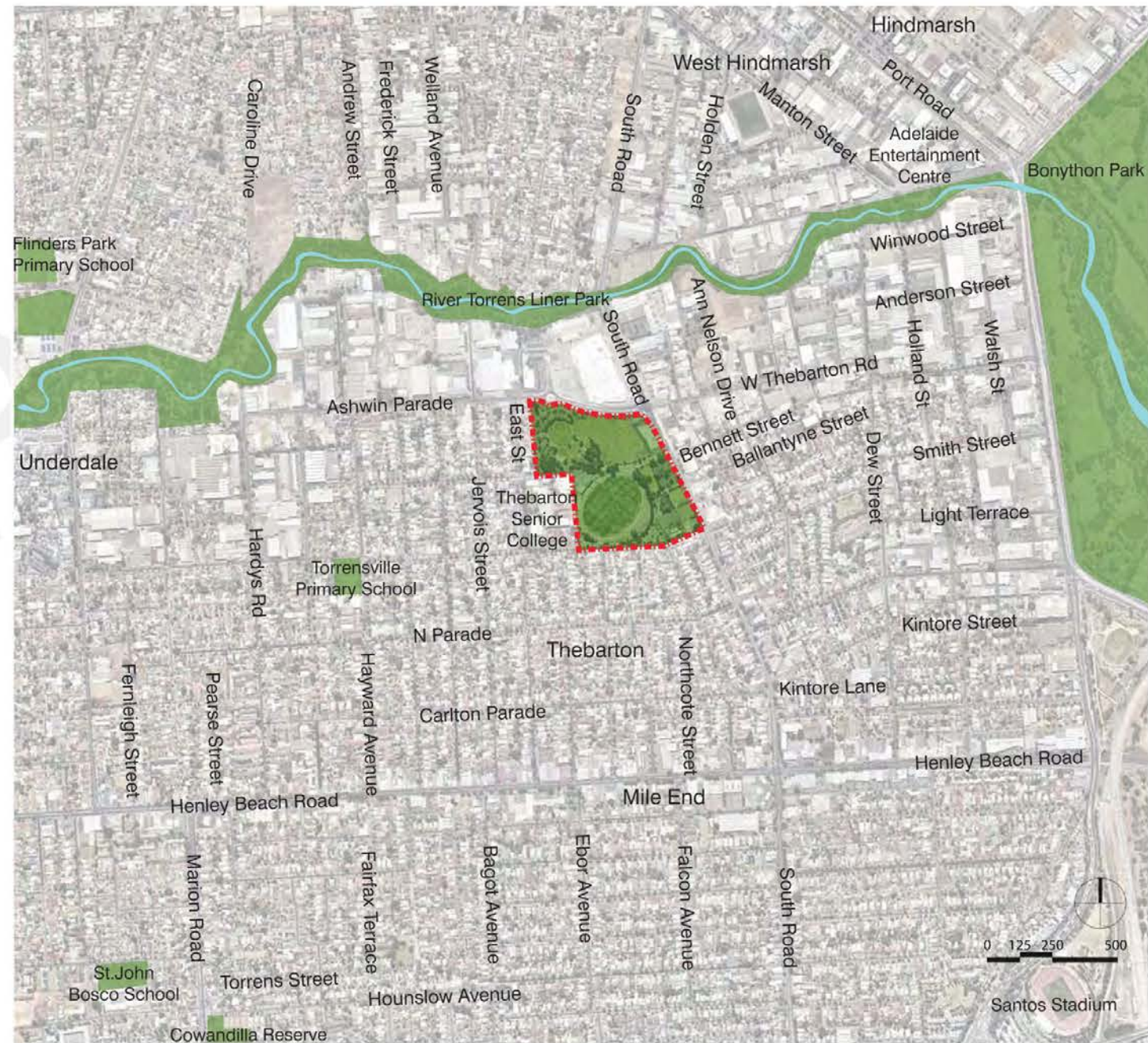
- » Torrens River Linear Park; and
- » Kings Reserve.

Kings Reserve will therefore be required to meet diverse needs of community and visitors within its catchment area.

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LEGEND

- Site boundary - - - - -
- River Torrens Linear Park
- Other parks/ reserves



2.3 Catchment

The catchment for Kings Reserve is potentially the entire City of West Torrens and beyond. It has the scale and mix of facilities to attract and support visitation from across greater Adelaide for organised sport, recreation and/or community events. At the same time the reserve performs a more localised function for neighbouring residents, businesses and schools.

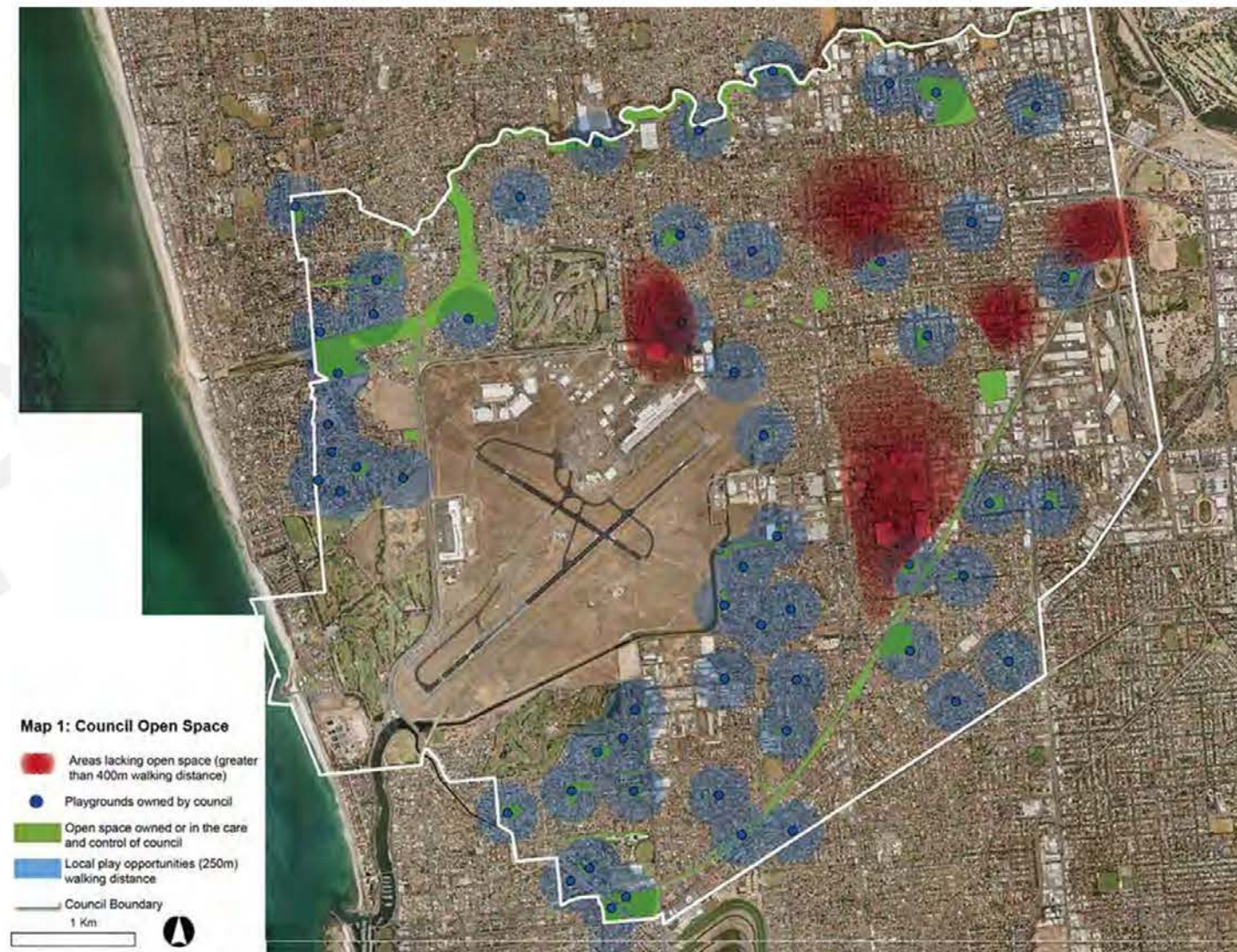
While distance criteria is often used to determine accessibility and define catchments of open space, physical barriers and landmarks can be more relevant to communities within inner rim built environments; either increasing or decreasing minimum access criteria. Torrensville is divided by thoroughfares calmed by traffic devices, the catchment defined for the purposes of this context is bounded by Henley Beach Road, South Road and Holbrooks Road. It is a relatively large catchment due to the lack of alternate reserves within the entire suburb of Torrensville.

Demographics

The demographics for Torrensville and Thebarton indicate a prominent young to mature family band with:

- » More young children when compared to the rest of the City; and
- » More young adults, home builders and mature workers than greater Adelaide.

Overall the City of West Torrens has a significant proportion of aged community members when compared to greater Adelaide.



Map 1: Council Opne Space, taken from City of West Torrens Open Space and Public Places Plan

2.4 Open Space and Public Places Plan

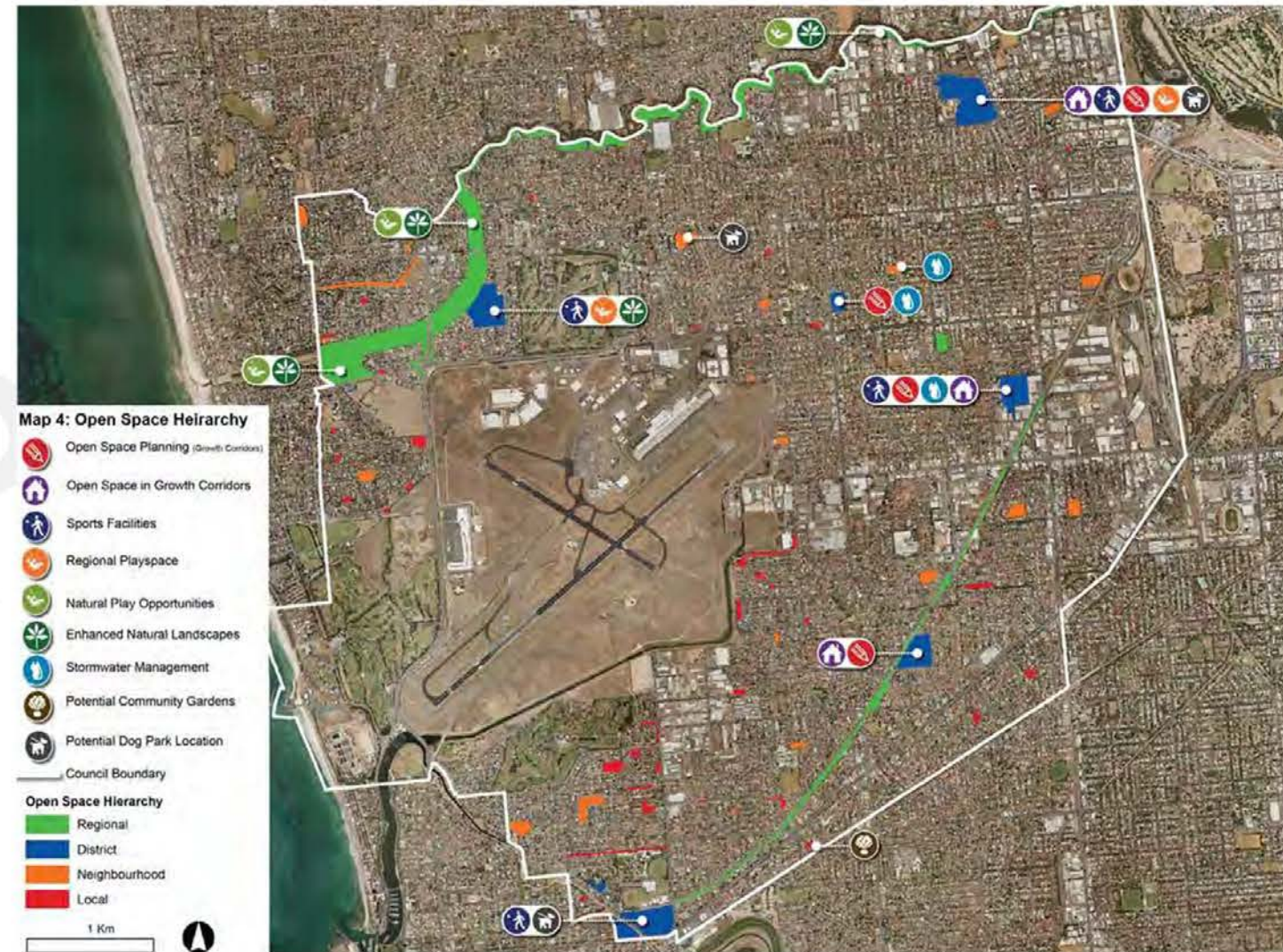
The City of West Torrens adopted an Open Space and Public Places Plan September 2013 to provide direction for the development of recreation spaces across the City. With regard to Kings Reserve the plan supports:
Objective 1: Healthy spaces and place

Action 1.1.2
Undertake feasibility and master planning for a regional natural playground facility at Kings Reserve.

Action 1.2.1
Establish high quality sportsgrounds that build on Council's approach to district level community hubs.

Action 1.4.1
Prepare detailed concept designs for reserves located close to growth corridors and could accommodate additional facilities and landscape treatments such as playgrounds, improved pathways, picnic settings, playing fields, fitness equipment, shelters for shade, public/community art, walking/cycling/running trails and landscape amenity.

Action 1.5.4
Develop regional playspace destinations as part of Kings Reserve upgrade.



Map 4: Open Space Hierarchy, taken from City of West Torrens Open Space and Public Places Plan

2.5 Access and Circulation

Currently the general circulation within the reserve functions quite successfully although there is an opportunity to improve pedestrian/cycle connectivity through the reserve and to River Torrens and improve connections between the Thebarton Community Centre and the Reserve.

The Thebarton Oval is currently fenced and closed to Kings Reserve.

Facilitating connections of the surrounding communities to this significant reserve and infrastructure project will contribute to the continued and positive improvement to the surrounding neighbourhoods, educational institutions and other land use activities.

Thebarton Oval

- » The possible integration of facilities with the broader precinct by removal of fencing and redundant buildings / infrastructure
- » Upgrading the soccer club room or looking at opportunities for the soccer club within the Thebarton Oval facilities

Woolworths and Brickworks site adjacent Torrens River

- » Possible connections between the community north of the River Torrens to the new facilities.
- » Providing linkages to the River Torrens

South Road and Ashwin Terrace upgrades both current and future plans for expansion, and their interface with Kings Reserve

- » Creating linkages to the Bowls Club
- » Dealing with the interface between Kings Reserve and the Thebarton Community Centre.
- » Identify and address barriers that are making Kings Reserve disconnected, inaccessible, or isolated from adjacent areas and facilities
- » Providing cycle networks and linkages
- » Future proofing against future South Road upgrade


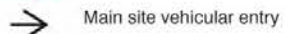

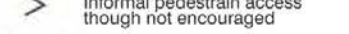
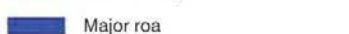
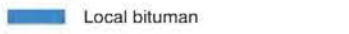
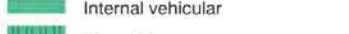
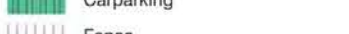




Thebarton Aquatic Centre

- » Lack of parking facilities adjacent the centre

Thebarton Senior College School Site

- » Lack of parking facilities adjacent the centre

LEGEND

-  Site boundary
-  Main site vehicular entry
-  Formal shared bicycle/pedestrian access
-  Informal pedestrian access though not encouraged
-  Shared use bicycle/pedestrian
-  Pedestrian path
-  Major road
-  Local bituman
-  Internal vehicular
-  Carparking
-  Fence
-  Major destinations
-  Minor destinations



2.6 Views and Surveillance

- » There are current visual barriers between the Thebarton Oval and Kings Reserve.
- » The site offers hills views to the east.
- » The Ashley Street junior playground is hidden from view.

LEGEND

- Site boundary 
- WSUD water course 
- Undesirable view to neighbouring development 
- Visual barrier 
- Views 
- Vistas 
- Visual feature 
- WSUD detention basin 
- Mounds 



2.7 Vegetation, Culture & Heritage

The site consists of limited planting, predominantly Eucalypts. The existing vegetation is in a healthy condition.

LEGEND

- Site boundary 
- Groups of trees with high retention value 
- Existing mounds 
- Irrigated lawn 



2.8 Existing Assets

Skate Park - is well used and has potential for expansion.

Basketball Ring - is well used, but requires an upgrade as part of the skate plaza youth recreational hub.

Adventure Playground - has been successful but requires design upgrade to accommodate the current diverse users and meet the playground standards and disable accessibility.

Soccer Fields - Consists of 2 junior soccer fields or a single full sized soccer field. The two junior soccer fields are of standard East-West orientation.

Thebarton Community Centre - newly built but has poor interface and access connection with the reserve and adjacent sporting fields.

Torrensvile Bowling Club - is a popular social venue, which is in the process of an upgrade and expansion.

Ball Courts - consists of 2 tennis courts and 1 basketball court with close connection to the surrounding facilities.




Junior Playground - Fully shaded and fenced with close distance to car park and toilet blocks.

Picnic & BBQ area - surrounds by shaded trees with great views out to all adjacent outdoor facilities. Location of seating facilities requires some consolidation.

Toilet Blocks - currently operational, accommodate sporting facilities and planned events.

Thebarton Oval - currently leased by SAAFL (South Australia Amateur Football League), is open to community events but is closed off from Kings Reserve.

LEGEND

- Site boundary 
- Main entrance 
- Building to be retained 
- Major destinations 
- Minor destinations 



3.0 Opportunities & Challenges

3.1 Masterplan Brief

- » Improve precinct level park facilities for all ages
- » Improve pedestrian/cycle connectivity through reserve and to River Torrens
- » Improve interface of the swimming centre and upgrade car park numbers
- » Improve passive surveillance
- » Maintain or upgrade skate facilities (Plaza style Skate Park)
- » High quality BBQ & picnic facilities
- » Upgrade play space(s) - New senior playground
- » Retain high quality vegetation
- » Provide additional shade trees
- » Use planting to define and enhance spaces throughout Kings Reserve
- » Further accommodate the existing sporting grounds to further support structured and informal sporting activities
- » Provide opportunities to celebrate elements of cultural significance
- » Provide and increase in the diversity of activities within the Reserve
- » Provide areas for additional shade structures and toilet facilities
- » Appropriately activate Thebarton Oval
- » Retain existing access road from South Road



3.2 Vision and Guiding Principles

- Council's open space and recreation strategy
- Integrated, quality and sustainable design
- Crime prevention through environmental design
- Healthy spaces and places



Establish a strong and overall park identity



Respond to the diversity of Kings Reserve's character by encouraging and accommodating a wide variety of activities.



Use plantings and land form to define landscape spaces



Develop lively spaces that can be used for a variety of community events



Improve amenity which compliment the parks activities



Respond to regional context and link with the River Torrens Linear Park

3.3 Character Precincts



FORMAL RECREATION

- » Programmed space with high intensity activities
- » Integration of facilities within Thebarton Oval and the broader precinct
- » Upgraded Soccer club rooms
- » Bowling Club
- » Sporting fields
- » Formalised spaces



INFORMAL RECREATION

- » Youth oriented active play: eg. plaza style skate park
- » Passive surveillance required
- » Durable and readily available materials, ie. coloured concrete, concrete, asphalt, gravel



PASSIVE USE

- » Family oriented activities
- » Cultural and cultivated gardens, incorporating Japanese Garden, and historic vineyard
- » Cultural and historic interpretation
- » Amphitheatre
- » Precinct level, high quality play spaces
- » Formalised water interaction
- » Community Garden
- » High quality barbeque & picnic facilities



EVENTS AND FUNCTIONS

- » Thebarton Community Centre
- » Function Rooms
- » Event Spaces
- » Thebarton Oval as an Event Space



EDUCATION

- » Facilitating connections and opportunities for use.

3.4 Key Moves

Kings Reserve has great structure and through the guiding principles can be enriched to attain a unified destination for locals and visitors.

These principles can be achieved via the following key strategies.



A Strong Connecting Spine

Provide a clear spine to site to connect facilities. Enabling separation for vehicles and pedestrians in a calmed zone.



Create Areas for Active Recreation to Occur.

Focused areas along northern and eastern site, surrounding the central precinct of Thebarton Oval.

3.4 Key Moves



Passive recreation, habitat creation & water re-use.

Enhance the existing natural setting for recreational use and sustainability.



Enable community base facilities.

New development zones within the reserve - SAAFL and Torrensville Bowling Club development to establish this place as a key community destination.

3.5 Future Proofing

River Torrens to Anzac Highway

In 2013, the Department of Planning, Transport and Infrastructure (DPTI) completed a preliminary concept planning study that identified high level solutions for establishing the proposed non-stop North-South Corridor between Regency Park and Anzac Highway. Based on the current level of planning, the final road alignment and footprint of the Corridor through this section is yet to be determined. The preliminary concepts developed as part of this study have been used to identify high level cost estimates, risk identification and indicative impacts (e.g. order of magnitude property costs, social impacts, environmental impacts, impacts on utility services).

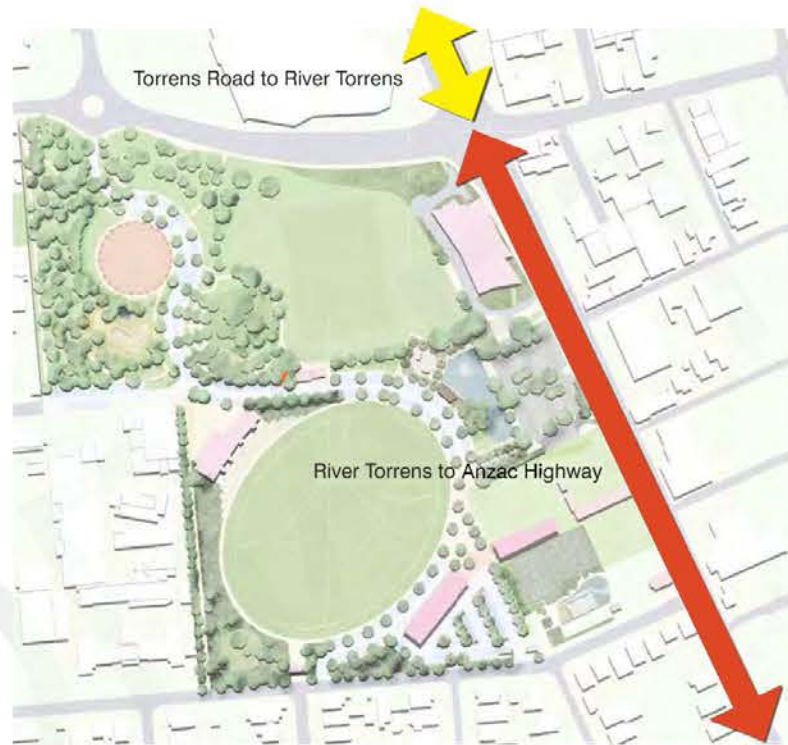
This work has helped inform the development of the 10 Year Delivery Strategy for the North-South Corridor and to secure funding from the Australian and South Australian Governments towards the Torrens Road to River Torrens Project. (DPTI website)

The Kings Reserve masterplan needs to consider independent solutions to resolve potential changes to the eastern boundary including vehicular access, recreation and car parking facilities.

Torrens Road to River Torrens Project (T2T)

The Torrens Road to River Torrens Project (T2T) will deliver a 4km non-stop roadway (incorporating 3km lowered motorway), between Ashwin Parade, Torrensville, and Pym Street, Croydon Park, providing significant travel time saving to commuters and freight. This project is being jointly funded by The Australian and South Australian Governments and is due for completion by the end of 2018. (DPTI website)

Based on T2T works (DPTI website), the corridor is increased from 4 lanes to 10 lanes in road width. This suggests the road configuration will potentially alter along boundary interface of Kings Reserve and South Road.



North-South Corridor Project

- Torrens Road to River Torrens - funded
- River Torrens to Anzac Highway - unfunded



Torrens Road to River Torrens Project from DPTI website

4.0 Master Plan

The site plan builds upon the existing character of the site; a suburban oval opened up to the people, with significant trees, picnic spaces and informal community plaza. The reserve consists of an upgraded skate plaza, playground and open picnic facilities to the north adjoining Ashwin Parade, opposite the Brickworks Shopping Centre. In the south a wetland, development of a proposed SAAFL building and Torrensville Bowling Club Redevelopment, which is accessible via Meyer Street and Ashley Street.

The northern and southern sections of the reserve are accessed via a central vehicular and pedestrian route network with shaded tree planting and onsite car parking facility.

Opportunities

- » Opens Thebarton Oval up for public use, whilst retaining and strengthening core facilities for community groups.
- » Playground relocation consolidates an accessible youth precinct that offers play opportunities for all ages; through an extended skate plaza, new playground and half basketball. Aligning Picnic ground with sport fields incorporates picturesque and shady mature Eucalypt stands.
- » Connecting Spine unifies site precincts whilst being sensitive to preserving pedestrian and cycle accessibility and the generous parkland qualities.
- » Creation of WSUD beds and a wetland system cater for any immediate site stormwater runoff, and provide educational and recreation opportunities for park goers.
- » Increased activation and passive surveillance.

Future Proofing

- » The Future South Road upgrade as part of the long term DPTI Adelaide's North-South Corridor works will likely resolve in the reduction of street car parks and traffic access connection to the reserve. This masterplan addresses this potential issue through future proofing in creating a strong north-south connecting spine road within the reserve, adjoining Ashwin Parade to the North and Ashley Street to the South, both roads connect to South Road. The connecting spine road also provides on road car parking facilities with footpaths and shaded trees.



- KEY
1. Wetland & water harvesting
 2. Thebarton Oval
 3. Car park & Connecting Spine
 4. Skate park & rec. plaza with shelter
 5. Sporting fields and facilities
 6. Open lawn / picnic facilities
 7. Picnic Area
 8. Playground
 9. Thebarton Community Centre
 10. New SAAFL building
 11. New Torrensville Bowling Club upgrade
 12. Thebarton Community Centre access ramp

Scale 1:500 @ A3



15.05.2017

KINGS RESERVE MASTER PLAN REPORT

4.1 Masterplan Staging Plan

Kings Reserve will be staged in order to achieve the overall built expectations and design quality.

STAGE 1

Stage 1 is a 0-2 year procurement plan of construction works. It will consist of:

- » Stage 1 Wetland & water harvesting
- » Skate park & recreational plaza with shelter
- » Playground
- » New Torrensville Bowling Club upgrade
- » Thebarton Community Centre access ramp

STAGE 2

Stage 2 is a 2-5 year procurement plan of construction works. It will consist of:

- » Stage 2 Wetland
- » Open lawn / picnic facilities
- » Picnic Area

STAGE 3

Stage 3 is a 5-10 year procurement plan of construction works. It will consist of:

- » Internal car park & connecting spine road to Meyer St, Ashwin Parade & Ashley St.
- » New SAAFL building

KEY

1. Wetland & water harvesting
2. Thebarton Oval
3. Car park & Connecting Spine
4. Skate park & rec. plaza with shelter
5. Sporting fields and facilities
6. Open lawn / picnic facilities
7. Picnic Area
8. Playground
9. Thebarton Community Centre
10. New SAAFL building
11. New Torrensville Bowling Club upgrade
12. Thebarton Community Centre access ramp



4.2 Photo Precedents



1. Wetland and water harvesting



2. Thebarton Oval



3. Car park



4. Skate park and recreational plaza with shelter



5. Sporting fields and facilities



6. Open lawn / picnic facilities



4.2 Photo Precedents



7. Shared Use Plaza



9. Playground spaces

5.0 Developed Wetland Design

5.1 Developed Wetland Plan - Stage 1, within Wetland Scope

The purpose of the wetland and pond is to collect, treat and dispose of stormwater from a new bowling club, existing tennis courts and car park (approximately 9,000m²). The area has no stormwater infrastructure. To manage the stormwater it will be treated to a suitable level and then directed into an existing bore on the site for re-use.

During summer the bore is used for irrigation so effectively all stormwater that is discharged into the well will be drawn for irrigation (more water is drawn from the bore than will flow into it).

The runoff will be treated through a heavily vegetated wetland and open water pond before being directed to the bore. The bore was tested and found to be suitable to accept stormwater at suitable rates.

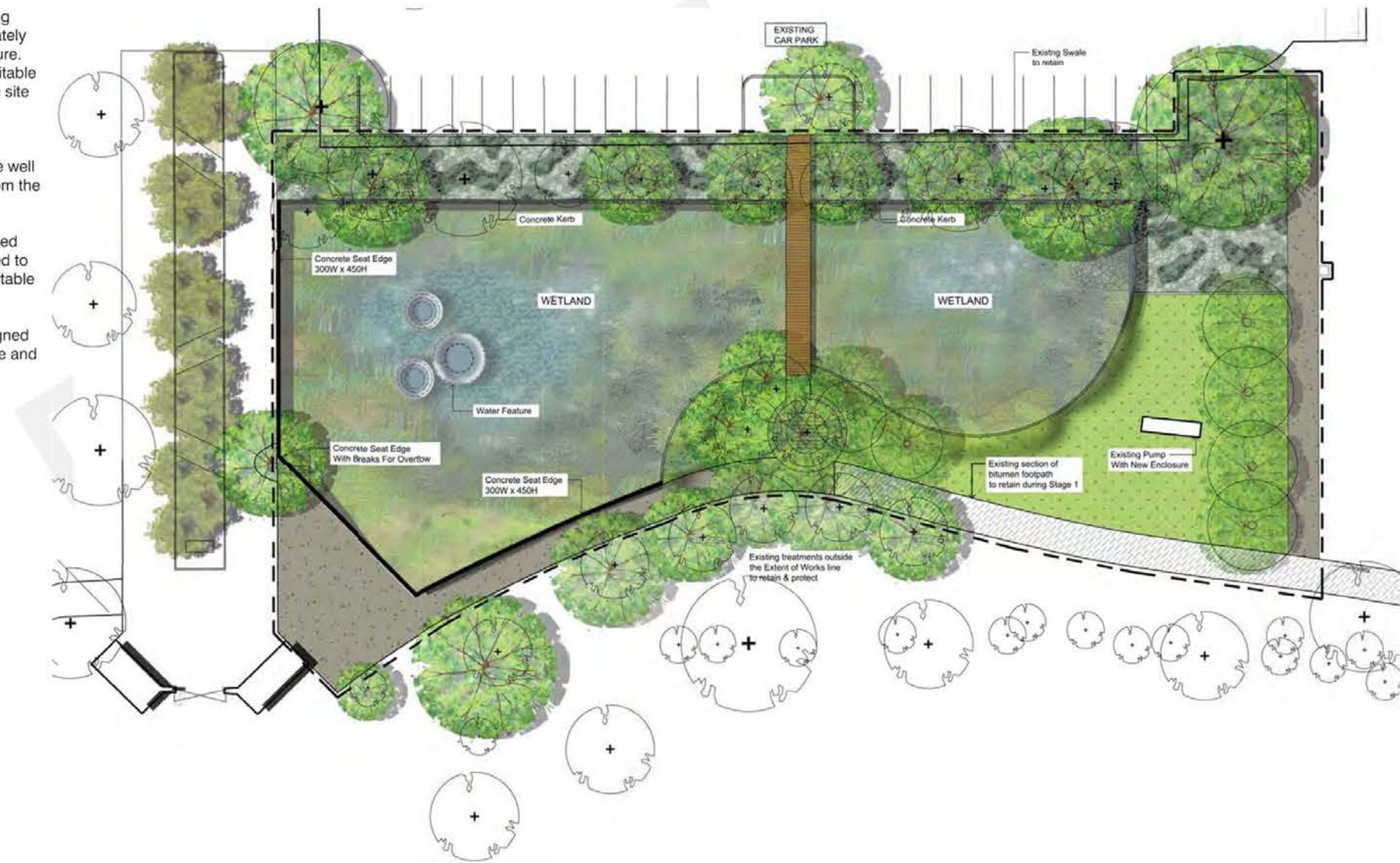
The whole wetland and pond system is to be designed to be complementary to the surrounding landscape and be a feature for park users to enjoy.

Legend

Stage 1 Work

-  Extent of Works Stage 1
-  Existing Tree to retain
-  Proposed Tree
-  Existing Swale to remain. Extend as required to achieve new alignment
-  New Wetland
-  New Lawn
-  New Garden Bed
-  Existing Footpath to retain
-  New Asphalt Footpath
-  New Timber Boardwalk

0 5 15 m



5.2 Developed Wetland Plan - Stage 2, outside of Wetland Scope



6.0 Kings Reserve Playground Design

6.1 Playspace Masterplan

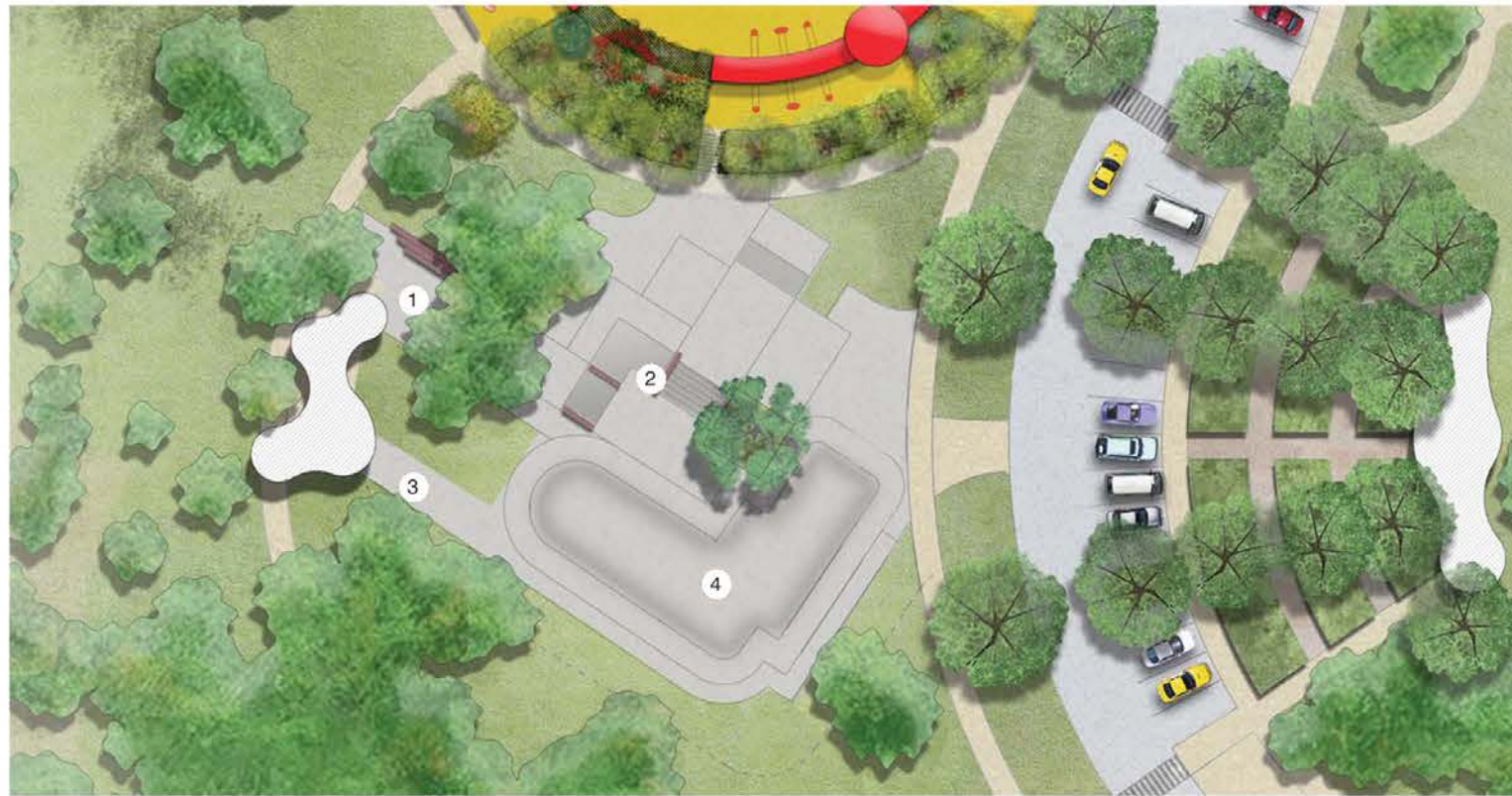
- 1 New Playground
- 2 Buffer Planting
- 3 Skate Shelter
- 4 New Skate Plaza Extension
- 5 Existing Skate Bowl
- 6 Connection to Ashwin Parade
- 7 Buffer Planting
- 8 Barbecue Shelter
- 9 Picnic Shelter
- 10 Existing Toilets / Soccer Facilities
- 11 Soccer Half Court
- 12 Retained Tree Plantings
- 13 Dryland Grass Planting



Scale 1:1000 @ A3



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6.2 Skate Plaza Concept Plan

- 1 City Skate Plaza
- 2 Ramps and Stairs
- 3 Access Ramp
- 4 Modified Existing Bowl

Scale 1:500 @ A3

Photo Precedents

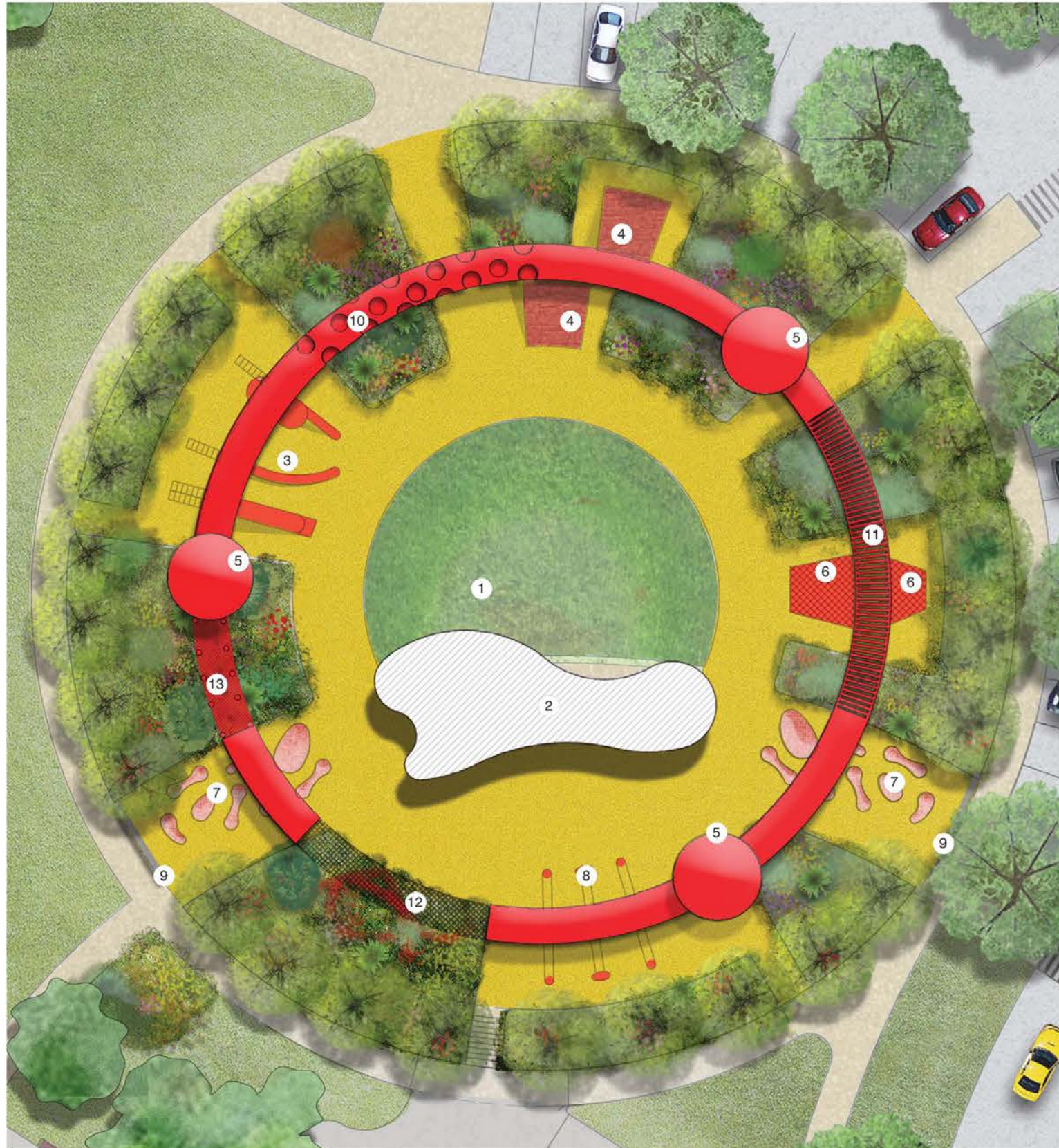


Existing Skate Bowl (to be modified)



Skate Ramps and Stairs





6.3 Playground Concept Plan

- 1 Mounded Grassy Green
- 2 Playground Shelter/Picnic Area
- 3 Slides
- 4 Rock Climbing Wall
- 5 Playstructure Tower
- 6 Net Climbing Wall
- 7 Softfall Play Mounds
- 8 Swing Sets
- 9 Playground Fence + Signage
- 10 Lookout holes in Playstructure
- 11 Ringed Playstructure
- 12 Netted Playstructure
- 13 Tree Top Walkway

-  Playground Tree planting
-  Buffer Planting


Scale 1:250 @ A3

6.4 Playspace Precedents



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6.5 Playspace Typical Section | Treetop Walkway (Rope Deck Structure)



15.05.2017
KINGS RESERVE MASTER PLAN REPORT

6.5 Playspace Typical Section | Tunnel & Slide



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6.5 Playspace Typical Elevation | Elevated Tunnel & Swing



← 15.05.2017
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Appendix

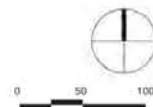
DRAFT

Vehicle Access Options

		Option 1	Option 2	Option 3	Option 4
Car Parking Playground		●		●	●
Car Parking Thebarton Oval		●	●	●	●
Car Parking for Soccer		●		●	●
Car Parking for SAAFL		●	●	●	●
Car Parking for Aquatic Centre		●	●	●	●
Additional Car Parking for Events	0 - 25				
	25 - 50				
	50 +	●	●	●	●
Bus Parking close to Aquatic Centre		●	●	●	●
Activation & Surveillance of Infrastructure		●	●	●	●
Skate Park Extension		●	●	●	●
WSUD Wetland		●	●	●	●
Impact on trees	Low		●		●
	Medium	●		●	
	High				
Access through Meyer Street		●	●		●
Access to South Road		●	●	●	●
Access to Ashley Street		●	●	●	●
Public access through Thebarton Oval		✓	✗	?	✓

Legend

-  Vehicle Roadway
-  Pedestrian Network
-  Car parking
-  Bus parking
-  Event Car parking
-  Future Function Building
-  Playground
-  Skate Park Expansion
-  WSUD Wetland



Option 1



Option 2



Option 3

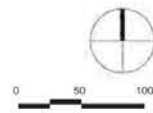


Option 4

		Option 5	Option 6	Option 7	Option 8
Car Parking Playground		●	●	●	●
Car Parking Thebarton Oval		●	●	●	●
Car Parking for Soccer		●	●		
Car Parking for SAAFL		●		●	●
Car Parking for Aquatic Centre		●			
Additional Car Parking for Events	0 - 25				
	25 - 50		●	●	●
	50 +	●			
Bus Parking close to Aquatic Centre		●	●	●	●
Activation & Surveillance of Infrastructure		●	●	●	●
Skate Park Extension		●	●	●	●
WSUD Wetland		●	●	●	●
Impact on trees	Low			●	●
	Medium	●	●		
	High				
Access through Meyer Street		●			
Access to South Road					
Access to Ashley Street		●	●	●	●
Public access through Thebarton Oval		●	●	●	●
		✓	✗	✓	✓

Legend

- Vehicle Roadway
- Pedestrian Network
- Car parking
- Bus parking
- Event Car parking
- Future Function Building
- Playground
- Skate Park Expansion
- WSUD Wetland



Option 5



Option 6



Option 7

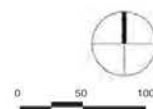


Option 8

	Option 9	Option 10	Option 11	Option 12
Car Parking Playground	●	●	●	●
Car Parking Thebarton Oval	●	●	●	
Car Parking for Soccer		●		●
Car Parking for SAAFL	●	●	●	●
Car Parking for Aquatic Centre	●	●	●	
Additional Car Parking for Events	0 - 25			
	25 - 50	●	●	●
	50 +			
Bus Parking close to Aquatic Centre	●	●	●	●
Activation & Surveillance of Infrastructure	●	●	●	●
Skate Park Extension	●	●	●	●
WSUD Wetland	●	●	●	●
Impact on trees	Low	●		
	Medium			●
	High		●	●
Access through Meyer Street	●		●	
Access to South Road				●
Access to Ashley Street	●	●	●	
Public access through Thebarton Oval	●	●	●	
	✓	✗	✓	✗

Legend

- Vehicle Roadway
- Pedestrian Network
- Car parking
- Bus parking
- Event Car parking
- Future Function Building
- Playground
- Skate Park Expansion
- WSUD Wetland



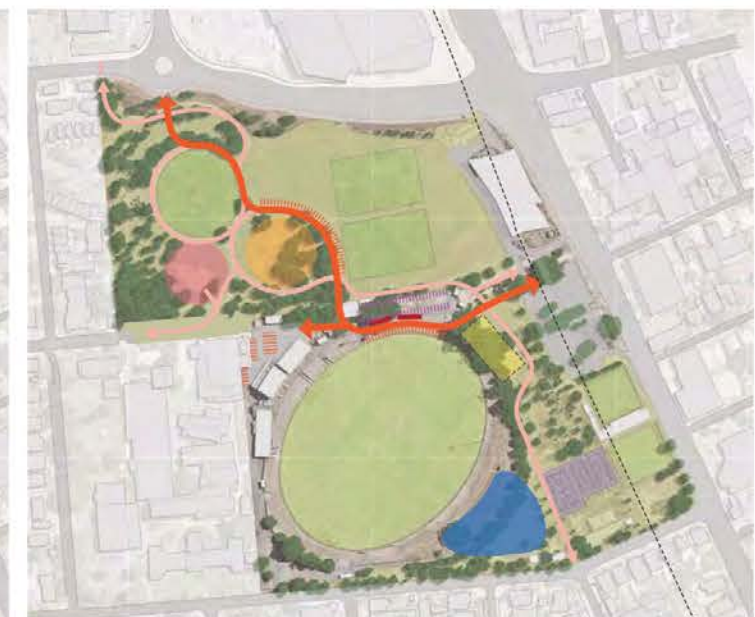
Option 9



Option 10



Option 11

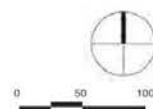


Option 12

		Option 13	Option 14	Option 15	Option 16
Car Parking Playground		●	●	●	●
Car Parking Thebarton Oval			●		●
Car Parking for Soccer		●	●	●	●
Car Parking for SAAFL		●	●	●	●
Car Parking for Aquatic Centre					●
Additional Car Parking for Events	0 - 25				
	25 - 50	●	●	●	
	50 +				●
Bus Parking close to Aquatic Centre					●
Activation & Surveillance of Infrastructure		●	●	●	●
Skate Park Extension		●	●	●	●
WSUD Wetland		●	●	●	●
Impact on trees	Low				
	Medium	●		●	
	High		●		●
Access through Meyer Street					●
Access to South Road		●	●	●	●
Access to Ashley Street			●		●
Public access through Thebarton Oval		●	●	●	●
		x	✓	✓	✓

Legend

- Vehicle Roadway
- Pedestrian Network
- Car parking
- Bus parking
- Event Car parking
- Future Function Building
- Playground
- Skate Park Expansion
- WSUD Wetland



Option 13



Option 14



Option 15



Option 16

Circulation Plan

Site circulation considers existing and proposed site precincts in providing a cohesive vehicular, pedestrian and cycle network that enhances the parkland character with a sensitive approach minimising infrastructure and parkland incursions, whilst maximising the ability to retain significant trees (and include new tree plantings) within the configuration.

PROS

- » Preferred Vehicle Access Option 16
- » Connecting Spine unifies site precincts
- » Significant site parking increases - Kings Reserve Existing - 184 car parks & Kings Reserve Masterplan - 341 car parks
- » Creation of WSUD beds and a wetland system cater for any site stormwater run off

CONS

- » Potential loss of parking volumes located directly adjacent South Road as a result of (potential) existing car park removal as part of longer term South Road Corridor works, although a significant increase in overall car park numbers and improvements in site connectivity should be sufficient to offset any potential losses



13.03.2017
KINGS RESERVE MASTER PLAN REPORT

Soccer Field Option

Two 90 x 45 metre full size soccer fields.





8.8 Community Facility Projects Summary

Brief

This report provides Committee Members with a summary project plan on the community facilities projects currently scheduled.

RECOMMENDATION

The Committee recommends to Council that the report be noted.

Introduction

At the Community Facility Meeting held on 26 September 2017, Committee Members requested a summary project plan be prepared of the current community facility projects that includes time and budget forecasts.

Discussion

Through the Community Facilities Committee, the Administration is currently advancing a number of redevelopments and upgrades to facilities and building projects within the City.

These projects include:

- Apex Park
- Lockleys Oval
- Mellor Park
- Weigall Oval
- Camden Oval

The attached Project Plan (**Attachment 1**) provides members with an initial summary of high level forward timeframes associated with these nominated projects.

It is anticipated that the attached project plan document will be continually improved and updated as projects progress. It is also proposed by the Administration to continually expand this project plan to include other projects as required (and relevant) to this Committee in delivering the program to upgrade these sporting club facilities, etc.

The Administration will also welcome any further feedback from Committee Members on the future improvement of this project plan.

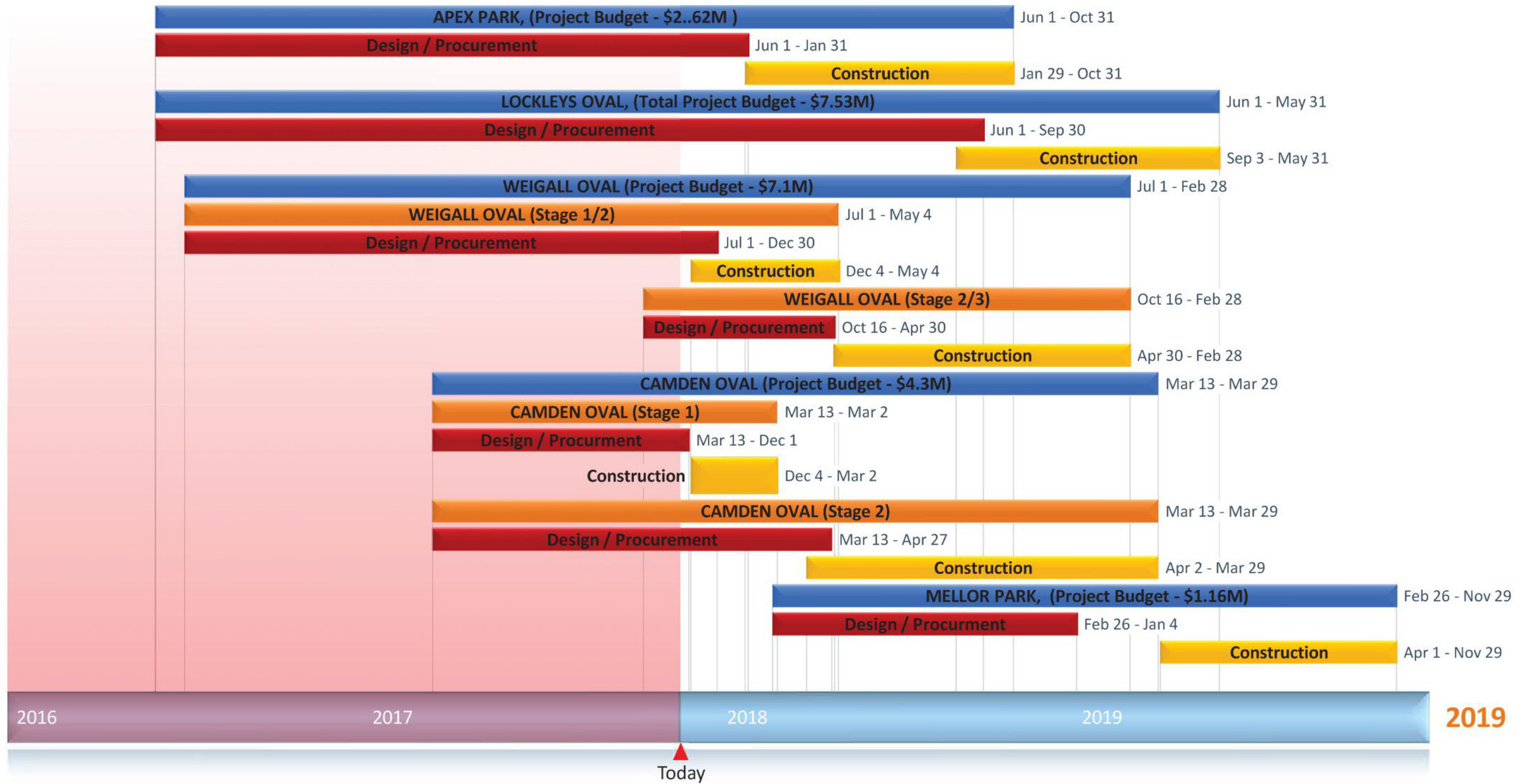
Conclusion

A summary project plan outlining the Community Facility projects currently scheduled with associated timeframes has been prepared and provided to Members for their information.

This project plan will be continually refined and updated to include additional projects and updates as they are scheduled and to include budget forecasts. The project plan will be provided to future Committee Meetings subsequent to any updates.

Attachments

1. Community Facilities Project Plan



9 OUTSTANDING REPORTS / ACTIONS

Nil

10 OTHER BUSINESS

11 CONFIDENTIAL

Nil

12 NEXT MEETING

27 March 2018, 6.00pm in the Mayor's Reception Room.

13 MEETING CLOSE